

Exhibited

This planning application is open for
public comment until
21 September 2026

Reference no	PLN-26-0131
Site	71-73 HIGH STREET CAMPBELL TOWN
Proposed Development	Development of administration building and carpark and second vehicle access
Zone	27.0 Community Purpose
Use class	Community Meeting & Entertainment

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



Received Exhibited

29.7.2026

Office Use Only:

PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

The Proposal

Description of proposal:

Development of administration building and carpark

Two sealed crossovers

Driveway construction material:

Geohex system, grass & compact gravel

The Land

Site address:

'ST LUKES ANGLICAN CHURCH' - 71-73 HIGH ST

CAMPBELL TOWN TAS 7210

Title reference:

C/T: 187188/1

Existing buildings on site:

Church and shop

Existing use of site:

Community Meeting and Entertainment

**Applicant justification of any variation/discretion to the
Tasmanian Planning Scheme – Northern Midlands**

Please refer to planning report provided for more information.

[illegible]

Received

29.7.2026

Exhibited

July 2026

PLANNING REPORT

DEVELOPMENT OF AN ADMINISTRATION BUILDING

71-73 High Street CAMPBELL TOWN



Prepared by

Woolcott Land Services Pty Ltd

ABN 63 677 435 924

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Launceston

[Head office](#)

P 03 6332 3760

E enquiries@woolcott.au

A 10 Goodman Court Invermay
7250

St Helens

[East Coast office](#)

P 03 6376 1972

E admin@ecosurv.com.au

A 52 Cecilia Street St Helens 7216

www.woolcott.au

Job Number: L260525
Prepared by: Erin Kelly (erin@woolcott.au)
(BNatEnvWld, MPlanning)
Town Planner
Reviewed by: Michelle Schleiger (michelle@woolcott.au)
(BUrbRegEnvPlan)
Town Planner

Rev.no	Description	Date
1	Draft	28 May 2026
2	Review	3 June 2026
3	Review	24 June 2026
4	Final	24 June 2026
5	Review	29 July 2026

References

Land Tasmania, 2021. *Land Information System Tasmania*. [Online]

Available at: <https://www.thelist.tas.gov.au/app/content/home/>

[Accessed 2026].

Paul Davies Pty Ltd, 2021. *St. Luke's Anglican Church, Campbell Town - Conservation Management Plan*, s.l.:

Paul Davies Pty Ltd.

Strategic Transport Planning Branch, Transport for NSW, 2024. *Guide to Transport Impact Assessment version 1.1*, s.l.: NSW Government.

Annexures

Annexure 1 Copy of title plan and folio text

Annexure 2 Proposal plan

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1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Development of an administration building and car park associated with a place of worship (Church)

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Building proposal	Engineering Plus/Tasbuilt Homes
Conservation management plan	Paul Davies Pty Ltd

2. Subject site and proposal

2.1 Site details

Address	'St Lukes Anglican Church' - 71-73 High Street, Campbell Town TAS 7210
Property ID	3180051
Title	187188/1
Land area	2.001ha
Planning Authority	Northern Midlands Council
Planning Scheme	Tasmanian Planning Scheme - Northern Midlands LPS
Easements	Pipelines and Services Easement
Application status	Discretionary
Existing Access	Available from High Street
Zone	Community Purpose (27.0) and General Residential (8.0)
General Overlay	Campbelltown Specific Area Plan (NOR-S2.0)
Overlays	Local heritage precinct Local heritage place Priority vegetation area Bushfire-prone areas Airport obstacle limitation area (1350m AHD)

Existing development	St. Luke's Anglican Church and Cemetery and St. Luke's Anglican Op Shop
Heritage	St. Luke's Anglican Church and Cemetery – 4947 Former Anglican Schoolhouse – 4948
Existing services and infrastructure	
Water	Serviced
Sewer	Serviced
Stormwater	Serviced

2.2 Proposal

The proposal is for the development of an administration building and carpark on the site, both associated with the primary existing use of Community Meeting & Entertainment, being a place of worship (Church).

The proposed building will contain administration building (Parish Centre on Plans) and meeting spaces, a kitchen, storage spaces, and amenities. The building will be able to be accessed by a decked entrance, and also a ramped entrance. The proposed will have a total roofed area of 153.49m².

2.3 Subject site

The site is a single lot with an area of 2.001ha. The site has a primary frontage of 96.81m to William Street and a secondary frontage of 157.65m to High Street. Access to the site is from the secondary frontage at High Street via an existing crossover and gravel driveway. High Street is a sealed road maintained by the Department of Growth.

The site has existing use as a place of worship. The site is slightly sloped with the Church building on the rise, and the land sloping downwards towards the south. The site contains a cemetery and a second building used as an 'op shop'.

Parking on the site is informal, to both the church and to the shop.

The site includes areas of vegetation and mature trees.

2.4 Tasmanian Heritage Register

Two developments on the site are listed as significant under the Tasmanian Heritage Register. St. Luke's Anglican Church and Cemetery (4947) is Permanently Registered as a place of high historic cultural heritage significance, being a religious and townscape landmark (Tasmanian Heritage Council, 2026a). The Former Anglican Schoolhouse (4948) is Permanently Registered. It has historic heritage significance due to its townscape associations being regarded as important to the community's sense of place (Tasmanian Heritage Council, 2026b).



Figure 1 - Aerial view of the subject site (Land Tasmania, 2021)

3. Zone and overlays

3.1 Zoning

The site is zoned Community Purpose (27.0) and General Residential (8.0) under the Scheme. The proposed development is located entirely within the Community Purpose zoned area.

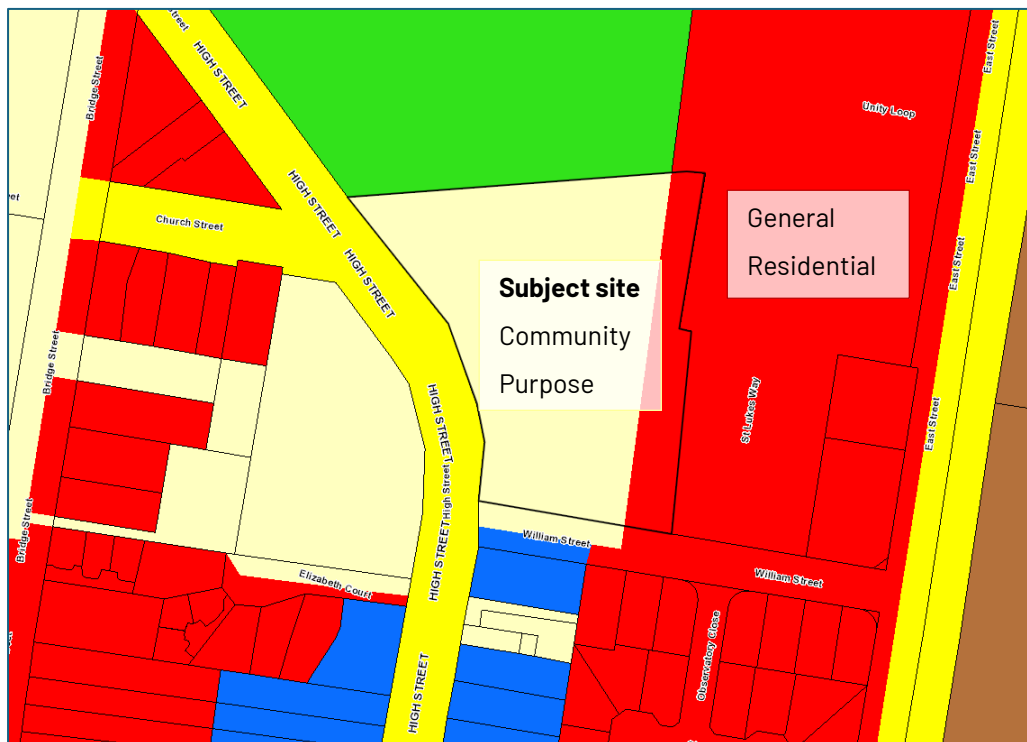


Figure 2 Zoning for the subject site (Land Tasmania, 2021)

3.2 Overlays

The site is affected by the Local heritage precinct and Local heritage place, Priority vegetation area, Bushfire-prone areas, and the Airport obstacle limitation area (1350m AHD) overlays.

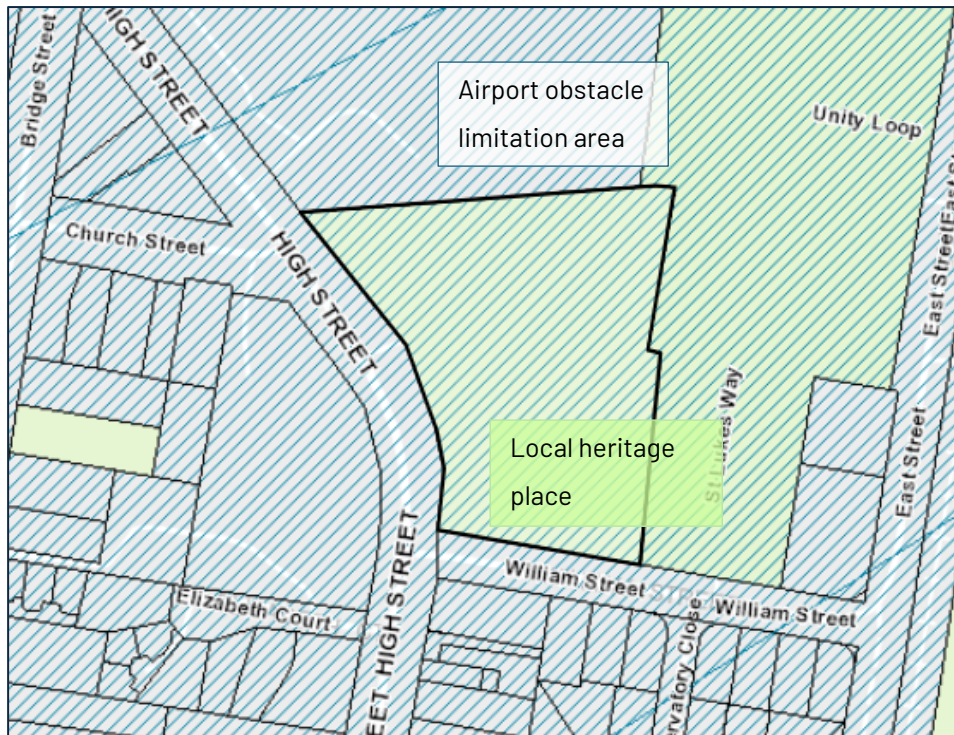


Figure 3 Overlays affecting the subject site (Land Tasmania, 2021)

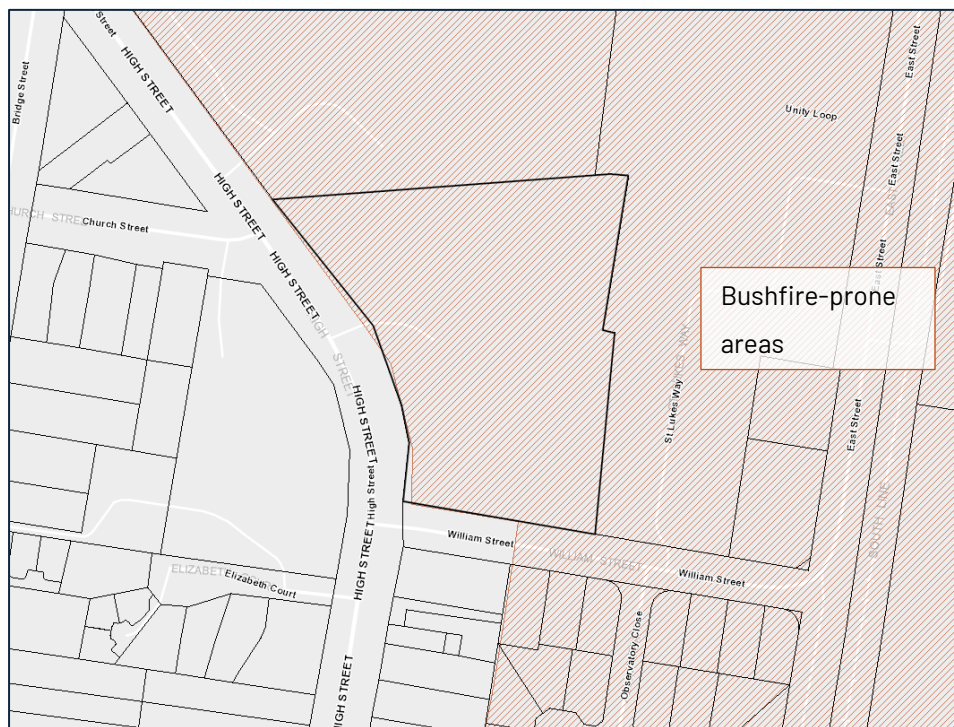


Figure 4 Overlays affecting the subject site (Land Tasmania, 2021)

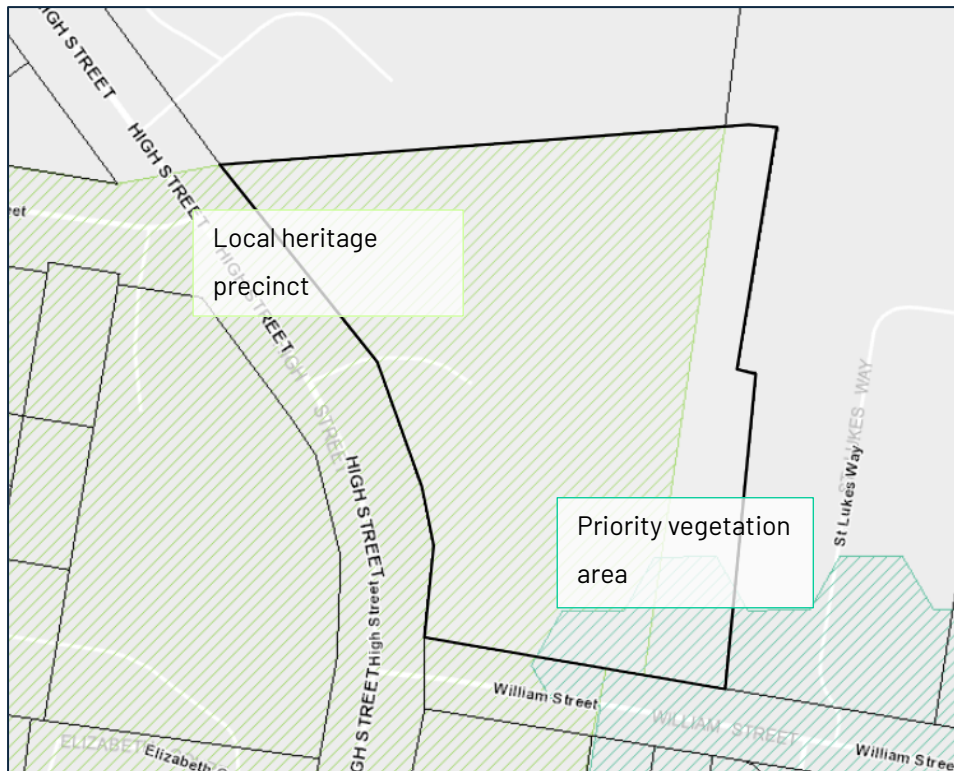


Figure 5 Overlays affecting the subject site (Land Tasmania, 2021)

The site is within the Campbell Town Specific Area Plan.



Figure 6 General Overlays affecting the subject site (Land Tasmania, 2021)

4. Planning Scheme Assessment

4.1 Zone assessment

6.2 Categorising Use or Development

6.2.2 A use or development that is directly associated with and a subservient part of another use on the same site must be categorised into the same Use Class as that other use.

Response

The application for an administration building (Parish Centre) on the site will be directly associated with the existing use on the site, that being Community Meeting and Entertainment as a place of worship. The proposed development will be subservient to the existing church in form and siting. Under the Community Purpose zone, the Community Meeting and Entertainment use is *Permitted*.

NOR-S2.0 Campbell Town Specific Area Plan

NOR-S2.2 Application of this Plan

The Campbell Town Specific Area Plan is not applicable, as the Plan does not apply to development in a Community Purpose Zone and no subdivision is proposed (as listed under NOR-S2.8.1 Lot design in development precincts) as an additional clause.

27.0 Community Purpose

27.1 Zone Purpose

- | | |
|--------|---|
| 27.1.1 | To provide for key community facilities and services including health, educational, government, cultural and social facilities. |
| 27.1.2 | To encourage multi-purpose, flexible and adaptable social infrastructure. |

Response

The proposed development is in accordance with the zone purpose. The administration building will contribute to the service of the site as a key community facility. As an addition to what is existing on the site, the centre will relieve the pressure placed on the functioning of the parish, as the church is the sole useable space for social and cultural purposes on the site (Paul Davies Pty Ltd, 2021).

27.3 Use Standards

27.3.1 Non-residential use

Objective

That non-residential use does not cause an unreasonable loss of amenity to residential zones.

Exhibited

Acceptable Solutions	Performance Criteria
A1 Hours of operation of a use, excluding Emergency Services, Hospital Services, Natural and Cultural Values Management, Passive Recreation or Utilities, within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, must be within hours of: a) 8:00am to 8:00pm Monday to Friday; b) 9:00am to 6:00pm Saturday; and c) 10:00am to 5:00pm Sunday and public holidays.	P1 Hours of operation of a use, excluding Emergency Services, Hospital Services, Natural and Cultural Values Management, Passive Recreation or Utilities, within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, must not cause an unreasonable loss of amenity to an adjacent residential use having regard to: a) the timing, duration or extent of vehicle movements; and b) noise, lighting or other emissions.

Response

P1 The performance criteria apply; the Church, as existing, begins service from 9:00am on Sundays. The proposed building will align with this, but will also be used outside of these hours. Use of the building may extend from earlier than 8:00am to 10:00pm on all days, depending on the activity planned.

The operating hours of the proposed use will not cause an unreasonable loss of amenity to adjacent residential use, having regard to:

- a) All vehicle movements will be between the proposed carpark and highway and will not be expected to impact the adjoining residential area.
- b) Use of the parish centre is not expected to cause an unreasonable level of noise, lighting or other emissions. Any outdoor events, where noise may be heard from residential areas, will be within the acceptable solution hours. Noise from the interior of the building is not expected to be of a level that will affect residential areas, as activities will be generally passive in nature. Activities after 8:00pm on weekdays will not involve music or any amplified sound.

Lighting is provided to the building exterior to the decked areas. They will be under eave, and provided for safe access to and from the building in low light hours. The exterior lighting will be located to allow lighting of the immediate area and light spill to the residential development, more than 50m distant, is not anticipated. No other emissions are anticipated.

A2 External lighting for a use, excluding Natural and Cultural Values Management, Passive Recreation and Utilities and flood lighting of Sports and Recreation facilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, or Low Density Residential Zone, must: a) not operate between 9:00pm and 6:00am, excluding any security lighting; and	P2 External lighting for a use, excluding Natural and Cultural Values Management, Passive Recreation and Utilities and flood lighting of Sports and Recreation facilities, within 50m of a General Residential Zone, Inner Residential Zone, and Low Density Residential Zone, must not cause an unreasonable loss of amenity to the residential zones, having regard to: a) the level of illumination and duration of lighting;
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Exhibited

b) if for security lighting, must be baffled so that direct light does not extend into the adjoining property.	and b) distance to habitable rooms of an adjacent dwelling.
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Response

- P2 The performance criteria are addressed. External lighting is provided for the proposed building, which will fall within 50m of a General Residential Zone. It is not expected to cause an unreasonable loss of amenity to a residential zone, having regard to:
- a) The level of illumination is only intended to be for the external deck areas to allow for safe access to the building. The level of illumination included to the plans is 4W/m² and will only be used in lower light levels when the building is in use, as required. The lights will be positioned on the building wall and will not face any habitable building directly.
 - b) The distance between the proposed external lighting and the nearest habitable room of an adjacent dwelling is approximately 78m. As the distance is significant, the lighting is not expected have any adverse impact on adjacent dwellings.

A3 Flood lighting of Sports and Recreation facilities on a site within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, must not operate between 9:00pm and 6:00am.	P3 Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to: a) the topography of the site; b) the distance between the lot or building area and the carriageway; c) the nature of the road and the traffic; d) the anticipated nature of vehicles likely to access the site; and e) the ability for emergency services to access the site.
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Response

Not applicable, as the proposed development will not involve Sports and Recreation facilities.

A4 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Emergency Services or Hospital Services, within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, must be within the hours of: a) 7:00am to 6:00pm Monday to Friday; and b) 9:00am to 5:00pm Saturday, Sunday and public holidays.	P4 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Emergency Services or Hospital Services, within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone, must not cause an unreasonable loss of amenity to the residential zone having regard to: a) the time and duration of commercial vehicle movements; b) the number and frequency of commercial vehicle movements; c) the size of commercial vehicles involved; d) manoeuvring by the commercial vehicles,
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	including the amount of reversing and associated warning noise; e) any noise mitigation measures between the vehicle movement areas and the residential zone; and f) the existing levels of amenity.
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Response

A4 The acceptable solution is achieved; no commercial vehicle movements will be required outside of the acceptable solution hours.

27.4 Development Standards for Buildings and Works

27.4.1 Building height

Objective	
That building height: a) is compatible with the streetscape; and b) does not cause an unreasonable loss of amenity to adjoining residential properties.	
Acceptable Solutions	Performance Criteria
A1 Building height must be not more than 10m.	P1 Building height must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: a) the topography of the site; b) the height, bulk and form of existing buildings on the site and adjacent properties; c) the bulk and form of proposed buildings; d) the apparent height when viewed from the road and public places; e) any overshadowing of adjoining properties or public places; and f) the need to locate the building on the site.

Response

A1 The acceptable solution is achieved; the building height is 5.1m at its highest point.

27.4.2 Setback

Objective	
That building setback: a) is compatible with the streetscape; b) does not cause an unreasonable loss of residential amenity to adjoining residential zones.	
Acceptable Solutions	Performance Criteria

Exhibited

A1	Buildings must have a setback from a frontage of: a) not less than 5m; or b) not more or less than the maximum and minimum setbacks of the buildings on adjoining properties, whichever is the lesser.	P1	Buildings must have a setback from a frontage that is compatible with the streetscape, having regard to: a) the topography of the site; b) the setbacks of buildings on adjacent properties; c) the height, bulk and form of existing and proposed buildings; and d) the safety of road users.
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Response

- A1 The acceptable solution is achieved; the proposed development will have a setback from the frontage to High Street of at least 63.2m.

A2	Buildings must have a setback from side and rear boundaries adjoining a General Residential Zone, Inner Residential Zone or Low Density Residential Zone not less than: a) 3m; or b) half the wall height of the building, whichever is the greater.	P2	Buildings must be sited to not cause an unreasonable loss of amenity to adjoining properties in the General Residential Zone, Inner Residential Zone or Low Density Residential Zone, having regard to: a) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings; b) overlooking and reduction of privacy to adjoining properties; or c) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property.
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Response

- A2 The acceptable solution is achieved; the proposed development has a setback to the northern boundary of 30.6m and to the eastern boundary of 54.1m.

A3	Air extraction, pumping, refrigeration systems, compressors or generators must be separated a distance of not less than 10m from a General Residential Zone, Inner Residential Zone, or Low Density Residential Zone.	P3	Air conditioning, air extraction, pumping, heating or refrigeration systems, compressors or generators within 10m of a General Residential Zone, Inner Residential Zone, or Low Density Residential Zone, must be designed, located, baffled or insulated to not cause an unreasonable loss of amenity to sensitive uses, having regard to: a) the characteristics and frequency of emissions generated; b) the nature of the proposed use; c) the topography of the site and location of adjoining sensitive uses; and d) any proposed mitigation measures.
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Response

- A3 The acceptable solution is achieved. The air conditioning system will be separated a distance of more than 10m from the adjoining General Residential Zone.

27.4.3 Fencing

Objective	
That fencing: a) is compatible with the streetscape; and b) provides for passive surveillance.	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) within 4.5m of a frontage must: a) provide for security and privacy while allowing for passive surveillance of the road; and b) be compatible with the streetscape, having regard to: a. its height, design, location and extent; b. the topography of the site; and c. traffic volumes on the adjoining road.

Response

Not applicable, as there are no fences proposed as a part of the development.

27.4.4 Outdoor storage areas

Objective	
That outdoor storage areas do not detract from the appearance of the site or surrounding area.	
Acceptable Solutions	Performance Criteria
A1 Outdoor storage areas, excluding for the display of goods for sale, must not be visible from any road or public open space adjoining the site.	P1 Outdoor storage areas, excluding for the display of goods for sale, must be located, treated or screened to not cause an unreasonable loss of visual amenity.

Response

Not applicable, as there is no storage area proposed as a part of the development.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Response

A1 The acceptable solution is achieved; there will be 36 car parking spaces provided for, which meets the requirement. The number is based on (the greater calculation of) the seating capacity

of 100 people in the church and 90m² associated with the shop. The development of the Parish Centre is not expected to increase parking needs at any particular time, as it will be used in association with the Church.

C2.5.2 Bicycle parking numbers

Response

A1 The acceptable solution is achieved; 10 bicycle spaces will be provided for.

C2.5.3 Motorcycle parking numbers

Response

A1 The acceptable solution is achieved; one motorcycle parking space will be provided for, which meets the requirement.

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Response

P1 The performance criteria are addressed, as the access way will not be constructed from pavement. The existing gravel access way and proposed parking and manoeuvring area will be upgraded to a Geohex system – please refer to plans for additional information. The system provides a form to ‘hold’ compressed gravel, and grass will be allowed to grow over less trafficked areas, to maintain an appearance of open field. Importantly, the area is trafficable. The access way and parking area will be readily identifiable and constructed for all-weather conditions, having regard to:

- a) The nature of the use is existing and will not be changed by the addition of the parish centre. The driveway and parking area will be used by visitors to the site, for associated community events. The surface will be compressed gravel but will be distinct from the lawn areas.
- b) The land is generally flat; topography has no impact on the access way and parking area use.
- c) The proposed construction material for the access and parking way will allow for permeability. The Geohex system is designed to minimise run-off¹.
- d) The proposed construction method will control the likelihood of transporting sediment or debris being transported onto the road by containing the compressed gravel to the Geohex form, which is specifically designed for erosion control.

¹ <https://geohex.com.au/>

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- e) The construction method will reduce the generation of dust as it will include compressed gravel which traps dust, and as grass will be allowed to grow to low trafficked areas, areas of dust generation will be minimised to a negligible degree.
- f) The proposed surfacing involves a Geohex system that controls erosion while allowing for permeability. The access way and parking area will be constructed using the Geohex system with gravel and grass. The proposed surfacing is appropriate considering the existing access way and surrounding area, as it will provide a more soft and compatible appearance to the site, being an open lawned area with mature vegetation. The site has an appearance similar to a park, and the proposed surfacing is compatible with that, while nuisance factors such as dust, debris and runoff will be controlled.

C2.6.2 Design and layout of parking areas

- A1.1 The acceptable solution is achieved. Please refer to supplied plans for additional information.
- A1.2 The acceptable solution is achieved. There will be two parking spaces provided for use by persons with a disability, satisfying the following:
 - a) The spaces will be located as close as practicable to the proposed walkway and main entry point to the building.
 - b) The spaces will be located to allow for ease of accessibility for users; the parks will be nearest to the access way, reducing driving and walking distance. The spaces will be positioned to minimise the need for manoeuvring in and out of the spaces.
 - c) The proposed development is a Class 5 building under the National Construction Code 2016. Table D3.5 of the Code requires 1 space for every 100 carparking spaces. Out of the 36 carparking spaces proposed, two spaces will be provided for those with a disability.

C2.6.3 Number of accesses for vehicles

- P1 The performance criteria are addressed. There are two accesses existing from High Street that are used. Each is proposed to be retained and sealed. No additional accesses are proposed. The accesses will provide safe and efficient access to the site, which has two buildings with some distance between. The proposed will also formalise how the site is currently used.
 - a) The two access points make minimal difference to the availability of onsite parking, whether formalised or other.
 - b) There are no existing footpaths or pedestrian ways provided along the frontage of the site. The second access, located closer to the southern boundary, will function as a pedestrian linkage between the carpark and shop on the site, which will reduce pedestrian interaction with traffic. Access ways will be clearly identifiable by pedestrians.
 - c) One access is currently being used as vehicle access. The proposed sealing of this access will improve traffic safety by increasing legibility and ease of use.

- d) Adjoining residential land is not expected to be impacted. The accesses are located on the western boundary of the site, and adjoining residential land is located to the east.
- e) As the accesses are both existing, it is unlikely that streetscape will be significantly impacted. The proposed sealing of the access points will create definition and clarity to the site in terms of vehicle access from Main Street.

C2.6.5 Pedestrian access

- P1 The performance criteria are addressed. There will be safe and convenient pedestrian access within the proposed parking area, having regard to:
- a) The site is used in association with the place of worship and is used by the community. The site has an open and park-like setting. The car park is positioned in easy visual distance to the buildings existing and proposed) and is distanced to the main road, buffered by vegetation. The car park and the access to the buildings is commensurate to the characteristics of the site.
 - b) The site operates as a place of worship and will predominantly be used by the local community.
 - c) There will be 36 car parking spaces available.
 - d) The frequency of vehicle movements will be commensurate to activity times, and the opening of the shop. Anticipated peak use will be for Church service, but there will be functions and activities provided during weekdays as well. Vehicles visiting only the shop may not be on site for a long duration, but those attending service or other activities are likely to be parked for longer periods of time. In all, vehicle activity is not anticipated to be highly active and frequent vehicle movements throughout the day, in comparison to a shopping centre, are not expected.
 - e) The parking spaces provided for use by persons with a disability will be located in close proximity to walkways for both the Church and the proposed parish centre. Access through the parking area will not be required.
 - f) No footpath crossings are proposed, as the carpark is an easy to navigate space and the distance to non-carpark areas is short.
 - g) The existing use of the site, together with the carpark layout, size, and open aspect, allows for vehicle and pedestrian safety for users. Signage for specific speed limits may be employed at the entrance to the carpark.
 - h) There is one existing access way. The carpark is built upon this.
 - i) No specific pedestrian safety devices are proposed.

C3.0 Road and Railway Assets Code

C3.5 Use Standards

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

P1 The performance criteria are addressed. There will be an anticipated increase of vehicle activity to the site based on specific activities. For instance, trip generation on Sunday is reported to be low, but trip generation can be high for funerals. Weekly activities associated with the proposed building will vary, depending on attendance numbers. Previous advice supplied for the site estimates 45 additional trips to the site outside of peak hour. As such, the following is addressed:

- a) An estimated 45 vehicle trips may be generated to the site, but the distribution of these trips will not be even.
- b) The site is most likely to be used by the local community. However, persons visiting the site from other areas are likely as the site includes a cemetery and Church. In terms of the proposed building, the use is expected to be predominantly from local persons. The use and access are existing.
- c) The road is a main thoroughfare and Department of State Growth is the authority.
- d) As the site is within a built-up area of Campbell Town, the speed limit is 50km/h.
- e) The site has frontage to William Street. However, access to the frontage from the Church and proposed building is not practical due to the location of the cemetery.
- f) The use is existing within the community.
- g) A traffic impact assessment has been made for the site addressing the requirements of the Interim Scheme. Advice in this report has been utilised for this response and can be provided.
- h) This application seeks consent from the road authority and is reliant on that.

C6.0 Local Historic Heritage Code

C6.2 Application of this Code

This code does not apply as the site is listed as a registered place entered on the Tasmanian Heritage Register.

C7.0 Natural Assets Code

C7.6 Development Standards for Buildings and Works

C7.6.2 Clearance within a priority vegetation area

This code does not apply as no works are proposed within the priority vegetation area on the site.

C13.0 Bushfire-Prone Areas Code

C13.2 Application of this Code

This code does not apply as the proposed development will not include subdivision or vulnerable or hazardous use.

C16.0 Safeguarding of Airports Code

C16.6 Development Standards for Buildings and Works

C16.6.1 Buildings and works within an airport obstacle limitation area

This code does not apply as no proposed development will exceed the specific height limit of 1350m AHD.

4. Conclusion

This application is for the development of an administration building associated with the existing church on the site. The development will provide an administration space and meeting space for activities peripheral to the Church building. The development is proposed as an alternative to past approvals on the site under PLN21-0229.

The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.

Exhibited

St Luke's Anglican Church, Campbell Town Conservation Management Plan

August 2021



for the Parish of Midlands Anglican
by Paul Davies Pty Ltd
Architects Heritage Consultants

Report reviewed by:	
	Paul Davies Director B Arch MB Env ARIA Reg. No. 6653

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Executive Summary

St Lukes in Campbell Town is one of a group of early churches built across Tasmania that are a key visual, historical and social part of the cultural story of Tasmania. Completed after much effort in 1839, it was one of 14 churches designed by John Lee Archer, 9 of which remain. It forms part of a group of similar buildings with St John's Newtown (1833), St Luke's Bothwell (1829), At Luke's Richmond (1836) and St Peter's Hamilton (1834).

Planned but not built until the 1837 Church Act, designed to provide for supporting clergy and building churches across the settled areas. The Australian colonies became a separate bishopric in 1837 under William Broughton. In 1842 the Diocese of Tasmania was formed under Bishop Nixon and by 1845 there were 27 parishes with church buildings.

This places St Luke's in the centre of the early development of churches across the State.

St Luke's reached its zenith in the late nineteenth and early twentieth century with large attendances and a central place in the life of the town. Like many churches the post war period in Campbell Town saw a slow decline in attendances and a marginalisation of the role of the parish in local life. Unlike most rural churches St Luke's remains active and is looking to consolidate its role and position in the region.

Many churches reflect their life in the range of buildings that are built. Halls, residences and a range of facilities are added over time to address the growth and needs of the area. Smaller rural locations in the state often did not add buildings as is seen in suburban and city areas. St Luke's saw the addition of a sunday school building early in its life but has had no other site development. This places pressure on the functioning of the parish as the only usable space is the church building.

This CMP and assessment is prepared to guide a development proposal for the site that seeks to add a new church building to allow the parish to function into the future. The proposal is consistent with the long tradition and history of parishes adding to their buildings and facilities and is a positive step towards securing the future of the church in the town.

The plan has been written by Paul Davies, an experienced heritage architect who has worked on more than 60 churches including some of the most significant churches in Australia. The CMP is focussed on the development of the site, its spatial qualities and how to consider future work. The study does not consider the detail of the church but observes that an outcome of undertaking work on the site will be undertaking long-term conservation works to the buildings and site.

The proposal being developed is to add a small parish centre in the vicinity of the church to allow for an integrated and active parish life beyond holding workshop services within the building. This is a consistent action seen in most parishes and is conceptually sound.

The first part of the study looks at the history and analysis of the site and the later part of the study considers the proposal in relation to the heritage values of the site.

1.0 Introduction

1.1 Background

Location

St Luke’s Anglican Church, Campbell Town, is located on eastern side of the main thoroughfare through Campbell Town, High Street (also referred to as Midlands Highway). The site is within the North Midlands Council local government area.

The St Luke’s Campbell Town site occupies approximately 6.4 hectares of land and is bounded by High Street (Midlands Highway) to the west, William Street to the south, with East and Pedder Streets to the east and north respectively.

The site today includes comprises the Church building and associated cemetery and the former School House building, and their setting.

Street address	Real property description
71-73 High Street, Campbell Town TAS 7210	125276/1



Figure 1: Location of St Lukes Anglican Church (shown shaded orange).
Source: LISTMap - Land Information Services Tasmania



Figure 2: Close up view of immediate setting of St Luke's Anglican Church, the Cemetery and the Former School House.

Source: LISTMap - Land Information Services Tasmania

Administration

The site is owned by the Anglican Diocese of Tasmania and managed by the Parish of Midlands Anglican.

The Brief

This Conservation Management Plan (CMP) for the site has been prepared for the parish and has been commissioned to develop strategies, guidelines and actions for the conservation of the heritage significance of the site as a proposal to add a new building to the site has been developed.

The CMP is a guiding document for the management and future use of the site. It determines the site's cultural significance and provides policies that direct the future management, adaptive re-use, new works and interpretation of the site.

This Plan has been prepared in accordance with published Heritage Council guidelines. It initially provides a documentary and physical analysis of the history of the place and makes an assessment of the significance of individual elements, site and the geographic context. The Plan identifies constraints and sets policies for the future management of the place.

The Plan has been prepared with the purpose of submittal to the Tasmanian Heritage Council or its delegate for their endorsement. The Plan therefore follows the guidelines of the *Assessing Historic Heritage Significance for application with the Historic Cultural Heritage Act 1995, Version 5 October 2011*, and addresses significance under the Tasmanian heritage assessment criteria. The Plan follows the principles and methodology of the Australia ICOMOS Burra Charter, 2013 and The Conservation Plan-Fifth Edition by James S. Kerr.

This CMP and assessment is prepared to guide a development proposal for the site that seeks to add a new church building to allow the parish to function into the future. The proposal is consistent with the long tradition and history of parishes adding to their buildings and facilities and is a positive step towards securing the future of the church in the town.

The proposal being developed is to add a small parish centre in the vicinity of the church to allow for an integrated and active parish life beyond holding workshop services within the building. This is a consistent action seen in most parishes and is conceptually sound.

The first part of the study looks at the history and analysis of the site and the later part of the study considers the proposal in relation to the heritage values of the site.

1.2 Heritage Listings

Statutory Listings

Tasmanian Heritage Register (THR)

The St Luke's Anglican Church, Campbell Town, site is listed on the Tasmanian Heritage Register. The site contains the heritage listings outlined in table 1 below.

Table 1: Details of Heritage Listings in Tasmanian Heritage Register

Place ID	Item Name	Address	Suburb	Postcode	Municipality	Heritage Place Status
4947	St Luke's Anglican Church and Cemetery	71-73 High Street	Campbell Town	7210	North Midlands Council	P. Reg.
4948	Former Anglican School House	71-73 High Street	Campbell Town	7210	North Midlands Council	P. Reg.



Figure 3: Extract from Listmap showing the two items, St Luke's Anglican Church and Cemetery and the Former Anglican School House, listed on the Tasmanian Heritage Register.

Commonwealth Heritage List & National Heritage List

The site is not listed on either the Commonwealth Heritage List (which can only apply to sites in Commonwealth government ownership) or the National Heritage List (which applies to sites of National heritage significance). It was however included on the now defunct National Heritage Register.

North Midlands Interim Planning Scheme 2013

The North Midlands Interim Planning Scheme 2013 includes the heritage listings associated with the site outlined in table 2 below.

The following abbreviations indicate the source of the Place's recognition status at the time of compiling the consolidated list [2007]:

NMC Northern Midlands Council Planning Scheme 1995 Schedule

RNE Register of the National Estate

NT National Trust of Australia Register

THR Tasmanian Heritage Register

Table 2: Details of Heritage Listings in North Midlands Interim Planning Scheme 2013 - Table F2.1: Heritage Places Inside Heritage Precincts

ID	Property Name	Ref	Location			
87	St Luke's Anglican Church and Cemetery	NMC, NT, RNE, THR	67	High	Street	Campbell Town
88	Anglican Schoolhouse (Former)	NMC, NT, RNE, THR	67	High	Street	Campbell Town

The site is also located within the Campbell Town Heritage Precinct.

Non-Statutory Listings

The North Midlands Interim Planning Scheme 2013 identifies that the Church and Cemetery, as well as the Former Schoolhouse, are listed within both the Register of the National Estate and the National Trust (Tasmania) Register. Neither of these listings have statutory affect.

1.3 Previous Studies

This plan is based on the following documents, which contain more detailed historical, architectural and archaeological data than is included herein; they should be read in conjunction with this report.

- History of the church provided by the Parish

1.4 Terms

Local	Refers to the North Midlands Council area.
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State	Refers to Tasmania
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The following terms used in this report are defined in the Australian ICOMOS Burra Charter 2013.

Place	means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.
Cultural significance	means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups
Fabric	means all the physical material of the place including elements, fixtures, contents and objects.
Conservation	means all the processes of looking after a place so as to retain its cultural significance.
Maintenance	means the continuous protective care of a place, and its setting. Maintenance is to be distinguished from repair which involves restoration or reconstruction.
Preservation	means maintaining a place in its existing state and retarding deterioration.
Restoration	means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
Reconstruction	means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.
Adaptation	means changing a place to suit the existing use or a proposed use
Use	means the functions of a place, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.
Compatible use	means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.
Setting	means the immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.

Related place	means a place that contributes to the cultural significance of another place.
Related object	means an object that contributes to the cultural significance of a place but is not at the place.
Associations	mean the connections that exist between people and a place.
Meanings	denote what a place signifies, indicates, evokes or expresses to people.
Interpretation	means all the ways of presenting the cultural significance of a place.

1.5 Abbreviations

AHC	Australian Heritage Council
ANHC	Australian Natural Heritage Charter
AHIMS	Aboriginal Heritage Management System
BCA	Building Code of Australia, part of the National Construction Code
CMP	Conservation Management Plan
DPIPWE	Department of Primary Industries, Parks, Water and Environment
DPW	Tasmanian Department of Public Works
EPBC	Commonwealth Environment Protection and Biodiversity Conservation Act 1999
THC	Tasmanian Heritage Council
THR	Tasmanian Heritage Register
ICOMOS	International Committee on Monuments and Sites
NAA	National Archives of Australia
NCC	National Construction Code of Australia (may also be referred to as The Building Code of Australia or BCA)
NHL	National Heritage List
PWS	Tasmania Parks & Wildlife Service
PoM	Plan of Management
RAHS	Royal Australian Historical Society
UNESCO	United Nations Educational Scientific and Cultural Organisation

1.6 Scope and Methodology

The methodology used is in accordance with the principles and definitions as set out in the guidelines to the Australia ICOMOS Burra Charter 2013 and its Practice Notes, the guidelines of the Department of Primary Industries, Parks, Water and Environment *Assessing Historic Heritage Significance for application with the Historic Cultural Heritage Act 1995 (Version 5 October 2011)* and J.S. Kerr's The Conservation Plan.

This methodology incorporates the following sections: Historical Background, Physical Analysis, Significance Assessment, Conservation and Management Principles and Management Policies.

Site inspections were conducted to assess the building and landscape elements of the site and the potential for archaeological materials to occur. The inspections were not full landscape archaeological surveys.

This plan evaluates the cultural heritage significance of the built and landscape features within the context of the site. The CMP also considers and determines appropriate conservation management policies and guidelines for the future use of the place, which are consistent with the assessed cultural significance.

The methodology of the preparation of this plan follows that set out in JS Kerr "The Conservation Plan". The key elements of the study are:

- Understanding the Place through description and historical research site investigation and analysis looking at how the site is used
- Setting out the significance of the Place through a statement of significance looking at the significance of the various parts of the Place
- Looking to the future by providing policies and strategies on the place as a whole as well as the various elements that make the Place.

1.7 Limits of the Plan

In the preparation of this plan a number of existing sources of information and research have been used, particularly the previous studies undertaken. Other research has been undertaken at local and state repositories. The research was limited due to time and budgetary constraints. Funding did not allow for extensive historical research into phases of development of the site. The historical outline within this report provides sufficient background to provide an assessment of the site and relevant policy recommendations. However, it is not intended to be an exhaustive history of the site.

The uses and associations related to the site and much of the research material is based on secondary, rather than primary material. Site investigation has also been undertaken for built and landscape heritage elements. However, no intervention has been carried out in reaching the opinions and recommendations in the report.

1.8 Authors

The plan has been written by Paul Davies, an experienced heritage architect who has worked on more than 60 churches including some of the most significant churches in Australia. The CMP is focussed on the development of the site, its spatial qualities and how to consider future work. The study does not consider the detail of the church but observes that an outcome of undertaking work on the site will be undertaking long-term conservation works to the buildings and site.

1.9 Acknowledgements

The following people and groups have assisted in the preparation of this Plan:

Fiona Oates, Parish Administrator - Midlands Anglican Parish

Mike Verdouw - 1+2 Architecture

2.0 Historical Background

2.1 History of the Church and Parish

Preamble and Context

A full history of the parish is beyond the scope of this study. The church, that is the establishment of ministry in the area, dates to the 1830s and has continued for 190 years. While the church buildings and site, including the graveyard, have a range of heritage values, at their most fundamental level they demonstrate the pivotal role of religion in the establishment of communities in the Midlands. It is unthinkable in relation to the development of Campbell Town to not have the church in the town. The sale of the nearby Presbyterian church is a salutary reminder of the transience of significance once the purpose of the buildings has ceased. While the fabric of that place remains and hopefully remains into the future, that site has been excised from community use and is at risk of becoming another theme park to heritage.

It is difficult now to imagine that for much of its life the church building was full on Sundays (and other times). A 1910 recollection was that that the three services on a Sunday were full and there were 120 children in Sunday school. Whilst a small building, this indicates the central role of the church in the community for much of its life.

Times have changed and while the need for the church and its role in the community has not changed, the community around it has and the once extensive parish has reduced with the closure of branch or ancillary churches and at times the risk of closure of St Luke's.

This short CMP is prepared in the context of a rapidly shifting society that no longer attends church as a social activity and the desire to maintain the church as a core part of the life of the town.

It has to be stated that remaining static and not engaging with societal change will inevitably see the church close. Consequently, the parish is seeking to make quite significant changes to engage with the local community, retain the heritage elements of the site and secure a future for the church and parish. This is the framework for this study.

The Beginnings¹

During Governor Macquarie's time in Tasmania in 1821, just before his retirement, he named Campbell Town, a small settlement on the Elizabeth River named after his wife. Her family name was Campbell and her first name was Elizabeth. At this stage Tasmania, or Van Dieman's land as it was then known was considered a dependency of NSW and the names Elizabeth and Campbell appeared in numerous locations.

The parish has existed since this time.

In March 1828 James Simpson, the Police Magistrate, initiated a move to make Campbell Town a parish by requesting assistance, on behalf of the inhabitants, from the colonial secretary in the

¹ Much of the early history is based on a manuscript provided by the parish that sets out the history of the parish.

building of a church and the obtaining of the services of a clergyman for the district. cGovernor Arthur, although dubious of the town succeeding in raising funds, promised to match local subscriptions.

It is interesting that the move for a church arose from the magistrate and not the settlers. It can be reasonably assumed that he saw the church as a civilising influence in the area that may make his role easier, he may also have been a church member who was committed to the value of the church in civic affairs.

As nothing more was heard from the colonial secretary about the request, Richard Willis wrote again in 1830 requesting that the building be immediately commenced.c He was willing to provide his house and 60 acres of land for a clergyman if one was available.

By this time, in 1830, the crown had granted land; some 30 acres, 2 roods and 10 perches more or less, bounded by William, East, Pedder, and High streets, to be held by trustees; Thomas Reibey, William Stanley Sharland and Robert Quayle Kermode ,on behalf of the Church of England.



Figure 4: Town map showing extent of church grant (note the excision of a small block in the south-east corner).

Source:

The first rector, Revd. William Bedford (junior), was appointed to Campbell Town. He arrived in the colony from England in 1833. His stipend was 250 pounds, a large sum of money, and 'forage for his horses'. His father, William Bedford (senior), was already the rector of St David' church which later became the cathedral in Hobartown.

The first services were conducted in the old police office which then became the council chambers which were located in Bridge Street. On 11th Dec 1833 the first baptism took place - Charles George Henry Care Clarke. The first recorded funeral was on 14 June 1834 of John Paine. Farmer, Bendemere, aged 33, is the earliest burial stone in the Church Street cemetery dating to 1827.

The first marriage recorded in Campbell Town district was in 1822.

The Construction of St Luke's

A building committee was set up in 1833 consisting of Henry Jellicoe, Samuel Hill, Revd Bedford Jnr (Sec), H Harrison and John Leake. The practise of the Colonial Architect to furnish plans and specifications of Churches to the District Committees had been set aside and instead it was the job of the Rural dean to request that such committees provide their own plans and specifications for Archer's approval. Consequently, the parishioners presented their own design however it was considered too elaborate and costly.

Governor Arthur intervened and requested a design similar to the church originally destined for Ross. In response, the committee requested that the Colonial Architect, John Lee Archer, draw plans on a larger scale (60ft x40ft) with the communion table behind the pulpit. The cost of the church was around £600, half of which was borne by subscription by the parishioners and half by the government of the day. The bricks were convict made, the broad arrow stamp being distinguishable on the inner side.

Originally it was suggested that Mr Ford, involved in the building of the bridges at Ross and Campbell Town should built the church once the bridges were complete. However, in August 1835 John Lee Archer recommended that C. Atkinson should build the church in Campbell Town. The foundation stone was laid by Governor Arthur on 20th October 1835, the governor having performed a similar ceremony for St. John's Church Ross earlier that day. By this time the subscription list had increased to such an extent, mainly through the assistance of Rev Bedford's father in Hobart, that a tower was added to the design at a cost of £200.

The surviving Archer drawings show the building without the tower

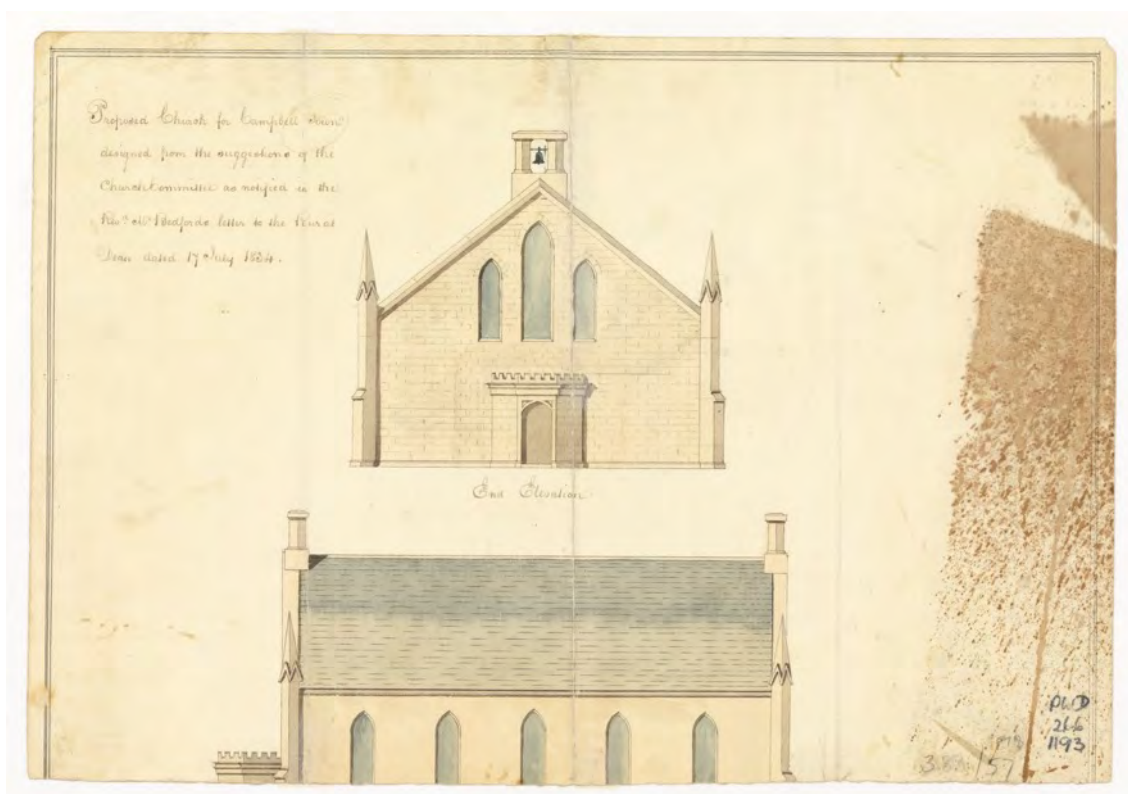


Figure 5: Archer drawings of the church without the tower.

Source: Archives Office of Tasmania

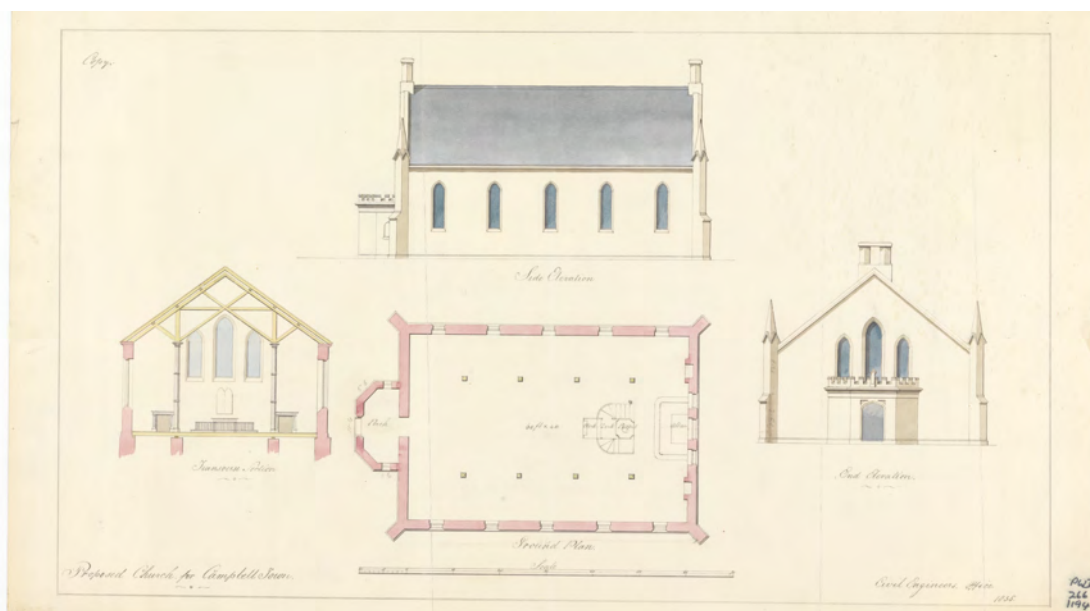


Figure 6: Archer drawings of the church without the tower.

Source: Archives Office of Tasmania

After commencement, concern was expressed by various parties about the state of or rather the lack of foundations. Governor Arthur told John Lee Archer, 'that it was a matter of extreme

importance that he inspects the building of the churches at Ross, Campbell Town and Hamilton' presumably as he was concerned about the constructions. It appears that foundations were a common problem for other churches of the day.

After the foundations were rectified, the contractor ran into financial trouble and another contractor, Foster, was engaged to complete the work in a 'substantial and workmanlike manner to my satisfaction' to quote Archer.

Other defects in the building arose when the windows were installed with gaps between them and the walls. The roof then became bowed due to the 'green timbers' used and six weeks of 'severe and heavy winds'. The roof was subsequently rectified by inserting additional battens under the timber shingles. It was decided that as the resulting curve in the roof was no more than 2 inches that no water could possibly lodge and work continued. Despite this, the building inspector's report at one stage states, 'that, apart from the roof it was by no means a despicable job'.

The church was eventually completed and opened on January 1839 by Archdeacon William Hutchins under licence issued by Bishop William Grant Broughton, Bishop of Australia.

Tasmania became its own Diocese, by Letters patent, on 21 August 1842. The Right Revd. Frances Russell Nixon was the first Bishop of Tasmania and he consecrated St Luke's on 11 June, 1850. Ten clergy were present, quite a feat considering the difficulties of travel at that time.

An interesting aside is that in a notice in the Cornwall Chronicle of 1843, four years after opening but well before consecration, the church wardens called on the seat holders for rents to be paid in order that the Church might be repaired and cleaned. Seemingly not all the construction issues had been solved.

While the building has undergone a range of changes over its life, it remains overall close to its early form today. Little else is known about the early construction or changes to the church building. There are relatively few illustrations of the buildings and site or records of change. The following illustrations of the building at various times show a consistent external form and setting but a number of internal changes that are discussed below. While the only addition to the church was the small vestry, the interior decoration changed a number of times as taste and theological views changed.



Figure 7: Photo of church, date unknown, showing mature plantings and a grassed setting. The photo shows both native trees and introduced plantings and a relatively unkempt setting.

Source: Parish Archives



Figure 8: Photo of church (coloured), date unknown, showing mature plantings along the front of the burial ground, the picket fence and boundary plantings that are immature.

Source: Parish Archives



Figure 9: Photo of church, 1933, with detail of the entry gates and fencing, the fence at this point is painted white and has shaped tops to pickets where other fences have plain tops. The landscape is quite mature at this point.

Source: Parish Archives



Figure 10: Photo of church, date unknown but after 1922 as the vestry can be seen, showing mature plantings and a grassed setting with barbed wire paddock fencing.
Source: Parish Archives



Figure 11: A photo that appears to date to be prior to 1877. What appears to be the first interior decorative scheme with painted panels but otherwise relatively plain interior, note the gaslights. The pulpit is the current pulpit. The layout varies from the Archer plans where the pulpit was centred.
Source: Parish Archives



Figure 12: The interior prior to the interior decoration of 1877 and the relocation of the organ in 1876.
Source: Parish Archives



Figure 13: The interior after the interior decoration of 1877 that replaced the earlier decorative scheme seen in the illustrations above above. Electric lights have been added and the organ is in its relocated position.

Source: Parish Archives



Figure 14: Photo of church from burial ground. Source: Paul Davies Pty Ltd 2021



Figure 15: Photo of church from burial ground. Source: Paul Davies Pty Ltd 2021



Figure 16: Photo of church and Sunday School Hall from burial ground 2021 with later row burials in foreground.

Source: Paul Davies Pty Ltd 2021

St Luke's Sunday School

Parishes rarely stand still and as the church grew there was a need for additional buildings.

In 1845 the Sunday School building, designed by James Blackburn, was completed. It functioned as a day school during the week and a Sunday school on a Sunday. The building originally did not have an external door instead there were two internal doors to the two school rooms.

The schoolteacher lived above the classrooms in the attic space, windows were located in the gable ends. The day school ran until 1878 when the public school in Bridge Street was opened. Dr. Valentine (the local doctor) with his wife and daughter were the first Sunday school teachers. The now elevated rear door suggests that there were some form of additions (probably timber) added to the rear of the building to accommodate a kitchen etc. and this photo and the following photo show rear sheds that are now removed.

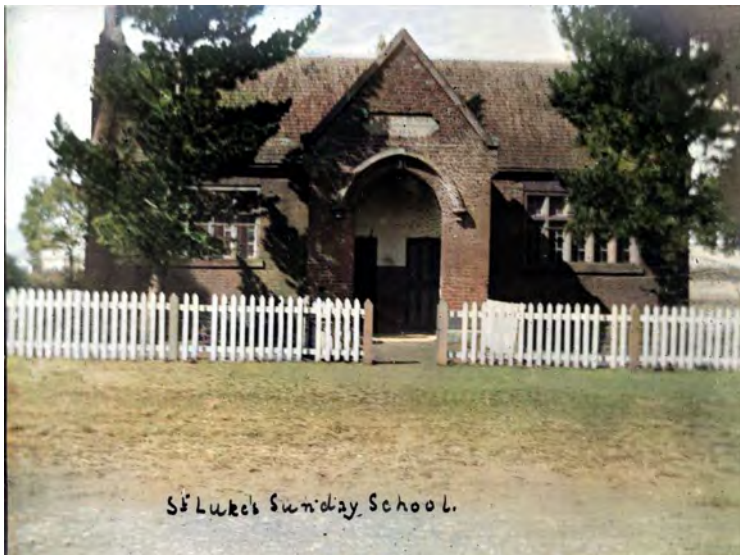


Figure 17: Photo of Sunday School Hall prob 1950 period with fence in deteriorated and now painted form and substantial pines in front of the building but not behind the building. The open front porch can be seen.

Source: Parish Archives

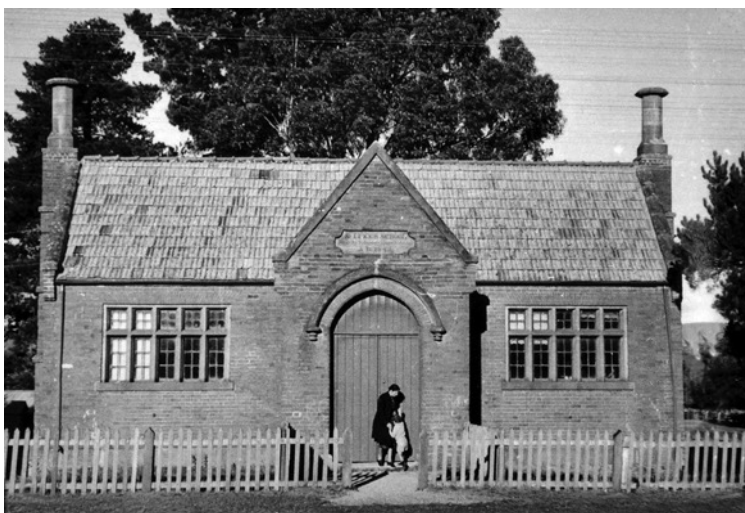


Figure 18: Photo of Sunday School Hall probably 1950s. The picket fence is unpainted and plain, the tiled roof has been installed. The building is built quite close to the boundary. Doors have now been added to the porch.

Source: Parish Archives



Figure 19: Photo of Sunday School Hall prob 1960-70 period with fence removed but shed in background and substantial pines behind the building.

Source: Parish Archives



Figure 20: The hall with all the pines and fences removed and showing the rear c 1950s addition. Source: Paul Davies Pty Ltd 2021



Figure 21: The hall showing the rear c 1950s addition.

Source: Paul Davies Pty Ltd 2021



Figure 22: The hall showing the elevated rear door and the location of former additions.

Source: Paul Davies Pty Ltd 2021

Later works and Changes

The following is a list of known works and changes to the site.

- The pipe organ was installed in 1862, made by J.W. Walker of London. It was originally installed in the western end of the church but moved to its present position (with the choir) in 1876.
- 1876 - new altar rails, lamps and a communion set were installed. It is recorded that the Revd. C Vaghan executed the original version of the decorative work round the walls at this time. The few internal photos show two decorative scheme in the building, it is not known when the second was installed however it is Victorian in style.
- A 500 hundred weight bell was purchased and remained on a temporary iron tripod until the tower was strengthened in order to hold it in 1889.
- In 1920 the church was renovated and the vestry was added. Rev. E Gordon raised \$1,000 to reroof the church replacing the original timber shingles with Australian made tiles. The roof to the Sunday School was similarly replaced.
- Electricity at some stage replaced the lamps (date unknown) in 1993, it is recorded that the sanctuary lights were renewed.

- 1935 saw the centenary celebrations take place and in 1985 a thanksgiving service was held to commemorate the 150th anniversary of the commencement of the construction of the church.
- In October 1951 a portion of the church land was conveyed to the Commission of Australia and in 1952 to Campbell Town Council and the Memorial Oval was established.
- A small portion of land was given to Revd. Dando in 1952, 'as he had nowhere to live in his retirement'.
- A new altar was installed in 1953,
- Extensive work was carried out to strengthen the foundations in 1954.
- In 1957 the interior was renovated, redecorated, and the carpet laid.
- c1950s the brick addition to the hall was built
- In 1975 the chancel was extended into the sanctuary and the pulpit relocated. This was pronounced to be 'a great improvement'.
- The eastern part of the site, beyond the graveyard, was approved for sub-division for housing in 2019.

Rectory

Rev. William Bedford (Jnr) lived in the rectory provided by Jellicoe until the completion of his own home, Howley Lodge. The parish bought the original rectory in 1888 for £850. It continued to be used until the late 1990s when it was sold. A new rectory was purchased in 2009 in West Street, Campbell Town.

The rectory does not form part of the area being considered in this report.

Burial Ground

The burial ground has been active since the land came into church ownership, the first burial recorded as 1827. The burial ground occupies a large part of the land behind and beside the church and behind the Sunday School Hall. This short analysis does not set out a history or assessment of the burials or the funerary monuments. The burial area is significant in relation to the history of Campbell Town and the surrounding district as well as to the church and its setting providing a substantial open space to the east and south of the church and Sunday School building that is one of the defining elements of the site. The burial ground also important to the community of the area with many significant burials.

3.0 Physical Analysis

3.1 Introduction

St Luke's in Campbell Town is one of a group of early churches built across Tasmania that are a key visual, historical and social part of the cultural story of Tasmania. Completed after much effort in 1839, it was one of 14 churches designed by John Lee Archer, 9 of which remain. It forms part of a group of similar buildings with St John's Newtown (1833), St Luke's Bothwell (1829), At Luke's Richmond (1836) and St Peter's Hamilton (1834).

The church was planned but not built until the 1837 Church Act was gazetted (the Act was designed to provide for supporting clergy and building churches across the settled areas). The Australian colonies became a separate bishopric in 1837 under William Broughton. In 1842 the Diocese of Tasmania was formed under Bishop Nixon and by 1845 there were 27 parishes with church buildings.

This places St Luke's in the centre of the early development of churches across the State.

St Luke's reached its zenith in the late nineteenth and early twentieth century with large attendances and a central place in the life of the town. Like many churches the post war period in Campbell Town saw a slow decline in attendances and a marginalisation of the role of the parish in local life. Unlike many rural churches St Luke's remains active and is looking to consolidate its role and position in the region.

Many churches reflect their life in the range of buildings that are built. Halls, residences and a range of facilities are added over time to address the growth and needs of the area. Smaller rural locations in the state often did not add buildings as is seen in suburban and city areas. St Luke's saw the addition of a Sunday School building early in its life but has had no other site development. This places pressure on the functioning of the parish as the only usable space is the church building.

This CMP and assessment is prepared to guide a development proposal for the site that seeks to add a new church building to allow the parish to function into the future. The proposal is consistent with the long tradition and history of parishes adding to their buildings and facilities and is a positive step towards securing the future of the church in the town.

Paul Davies Pty Ltd carried out a physical assessment of the site in July 2021 sufficient to prepare this report. The assessment is not a detailed fabric assessment, that can be undertaken as part of a maintenance and conservation program for the site, but addresses principally site issues. The analysis looks at the built form with the town and its landscape setting. It is not a detailed consideration of all fabric, but an overview that seeks to understand the elements of the place to assist in determining significance. Section 4.5 provides a detailed description of the Graded Areas of Significance on the site.

3.2 Site Features

The site was a large holding that appears, for most of its church ownership, to have had a very defined area of church use and later sub-division for initially the oval and playing fields, then a residence and recently for a housing development on the eastern side of the land. The church and Sunday school buildings have occupied the main road frontage adjacent to the town in a somewhat irregular arrangement with the burial ground forming a clearly defined area behind. This arrangement has been in place, with minor change only, since the 1850s.

Apart from the reduction in size of the original land holding it is of value to understand the site and how it has fitted within the town and how changes have taken place.

The various photographs are reasonably consistent in showing the church in a managed but largely unformed landscape. The site is grassed with trees changing over time and presumably early in the life of the site a picket fence was erected along the frontage. This is clearly shown in several photos. It is not known when the fence was removed but as the now mature tree plantings in places are on the boundary, presumably the fence was removed before the current trees were planted or the trees were planted very close to the fence.

The plantings are also interesting, they are largely introduced plantings and all appear intentional. There is an avenue of plantings along the western boundary and a grouping of trees to the right of the entry drive that creates a small park-like area. This appears intentional. There is also a single oak planted near the Sunday School Hall that is clearly a specimen tree that sits in the line of long views to the church from the south (see cover photo).

The elliptical driveway is irregular in form and appears to have always had this alignment with the entry point located on the high point of the contour with the church built along the contour as well which places it slightly off east-west orientation. Even though the site falls gently to north and south and to a lesser extent to the east of the church, the building was carefully sited on the highest ground.

The Sunday School Building is located near the corner of William Street but is not set square to William Street or the church building. Its front alignment relates to the town hall building immediately to the south of William Street and forms part of the civic grouping of churches, hospital and town hall that define the northern end of the town centre. Interestingly, despite the large land holding and the burial ground not extending behind the hall when the hall was built, it is located close to the street frontage, well in front of the alignment of the church and at a considerable distance from the church suggesting that the two were not used in common and that the Sunday school use (in contrast to school use) was a separate activity to church services.

The following sketches outline the changes to the site that are known.



Figure 23: The site in 1839 showing the church and the burial ground.

Source: Paul Davies Pty Ltd 2021

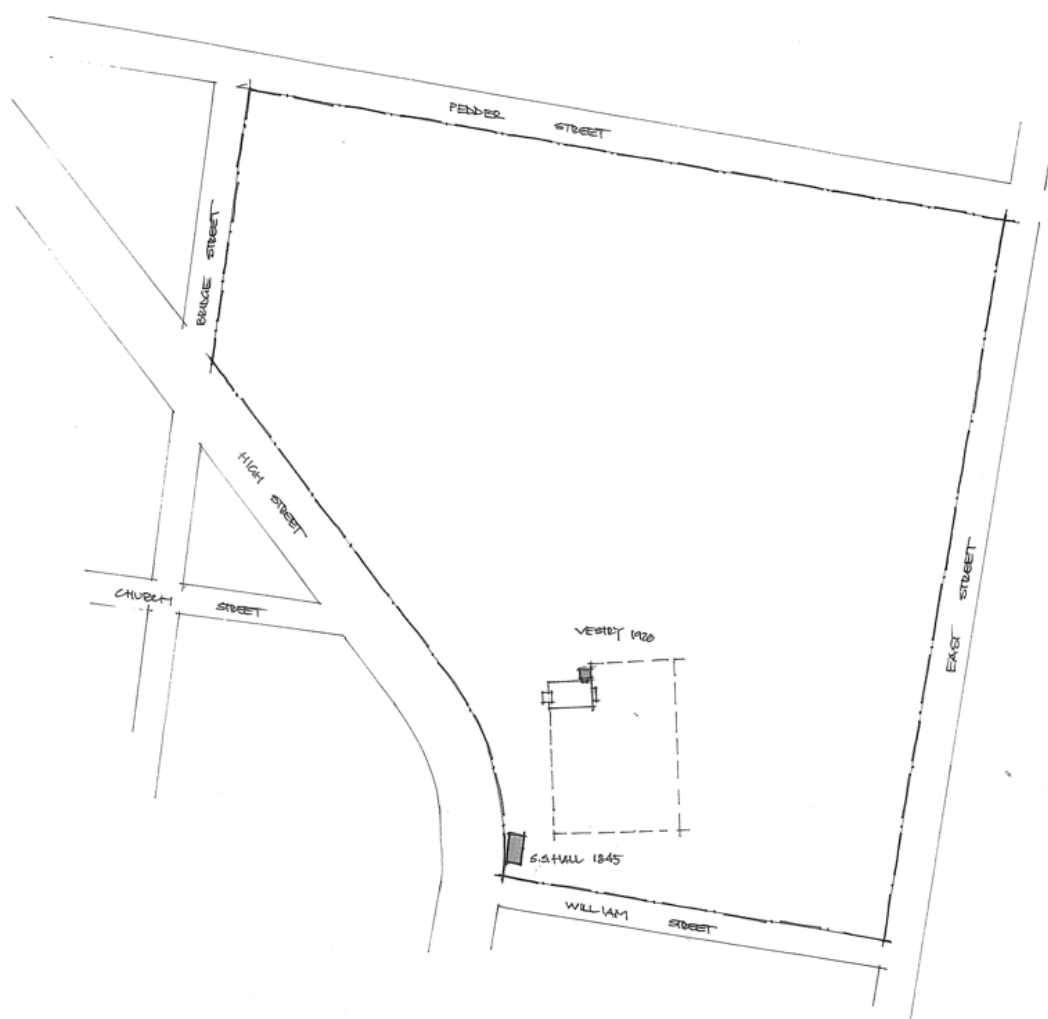


Figure 24: The site in 1920 showing the Sunday School Hall and the vestry addition.

Source: Paul Davies Pty Ltd 2021

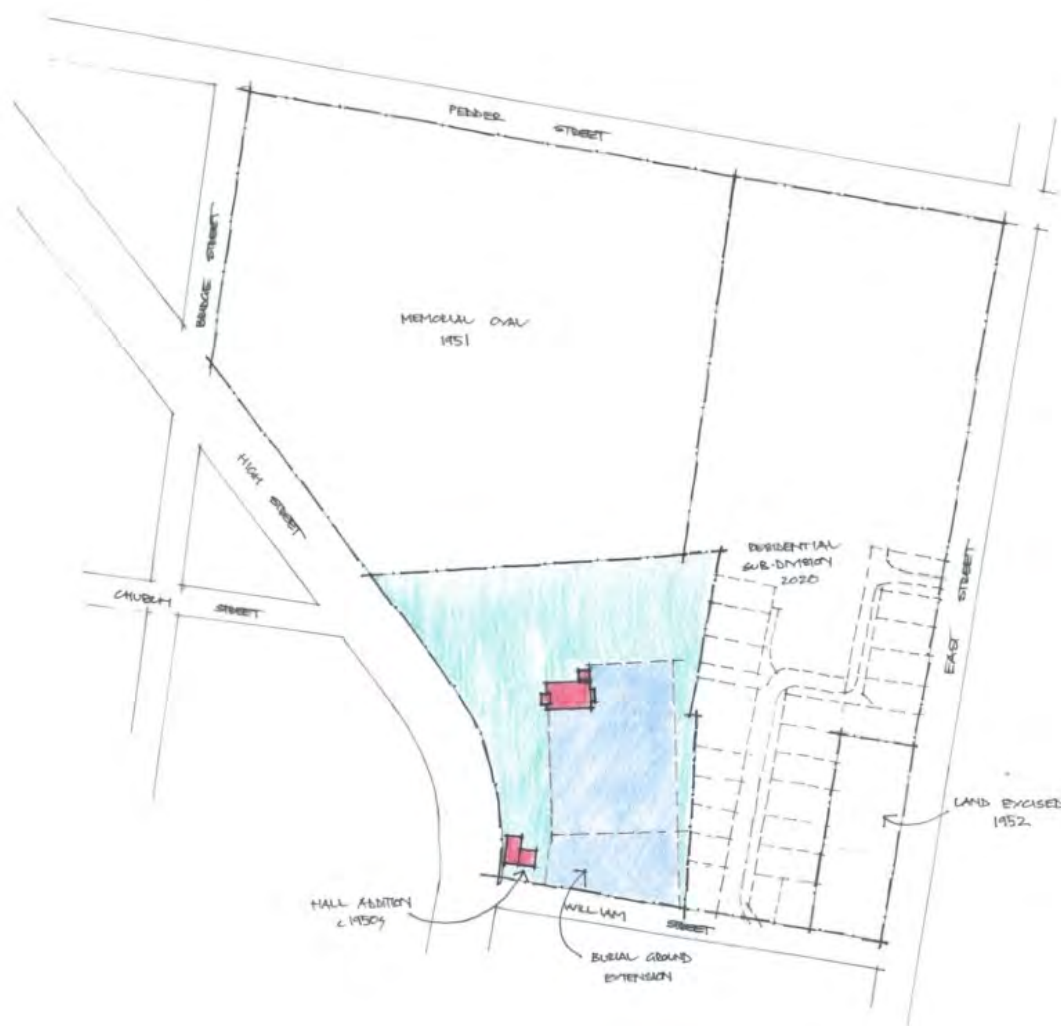


Figure 25: The site in 2021 showing the excised Memorial Oval, the block of land to the east and the approved sub-division plans. Also the enlarged burial ground to the south can be seen. The burials in the later part of the twentieth century changed in character as seen in the extended area. The church land is reduced to the lot containing the church buildings and burial ground.

Source: Paul Davies Pty Ltd 2021



Figure 26: Site plan showing existing trees and paths.

Source: Paul Davies Pty Ltd 2021

3.3 Views

The church building is set quite intentionally within the view from the main road as it moves through the town towards the north, allowing the tower to be a focal point of the longer and intermediate views, but not on the centre line of the road.

Similarly, when built, the tower is slightly offset from the view from the north along the highway although that view is now obscured through dense vegetation. The southern view is the major view that forms part of the townscape of the centre of the town.

Due to the relatively flat topography of the town, the tower can be seen from a range of nearby locations across open land.

The following significant views have been identified (see figure below):

- A – View looking north from High Street;

- B – Looking south from High Street;
- C – View across burial ground from William Street;
- D – View from near the front of the Church Building.



Figure 27: Views to the site: A – view looking north from High Street; B – view looking south from High Street; C – view across burial ground from William Street; D View from near the front of the church building. The major view is A as seen in the cover photo of the study.

Source: Paul Davies Pty Ltd 2021



Figure 28: View from the frontage of the church looking south down the main street of Campbell Town.

Source: Paul Davies Pty Ltd 2021



Figure 29: View from the front of the hall looking toward the church along the curving main road. The tower is a dominant element in the northern views from the town.

Source: Paul Davies Pty Ltd 2021



Figure 30: A broader view looking north.

Source: Paul Davies Pty Ltd 2021



Figure 31: The view north from the church entry showing the alignment of trees, the hawthorn hedge beyond and the gentle grassed edge to the main road that is a remnant early condition.

Source: Paul Davies Pty Ltd 2021



Figure 32: View looking north from the corner of the site with the tree line to the right and the church to the left. The view of the church is filtered from the street.

Source: Paul Davies Pty Ltd 2021



Figure 33: A view further back on the boundary alignment looking south. Source: Paul Davies Pty Ltd 2021



Figure 34: A closer view showing the road, trees and church.

Source: Paul Davies Pty Ltd 2021



Figure 35: View from the north across Memorial Oval, the church is visible with various elements in the foreground. This is a minor view to the church but also demonstrates the visual dominance of the tower in the locality.

Source: Paul Davies Pty Ltd 2021



Figure 36: View of the church from the railway alignment to the east.

Source: Paul Davies Pty Ltd 2021

The site is quite exposed to views from a range of directions at present, however this will change as the sub-division to the rear is taken up and the eastern views will be seen across new development.

4.0 Significance Assessment

Cultural significance is defined in The Burra Charter (2013), published by Australia ICOMOS, as:

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects

Setting out the cultural significance of a place assists in identifying what aspects of the place contribute to that significance and the relative contribution of the various elements of the place to that significance. This understanding is essential to allow management of the place that can guide future work in a way that retains its significance. The following section sets out the nature of the significance of the site by looking at:

- what has been assessed in previous studies,
- the criteria established under the Historic Cultural Heritage Act 1995 and setting out the significance of the place to address those criteria
- the various attributes of the place and how they contribute to significance.

4.1 Recognised Heritage Status

The site is included on the State Heritage Register and the local council heritage schedule.

4.2 Assessment of Significance

Criteria for Assessing Cultural Heritage Significance

Assessing Historic Heritage Significance (Version 5 October 2011) for application with the *Historic Cultural Heritage Act 1995*, was developed by the Heritage Office and Department of Primary Industries, Parks, Water and Environment to provide the basis for assessment of the heritage significance of an item by evaluating its significance by reference to the following criteria.

Table 3: Criteria for Assessing Cultural Heritage Significance.

Criterion (a)	the place is important to the course or pattern of Tasmania's history;
Criterion (b)	the place possesses uncommon or rare aspects of Tasmania's history;
Criterion (c)	the place has the potential to yield information that will contribute to an understanding of Tasmania's history;
Criterion (d)	the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history;

Criterion (e)	the place is important in demonstrating a high degree of creative or technical achievement;
Criterion (f)	the place has a strong or special association with a particular community or cultural group for social or spiritual reasons;
Criterion (g)	the place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history;
Criterion (h)	the place is important in exhibiting particular aesthetic characteristics.

The above criteria for cultural and relative values provide three thresholds (National, State or Local, i.e. in Australia, Tasmania or the local region) for determining the level of significance.

Levels of Significance

Table 4: Levels of Significance.

National Heritage Listing	National heritage comprises items significant in a nation-wide historical or geographical context or attributed to an important and identifiable contemporary national community. For research potential, historical, aesthetic and/or technical/research significance an item must be a fine representative example or be rare in the national context. Social significance at a national level would require recognition of an item's importance to the people of Australia or to an important and identifiable nation-wide community.
State Heritage Listing	State heritage comprises items in a state-wide historical or geographical context or attributed to an important and identifiable contemporary state-wide community. For research potential, historical, aesthetic and/or technical/research significance an item must be a fine representative example or be rare in the state-wide context. Social significance at a state level would require recognition of an item's importance to the people of Tasmania or to an important and identifiable state-wide community. Most Aboriginal, multicultural and religious communities operate throughout the State; however, the item would have to be important to the entire group, not just a local branch.
Local Heritage Listing	Local heritage comprises items significant in a local historical or geographic context or to an identifiable contemporary local community. The local context is defined in the analysis and statement of significance of the item. In a council heritage study the local context will approximate the local government area. When considering social significance, it is important to identify the local community, which values the item. This needs to be established through consultation with community groups such as local historical societies. Indications of local social significance are often found in media coverage and local community group publications.

4.3 Detailed Statement of Significance

Course or Pattern

Criterion (a) The place is important to the course or pattern of Tasmania's history.

The site and two buildings are of high significance in the course of Tasmania's history. Early church buildings are key indicators of the development of early settlements across the colony and St Luke's is one of a very fine and largely intact collection of churches (of a range of denominations) that are key elements of historic town centres. Campbell Town is one of the more major country towns and the church occupies a pivotal position within the town visually, historically and socially.

Aspects of Tasmania's History

Criterion (b) The place possesses uncommon or rare aspects of Tasmania's history.

The church, hall and graveyard, while not rare as examples of those elements are rare in that they combine to form a very early and intact grouping of buildings and site features. The ongoing use as a church centre is now increasingly rare as country churches of all types cease operating and change use.

Information

Criterion (c) The place has the potential to yield information that will contribute to an understanding of Tasmania's history.

The buildings and graveyard have potential to provide information related to early construction, the social history of the area, funerary practices and art and the early layout of towns.

Social significance

Criterion (d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.

The church and hall are the work of prominent early architects that demonstrate their work to a high level. The buildings also demonstrate the design of early church and school facilities and the range of design idioms used in different places. While St Luke's in many respects is a standard type of church design for the period, it is a bespoke building with unusual form and detailing that demonstrates the range of design and materiality approaches to providing early buildings in newly established towns and centres.

Achievement

Criterion (e) The place is important in demonstrating a high degree of creative or technical achievement.

The church in particular but also the school building and graveyard demonstrate high levels of both creative and technical achievement in providing a substantial set of facilities in a small town. The building design exemplifies the creativity of early citizens, architects and the government in funding such works.

Association

Criterion (f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.

The site and buildings are strongly associated with the local community through use, memorials and gravesites. The place has been the focus of community life for around 170 years and while church attendance has lessened over recent years, the place continues in use and provides for significant events in births deaths and marriages as well as a place of Christian faith within the community.

Association - People

Criterion (g) The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.

The place is associated with many local pioneers, politicians, land owners and significant community members who are memorialized in the church or graveyard. It contains war memorials and other collective expressions of community grief and outpouring.

The church is associated with John Lee Archer and James Blackburn, significant colonial architects, with Governor Macquarie and a wide range of locally significant people.

Aesthetic Characteristics

Criterion (h) The place is important in exhibiting particular aesthetic characteristics.

The church building, school hall, graveyard and site display exceptional aesthetic qualities individually and collectively as a place defining the northern end of the township.

4.4 Summary Statement of Significance

The following Character Statement has been taken from the North Midlands Interim Planning Scheme 2013

The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

4.5 Graded Areas of Significance

The following assessment of elemental significance is set out on the basis of the statement of significance for the place and the relative values of the various component parts of the place. The elements of highest significance are those that are essential to conserve and understand the significance of the place.

The concept of graded significance provides for management of the various elements of the place with a level of finesse that acknowledges the potential for an ongoing active use of the site and the need to implement changes and new uses while retaining those parts of the place that are unique and provide evidence of the development of the site.

Table 5: The graded levels of significance.

Grading	Justification	Status
Exceptional	Rare or outstanding element directly contributing to an item's local and State significance.	Fulfil criteria for local or State listing.
High	High degree of original fabric. Demonstrates a key element of the item's significance. Alterations do not detract from significance.	Fulfil criteria for local or State listing.
Moderate	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item.	Fulfil criteria for local or State listing.
Little	Alterations detract from significance. Difficult to interpret.	Does not fulfil criteria for local or State listing.
Intrusive	Damaging to the item's heritage significance.	Does not fulfil criteria for local or State listing.

Table 6: The graded levels of significance.

Element (refer to Figures 4. To 4.)	Significance Assessment
GENERALLY	Exceptional
Church Building	Exceptional
Church Vestry	Moderate
Tiled roof cladding	Moderate
Church Interior	High
Stained glass windows	Exceptional to high
Pews	High
Pulpit	High
Font	High
Memorials	High
Organ	High
Moveable Heritage	Exceptional to high
Sunday School Building – early section	Exceptional
Rear Brick wing	Moderate
Remaining early fitout	High
Front doors	Neutral
Graveyard – early section	Exceptional
Graveyard – later section	Moderate
Specific graves	Exceptional to moderate
Curved entry driveway	High
Other driveway and causal parking	Neutral to intrusive
Trees	High to Neutral
Open space between buildings	High
Fences	Neutral

4.6 Setting (Curtilage)

The setting can be either the lot(s) on which a building or series of built elements are found or it may be the space around a heritage item or place that is required to preserve the significance of that place that may be a larger or smaller area than the actual site itself.

The concept of setting recognises that significance can be affected by what takes place in the immediate and broader setting even if no fabric is altered within the place.

The overall setting of the site is in two parts, firstly the land that forms the site from the main road to the new sub-division to the east and between the site boundaries north and south and secondly the town of Campbell Town and the adjacent semi-rural areas from the site can be seen.

Setting is defined as:

- The important elements of the place, and the relationship between these components.
- The setting of the place in terms of its immediate and broader setting

Other factors to be considered are:

- Views to and from the heritage item
- The possible need for a buffer area between the immediate setting and adjoining properties
- The visual and historical relationship between the item and its environs.

To establish a setting it is necessary to consider how views to the place could be retained or recovered in the future. The recommendation for a setting then would require that any future development should not obscure distant views to the building by developing within the viewscape.

4.7 Conclusion

The setting for St Luke's Anglican Church is the balance of the site that remains after the residential sub-division as an immediate setting and its setting at the north end of and within the townscape of Campbell Town.

5.0 Conservation and Management Principles

This section considers the constraints and opportunities on the site that arise from significance, use, client requirements and statutory constraints.

5.1 Client Requirements

This plan has been commissioned by the parish to assist planning for a small church development on the site and the associated site works including vehicle access and parking and landscaping that may then take place. As noted earlier it is critical for the survival and growth of small church communities to have reasonable facilities and spaces that can be used that support the ongoing use of the significant buildings and take pressure off them to undergo sometimes quite radical change.

The parish currently operates from the church building with a recent portable toilet set unceremoniously within the graveyard. The hall operates a much need local op shop that generates some income to support the church. There are no meeting, office or other facilities and no toilets, kitchen or amenities that encourage the use of the building.

The parish seek to provide these facilities to ensure that the church has a future use as a church in the community. To inform that process, this study assists in understanding the values of the place.

5.2 Principles

Conservation

The conservation options most appropriate to St Luke's Anglican Church are:

- i retain the church as a church without major interventions
- ii retain the hall as a shop that serves the local community and assists the church
- iii retain the burial ground as a functioning cemetery
- iv provide new facilities separate to but close to the church to avoid marginalisation of the church building in the future
- v provide for parking and vehicle access in a designed and managed way
- vi allow for the long-term conservation that the site and buildings will require.

Principles

- To protect the significant built cultural features and historic associations of the place
- To allow for public access and interpretation
- To inform and educate the community about the history of the place and its setting
- To provide an appropriate landscape setting for the place in the context of the place

5.3 Opportunities, Constraints and Issues Arising from Significance

St Luke's Anglican Church is a place of very high cultural significance, which imposes certain constraints on the use of the building and surrounding site.

It is not unusual or unreasonable to consider new forms and elements on an historic site, particularly a relatively large site such as St Luke's. There have been changes in the past largely through the excision of land but it is possible to look at adding further church related elements to the site. The key issues in determining how this can take place is to base decision on an understanding of the site as briefly set out in the first section of this report.

It is clear from the history and view analysis that development along the main road frontage is neither desirable or achievable. The area in front of the church and Sunday School hall and the space between those two buildings forms the core setting of the site.

This extends through to the burial ground which while of high historic value also is the major open space on the site that creates an open setting behind the buildings against which they are seen. The burial ground protects the sky views when looking towards the buildings from the road to the west with its low level funerary structures and gives a strong visual context that links the buildings and terminates the town form.

Similarly, the open parkland that steps around the site frontage is a key long-term element of the sites character.

The area to the north of the church, in contrast, provides potential for further church development and is suited for a number of reasons:

- the church building is on the rise and effectively screen views from the south to the area, development in this general location is unlikely to be visible from the town
- the land north of the church falls gently placing any potential element at a slightly lower floor level than the church building
- there has previously been a small addition (vestry) in this area recognising that this part of the site is the least visibly sensitive to undertake work
- the tree screening along the northern frontage of the main road screens the north part of the site as does the hawthorn hedging along the boundary that extends into the site
- the land has had no development, has been a paddock and provides adequate space to separate a new form from the church but set it close enough to satisfy functional needs
- there is good potential to establish further landscaping to set a new element within
- there is potential to add car parking away from the church frontage but easily accessible to it without disturbing the spatial arrangement of the site.
- there is no impact on existing significant landscape elements.
- there is no potential impact on the burial ground

All of these points are dependent on a suitable and contextually appropriate design being developed that is subservient to the church building in form and siting. This does not mean that a new building should not be seen from the street but, in a similar way to the Sunday School Building, there needs to be a clear spatial and hierarchical arrangement of built elements on the site that ensures the church retains its setting and prominence.

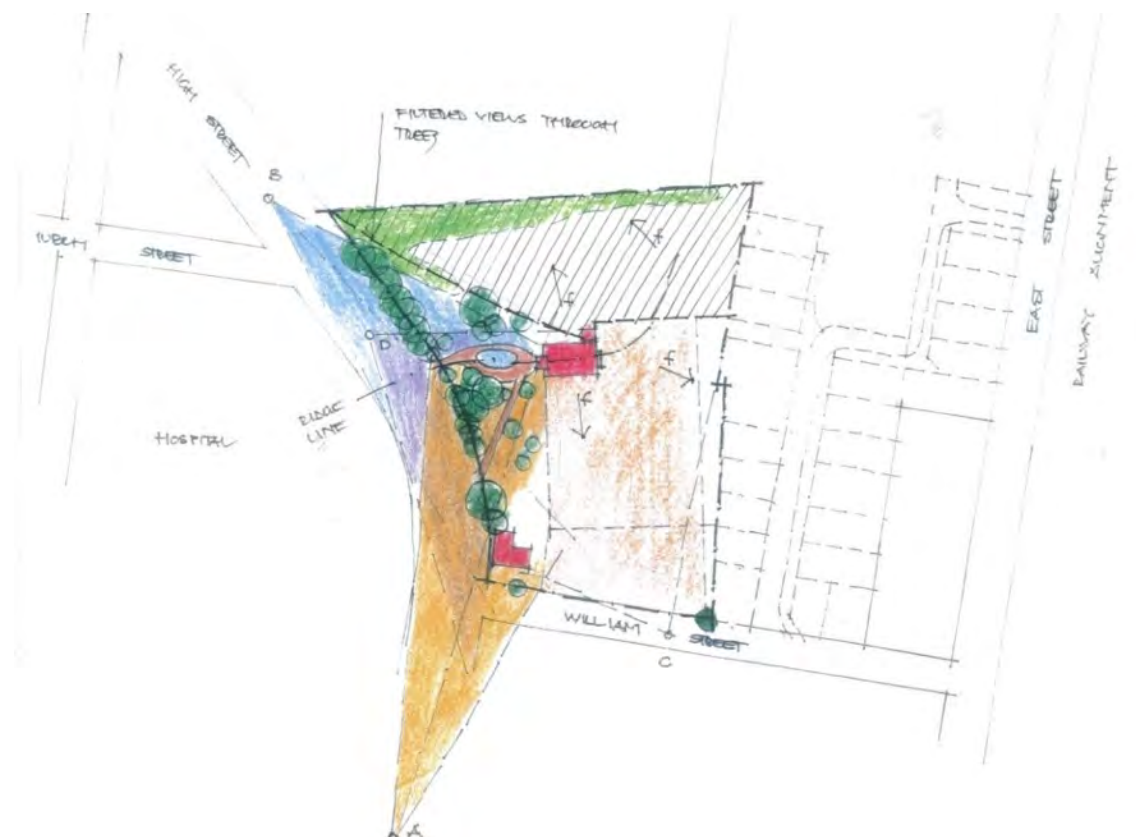


Figure 37: Consideration of areas of site for potential development, the cross hatched area is the part of the broader site that would be a preferred location for new elements.

5.4 Statutory and Other Controls

St Luke's Anglican Church is affected by the following statutory controls and is included on the following community organisation's registers.

Table 7: Impact of Statutory and other controls on subject site.

Control	Impact on St Luke's Anglican Church
Local Planning Scheme	Heritage controls outlined in Part E Codes – E13 Heritage Code and Part F Specific Area Plans – F2 Heritage Precincts Specific Area of the Northern Midlands Interim Planning Scheme 2013 affect to the site. Refer to Table 8 below for detailed assessment of the heritage provisions that impact development of the site.
Tasmanian Cultural Heritage Act	The site is included on this register and approvals from Heritage Tasmania are required for works.

Northern Midlands Interim Planning Scheme 2013

The following table outlines the planning controls within the Northern Midlands Interim Planning Scheme 2013 that affect the heritage character of the site. For simplicity and based on the proposal that has been developed to add a small building to the site, the controls are commented on in relation to that proposal.

Table 8: Northern Midlands Interim Planning Scheme 2013 controls and objectives.

Control	Objective	Comment
PART E CODES		
E13 Heritage Code		
E13.5.1 Use Standards		
E13.5.1 Alternative Use of heritage buildings	To ensure that the use of heritage buildings provides for their conservation.	The addition of a building and associated works ensures that the building remains in use for its primary function.
E13.6 Development Standards		
E13.6.1 Demolition	To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	Demolition is limited to changing one window in the vestry, a moderate significance element, to a door for access to the proposal. Significant fabric is properly protected.
E13.6.2 Subdivision and development density	To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	NA
E13.6.3 Site Cover	To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.	NA
E13.6.4 Height and Bulk of Buildings	To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	The design proposed has a very low height and bulk so that intentionally the church building remains prominent.
E13.6.5 Fences	To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve	Fences are appropriately designed for the character of the site.

Exhibited

Control	Objective	Comment
	management objectives within identified heritage precincts.	
E13.6.6 Roof Form and Materials	To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	This is achieved through the design. While the roof pitch is low and materiality is contemporary this is a highly preferred outcome that draws attention to the heritage elements and minimises new elements visually.
E13.6.7 Wall materials	To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	This is achieved.
E13.6.8 Siting of Buildings and Structures	To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	This is perhaps the most critical aspect of undertaking works on this site. The siting achieves sub-service of the new form but also achieves a high level of functionality that assists in ensuring the success of the project as a whole. Setting the building north is the correct location for new built form, stepping it away from the church is a subtle response, siting the building lower than the church is visually sound.
E13.6.9 Outbuildings and Structures	To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	The inappropriate toilet that exists at present is removed.
E13.6.10 Access Strips and Parking	To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	Parking has been carefully resolved to minimise any visual impact, locate it sensitively, retain trees and work with the existing entry and landform. At present parking is random and unsightly, the proposal achieves a fine outcome.
E13.6.11 Places of Archaeological Significance	To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.	The site of the new building is very unlikely to have archaeological potential as the site has not had any previous development in that area. However, the project is aware of archaeological sensitivity.

Exhibited

Control	Objective	Comment
E13.6.12 Tree and Vegetation Removal	To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.	Minimal vegetation is proposed to be removed. Considerable new planting to screen rear development etc is proposed.
E13.6.13 Signage	To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.	NA
E13.6.14 Maintenance and Repair	To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the historic cultural heritage significance of local heritage places and precincts.	Ongoing use of the place will assist undertaking maintenance repair.
PART F SPECIFIC AREA PLANS		
F2 - Heritage Precincts Specific Area Plan		
F2.5 Standards for Development		The design of the new building achieves all of the objectives set out by using a contemporary well designed form with refined detailing. Many of the controls are aimed at tight infill situations where this site is broad and the core issues are form siting, scale and overall materiality.
F2.5.1 Setbacks and siting	To ensure that: (a) the predominant front setback of the existing buildings in the streetscape is maintained; (b) the impact of garages and carports on the streetscape is minimised; and (c) the visual prominence of the Baptist Church building in Longford is maintained.	Achieved where relevant
F2.5.2 Orientation	To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.	Achieved.
F2.5.3 Scale	To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an	Achieved

Exhibited

Control	Objective	Comment
	existing original main building form to dominate when viewed from public spaces.	
F2.5.4 Roof Forms	To ensure that the roof form and elements respect those of the existing main building and the streetscape.	Achieved
F2.5.5 Plan Form	To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form ⁷ , shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.	Achieved
F2.5.6 External Walls	To ensure that wall materials used are compatible with the streetscape.	Achieved
F2.5.7 Entrances and Doors	To ensure that the form and detail of the front entry is consistent with the streetscape.	Achieved
F2.5.8 Windows	To ensure that window form and details ⁹ are consistent with the streetscape.	Achieved
F2.5.9 Roof Covering	To ensure that roof materials are compatible with the streetscape.	Achieved
F2.5.10 Roof Plumbing	To ensure that roof plumbing and fittings are compatible with the streetscape.	Achieved
F2.5.11 Verandahs	To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape ¹⁰ .	NA
F2.5.12 Architectural Details	To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.	Not relevant. The design is for a contemporary building and does not attempt a pastiche heritage approach.
F2.5.13 Outbuildings	To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.	NA
F2.5.14 Conservatories	To ensure new conservatories respect traditional location, form and construction ¹² .	NA
F2.5.15 Fences and Gates	To ensure that original fences ¹³ are retained and restored where possible and that the design and materials of any replacement	Achieved

Exhibited

Control	Objective	Comment
	complement the setting and the architectural style of the main building on the site.	
F2.5.16 Paint Colours	To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.	Achieved
F2.5.17 Lighting	To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape	Achieved
F2.5.18 Maintenance and Repair	To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the historic cultural heritage significance of heritage precincts.	Achieved
F2.6 Use Standards		
F2.6.1 Alternative Use of heritage buildings	To ensure that the use of heritage buildings provides for their conservation.	NA

Tasmanian Historic Cultural Heritage Act 1995

The Historic Cultural Heritage Act 1995 requires consent and consideration of the impact of the proposal on its established heritage values. As an overall assessment the proposal has been developed and designed with careful regard to these values as reflected in the siting, scale, form, detail, materiality of setting of the new building and its relationship to the church.

This is a fine response to an important site that adds to the value of the site.

Disability Discrimination and Other Human Rights Legislation Amendment Bill 2009

The Disability Discrimination and Other Human Rights Legislation Amendment Bill 2009 is Commonwealth legislation that requires people with a disability to be given equal opportunity to participate in and contribute to social, recreation and cultural activities. The new building addresses discrimination by providing facilities that comply (for the first time) and allowing the site to have a complying future.

6.0 Policy

6.1 Preamble

This section of the conservation management plan looks at the various elements, uses and associations of the buildings and site and sets out a range of policies for their future management. The conservation policy as a whole is based on recognition of issues raised in the analysis,

assessment and procedure sections of the report, particularly the significance of the place and its component parts.

The aim of developing policies is to provide a solid foundation for all future conservation recommendations including remedial work, prioritization of identified works and actions as well as protection of items and functional uses. Conservation policies are aimed at balancing the owner's requirements with the need for the retention and conservation of significant functional relationships and fabric and to facilitate appropriate interpretation and possibly adaptive re-use of the site, which ultimately ensures its viability and community value.

The conservation policy for the property has been prepared to provide advice on how to manage the site and conserve the identified cultural heritage values.

Policy - General

The future of St Luke's Anglican Church is linked to developing ongoing viable use of the building and site that allow it to:

- Retain a viable ongoing church use
- Be identified within the local area as a place of high heritage value
- Be publicly accessible
- Be seen as a place within an historic setting
- Retain and conserve the remaining significant fabric and elements of the place

Policy – General:

- 6.2.1 Ensuring future use as a church is the most important element of retaining sound ongoing significance.
- 6.2.2 Appropriate funding to implement the vision and the supporting policies should be set aside to ensure that the place is conserved but more importantly is actively used.
- 6.2.3 Works that support the future church use of the site and which have no or minimal impacts on the setting and fabric are preferred.

Policy - Fabric

An important aspect of managing heritage values is to conserve the significant fabric, that is the built and landscape elements that give the place significance.

Policy – Fabric:

- 6.2.4 Extant building fabric, both internally and externally, which survives from all significant periods of construction and which contributes to the overall significance of St Luke's Anglican Church and hall should be retained and conserved within future programs of conservation, interpretation, reinstatement, re-use, alterations or additions. Conservation priorities shall generally respond to the relative levels of graded significance identified in of this Conservation Management Plan.

- 6.2.5 Preservation and ongoing maintenance of original and significant fabric should be carried out using appropriate conservation methods and treatments with recording of any new work.
- 6.2.6 Removal of intrusive elements or fabric of little significance is permitted
- 6.2.7 Where new fittings, fixtures or architectural elements are to be introduced they should be designed/selected to be sympathetic with the visual qualities of the existing building fabric and to minimise the loss of existing significant fabric in the building.
- 6.2.8 Where works are required they should be designed to have minimal impacts on significance.

Policy - Maintenance

St Luke's Anglican Church requires regular maintenance to ensure long-term conservation. This should follow an established program of works with clear responsibility for implementation and monitoring. Maintenance should not be confused with conservation and stabilisation works; maintenance specifically looks at the long-term regular work required to keep the buildings and grounds in good useable condition.

There is an ongoing need to implement a regular maintenance program on the building that attends to short, medium and longer term needs.

Policy - Maintenance:

- 6.2.9 Undertake ongoing maintenance of significant building fabric and grounds on a cyclical basis. A maintenance programme should provide for a regular inspection of the buildings and grounds with remedial action to be taken where required. No maintenance work or repairs should negatively impact on significant fabric.
- 6.2.10 The owner should ensure adequate, consistent and long term funding is made available for the implementation of ongoing program of maintenance for the building and grounds.

Policy - Interpretation

Interpretation of significant places reveals long-term connections within our cultural identity. Interpretation of historic buildings and cultural landscapes reveals the storylines of a community, which will increase the public's understanding and appreciation of the significance of the place.

Interpretation could focus on a number of themes or aspects of the place that can be established.

Policy - Interpretation:

- 6.2.11 Interpretation should be prepared to accompany future works to add to the interpretation that already exists in the town.

Policy - Adaptation

Churches undergo adaptation over their lives to facilitate changing tastes and views. This should be guided by significance.

Exhibited

Policy - Adaptation:

- 6.2.12 Adaptation of the buildings may take place provided that significant fabric and spatial arrangements in and around the buildings, as identified in this CMP, are not adversely impacted.
- 6.2.13 Adaptation should take place to areas of none or low significance.
- 6.2.14 Advice on how to integrate new uses and services must be taken from an experienced heritage practitioner if works are proposed that may affect elements of high significance.
- 6.2.15 Changes to the site or grounds that involve excavation, changes to levels or other works beyond gardening will require consent.

Guidelines

Future adaptation of existing buildings should:

- Retain significant forms and features
- Seek to remove intrusive features where feasible
- Ensure that changes are sympathetic to the character of the significant elements
- Provide facilities that are contemporary, well designed and fitted out and which support the life of the parish and the community who use the place

Policy - Vistas, Views and Setting

Works should not change or adversely affect the established views and significant setting of the place. While works and change may take place it should be planned in response to the heritage analysis of the site.

Any future works or changes should seek to:

- Retain and enhance significant views to and from the site.
- Retain and manage significant views and vistas, utilising the skills and knowledge of specialists in landscaping and arboricultural practices.
- Consider impacts on views and vistas when redeveloping parts of the site, or adjacent sites or if considering new buildings.
- Incorporate plantings on the site in ways that enhance the visual (and historical) aspects of the site.

Policy - Vistas, Views and Setting:

- 6.2.16 Views to the site are to be protected in future development. In particular, views of the building from the town and the main road should be retained

Policy - New Works

Policy - New Works:

6.2.17 Proposals for new work on the site should be informed by the analysis of heritage values, views and setting in this study.

Guidelines

- The church should remain in its significant form.
- The significant interior of St Luke's Anglican Church should be retained and conserved and where significant elements that are lost should be recovered.
- New built form should be located principally to the north of the church.
- New structures are to be single storey to minimise visual bulk and scale.

There is no formula to set out how large or small any new structure may be, any proposal will need to respond to the various parameters and be designed to fit within the overall context of the place.

Policy - Procedural Requirements

As the place is of heritage significance, there is a responsibility on the owner to ensure that works that take place are in accordance with the recommendations of this CMP and ongoing heritage advice.

Procedurally any works require consent. However as noted minor works and maintenance can be undertaken under exemptions from the local council. It is recommended that this be discussed with council in detail to set out the works that are exempt and those where a consent will be required. Council can also offer advice on issues through their heritage advisory service.

While consent for works is addressed under the Planning scheme requirements of Council generally, as the place is a heritage item there is an onus on obtaining consent for ANY works.

Policy - Procedural Requirements:

6.2.18 Do not undertake works on site without appropriate Council and Heritage Council consents.

Policy - Archival Records

Management of records associated with the conservation of the place forms an important component of an effective management strategy. These records record for posterity the scope of changes undertaken and the reasoning behind the change. The safe storage of these records in a publicly accessible archive is important.

Records relating to the history of St Luke's Anglican Church are held by the parish and by public archives and repositories. It is essential that all records held, particularly on site are consolidated, indexed and managed.

Exhibited

Policy - Archival Records:

- 6.2.19 Archival records that relate to the St Luke's Anglican Church should be maintained preferably as a single collection or where this is not possible all related records should be referenced with the church archive.
- 6.2.20 Copy any original records and ensure that original material is stored securely and in appropriate environmental conditions.
- 6.2.21 A permanent archive should be established to house all research material, maintenance records, original building elements found. The archive should also store all future materials found or records produced, and generally be available for specialist consultants and interested groups to inspect.
- 6.2.22 Retain and manage an accurate archival record of works, maintenance, changes in use and interpretation in a central repository.
- 6.2.23 Records of any changes and the reasons for decisions are to be retained for future works.

Policy - Conservation Management

The Burra Charter recommends that a conservation policy should be open to future review. The management body should regularly review these policies, in particular, if some unforeseen change of use is required, or if new information comes to light.

The engagement of suitably qualified consultants and trades people with knowledge of cultural landscapes and traditional building technology should be a prerequisite in future works at the place.

Policy - Conservation Management:

- 6.2.24 Care of the building fabric and ongoing maintenance should be the responsibility of the owner and/or trustees.
- 6.2.25 All works to significant fabric are to be carried out by contractors and consultants trained in the conservation of historic buildings with suitable qualifications in their profession, trade or craft.
- 6.2.26 All works are to be carried out using traditional materials and techniques unless modern equivalents provide substantial conservation benefits or work is carried out on non-significant fabric.
- 6.2.27 The conservation policies should be reviewed within five years, but no later than 10 years, or at the time of future programmes of upgrading. The review should be based on guidelines and principles of J.S. Kerr's The Conservation Plan and Australia ICOMOS The Burra Charter

Guidelines

- A copy of the final conservation management plan should be lodged with the local studies library maintained by Northern Midlands Council and with the Tasmanian Heritage Council.

Policy - Movable Heritage

Moveable Heritage associated with St Luke's Anglican Church and other local churches is located within the building. It has not been detailed in this study but ideally should be catalogued and recorded.

Policy - Movable Heritage:

- 6.2.28 Significant items of movable heritage associated with St Luke's Anglican Church should be moved to one (preferably local) repository and archivally recorded.
- 6.2.29 Items that have no significant association with St Luke's Anglican Church may be disposed of or used elsewhere.

THESE GENERAL NOTES TO BE READ IN CONJUNCTION WITH OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS

GENERAL PROVISIONS:
ALL RELEVANT AUSTRALIAN STANDARDS REFERED TO SHALL BE IN STRICT ACCORDANCE WITH THE VERSION LISTED WITHIN SPECIFICATION A1.3 OF THE BUILDING CODE OF AUSTRALIA.

GENERAL NOTES:
ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO DESIGNER FOR CLARIFICATION.

REFER TO ALL APPLICABLE CONSULTANTS DRAWINGS FOR ALL SERVICES DETAILS. CONFIRM LOCATION AND PROVISIONS FOR ALL SERVICES AND CO-ORDINATE WITH ALL CORRESPONDING DRAWINGS & DOCUMENTATION.

REFER TO ENGINEERS DOCUMENTATION FOR DETAILS ON FOOTINGS, STRUCTURE, SITEWORKS AND STORMWATER DETAILS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS.

ALL SANITARY, PLUMBING, DRAINAGE & ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.

PROVIDE ADDITIONAL FRAMING AS NECESSARY TO ALLOW FOR THE INSTALLATION OF CHAIR RAILS, GRABRAILS, TOWEL RAILS AND ANY WALL MOUNTED FIXTURES.

ALL WINDOW AND DOOR SIZES ARE TO BE CONFIRMED AND VERIFIED ON SITE PRIOR TO FABRICATION

SITE PREPARATION NOTES:
ALL VEGETATION AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AND PAVING AREAS BEFORE ANY FILLING IS PLACED IN POSITION.

ANY EXCAVATION OR FILLING REQUIRED TO PROVIDE A LEVEL SURFACE UNDER THE CONCRETE SLAB SHALL BE IN ACCORDANCE WITH THE ENGINEER'S REPORT.

ALL FINISHED LEVELS TO BE VERIFIED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

ALL SITE AND SETOUT DIMENSIONS SHALL BE CHECKED AND VERIFIED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

ELECTRICAL NOTES:
ALL ELECTRICAL INSTALLATIONS AND WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3000

ALL REQUIRED SELF-CONTAINED SMOKE ALARMS SHALL COMPLY WITH AS 3786 OR BE LISTED IN THE SSL REGISTER OF ACCREDITED PRODUCTS AND SHALL BE CONNECTED TO THE CONSUMER MAINS POWER WITH A 9V BATTERY BACKUP.

STRUCTURAL PROVISIONS:

TERMITE RISK MANAGEMENT
TERMITE RISK MANAGEMENT SHALL BE IN ACCORDANCE WITH PART B1.4 OF THE NCC AND THE REQUIREMENTS OF AS 3660.1. A CERTIFICATE OF COMPLETION STATING METHOD OF APPLICATION MUST BE PROVIDED IN ACCORDANCE WITH AS 3660.1.

GLAZED ASSEMBLIES
GLAZING, INCLUDING MIRRORS, WITHIN 2000 MM ABOVE THE FLOOR LEVEL IN BATHROOMS, ENSUITES, SHALL BE GRADE A SAFETY GLASS. ORDINARY ANNEALED GLASS MIRRORS MAY BE USED WHEN THE PANEL IS FULLY BACKED BY AND COMPLETELY ADHERED TO A SOLID MATERIAL.
NCC VOL 1 B1F2, AS 1288 GLASS IN BUILDINGS—SELECTION AND INSTALLATION

FOOTINGS AND SLABS
CONCRETE FOOTINGS AND SLABS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S REPORT.
ALL CONCRETE SHALL BE HANDLED, PLACED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3600.
ALL REINFORCING USED SHALL COMPLY WITH AS 2870.

MASONRY
ALL FINISHED MASONRY SHALL BE LEFT CLEAN, AND GAPS AT TOPS OF RAKED WALLS, AROUND SERVICE PIPES AND OTHER JUNCTIONS SHALL BE FILLED.

ALL FLASHINGS, MEMBRANES, AND TIES WHERE REQUIRED SHALL BE IN ACCORDANCE WITH THE NCC.

ALL CAVITIES AND REQUIRED WEEPHOLES SHALL BE LEFT CLEAN AND FREE OF MORTAR DROPPINGS.

TIMBER FRAMING
TIMBER FRAMING TO BE IN ACCORDANCE WITH AS 1684
MANUFACTURED TIMBER MEMBERS TO BE IN ACCORDANCE WITH PRESCRIBED FRAMING MANUAL.

STEEL FRAMING
ALL STEELWORK, FRAMES AND TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS 3623, OR AS 4100.

COLD-FORMED STEELWORK SHALL COMPLY WITH AS/NZS 4600 (COLD FORMED STEEL STRUCTURES) OR NASH STANDARD (RESIDENTIAL AND LOW RISE STEEL FRAMING) - PART 1 DESIGN CRITERIA.

ALL STEELWORK, FRAMES AND TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND / OR ENGINEER'S DETAILS.

METALWORK
ALL MATERIALS, BOLTS AND OTHER FIXINGS SHALL BE SELECTED SO THAT DIRECT CONTACT BETWEEN INCOMPATIBLE METALS OR ALLOYS DOES NOT OCCUR.

WHERE THE USE OF INCOMPATIBLE MATERIALS IS UNAVOIDABLE, THEY SHALL BE SEPARATED BY USE OF AN IMPERVIOUS, NON-CONDUCTING MATERIAL.

ALL STEELWORK NOT ENCASED IN CONCRETE SHALL BE SUITABLY PROTECTED AGAINST CORROSION.

ALL STEELWORK IN CONTACT WITH THE GROUND SHALL BE HOT-DIPPED GALVANISED.

STEEL WORK WITHIN 1KM OF BREAKING SURF OR WITHIN 100 M OF SALT WATER NOT SUBJECT TO BREAKING SURF OR HEAVY INDUSTRIAL AREAS IS CLASSIFIED (NCC TABLE 3.4.4.2) AS REQUIRING SERVER EXPOSURE CORROSION PROTECTION INTERNAL: 2 COATS ALKYD PRIMER OR 2 COATS ALKYD GLOSS EXTERNAL: INORGANIC ZINC PRIMER PLUS 2 COATS VINYL GLOSS FINISHING COATS OR HOT DIP GALVANISE 300G/M2 OR HOT DIP GALVANISE 100 G/M2 MIN PLUS— 2 COATS SOLVENT BASED VINYL PRIMER; OR 2 COATS VINYL GLOSS OR ALKYD.

STEEL WORK MORE THAN 1 KM FROM BREAKING SURF OR MORE THAN 100 M FROM SALT WATER NOT SUBJECT TO BREAKING SURF OR NON-HEAVY INDUSTRIAL AREAS IS CLASSIFIED (NCC TABLE 3.4.4.2) AS REQUIRING MODERATE EXPOSURE CORROSION PROTECTION EXTERNAL: OPTION 1. 2 COATS ALKYD PRIMER; OR OPTION 2. 2 COATS ALKYD GLOSS OPTION 3. HOT DIP GALVANISE 300 G/M2 MIN OPTION 4. HOT DIP GALVANISE 100 G/M2 MIN PLUS— (A) 1 COAT SOLVENT BASED VINYL PRIMER; OR (B) 1 COAT VINYL

EGRESS AND ACCESS:

PEDESTRIAN RAMPS
ANY RAMP SERVING AS A REQUIRED EXIT MUST HAVE A GRADIENT NOT STEEPER THAN 1:8 AND THE FLOOR SURFACE MUST HAVE A NON-SLIP FINISH IN ACCORDANCE WITH D3D11. IF THE RAMP IS ALSO SERVING AS AN ACCESSIBLE RAMP IT MUST BE IN ACCORDANCE WITH AS 1428.1.

SWINGING DOORS
ANY SWINGING DOOR IN A REQUIRED EXIT OR FORMING PART OF A REQUIRED EXIT SHALL SWING IN THE DIRECTION OF EGRESS AND BE IN ACCORDANCE WITH PART D3 -CLAUSE D3D25 OF THE NCC

OPERATION OF LATCH
DOORS IN REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR IN ACCORDANCE WITH PART D3 - CLAUSE D3D26 OF THE NCC.

IDENTIFICATION OF ACCESSIBLE FACILITIES, SERVICES AND FEATURES
CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE SHALL BE PROVIDED INDICATING ACCESS FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH SPECIFICATION 15 OF THE NCC AND THE REQUIREMENTS OF AS 1428.1.

TACTILE INDICATORS
PROVIDE TACTILE GROUND SURFACE INDICATORS TO WARN PEOPLE WITH DISABILITIES IN ACCORDANCE WITH AS 1428.4.1 AND PART D4 - CLAUSE D4D9 OF NCC.

GENERAL NOTES:

DISCHARGE FROM EXIT:
AN EXIT MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE. SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING THE EXIT OR ACCESS TO IT. 1.0m WIDE CLEAR PATH OF TRAVEL TO THE ROAD MUST BE PROVIDED AS PER NCC PART D1.

AT THE LOCATION OF ACCESSIBLE DOOR RAMP UP PAVING LOCALLY @ MAX. GRADIENT 1:8, TO CREATE RAMPED THRESHOLD IN ACCORDANCE WITH AS 1428.1-2009 FIGURE 21.
75mm PAVEMENT SET DOWN AT OTHER AREAS.

DOORS

PROVIDE A SIGNAGE TO DIRECT PEOPLE WITH DISABILITY TO ACCESSIBLE ENTRANCES. SIGNAGE TO BE IN ACCORDANCE WITH NCC AND AS 1428.1

REQUIRED EXITS OR DOORS IN REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT WHERE LOCATED IN ACCESSIBLE PATHS AS REQUIRED UNDER D2:
- MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1200mm FROM THE FLOOR.
-MUST BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP DURING THE OPERATION OF THE LATCH AND
- HAVE A CLEARANCE BETWEEN THE BACK OF THE HANDLE AND THE FACE OF THE DOOR AT THE CENTRE GRIP OF NOT MORE THAN 45mm.

LUMINANCE CONTRAST
ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN:
-DOOR LEAF & DOOR JAMB, DOOR LEAF & ADJACENT WALL, ARCHITRAVE & WALL, DOOR & ARCHITRAVE OR DOOR JAMB & ADJACENT WALL.
THE MINIMUM OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50mm IN ACCORDANCE WITH SECTION 13.1 OF AS 1428.1-2009.

INTERNAL LINING
ALL NON WET AREA WALL LININGS SHALL BE 13mm PLASTERBOARD UNLESS OTHERWISE NOTED. ALL CEILING LININGS SHALL BE 10mm PLASTERBOARD SUITABLE FOR SPANNING 600mm JOIST SPACING UNLESS OTHERWISE NOTED.

DOOR HARDWARE
ALL DOOR HANDLES & RELATED HARDWARE MUST COMPLY WITH SECTION 13.5.2 OF AS 1428.1-2009 SO AS TO PREVENT SLIP AND PROVIDE SUFFICIENT CLEARANCE BETWEEN THE DOOR FACE AND THE BACK OF THE HANDLE.

IDENTIFICATION OF ACCESSIBLE FACILITIES, SERVICES AND FEATURES
CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE SHALL BE PROVIDED INDICATING ACCESS FOR PEOPLE WITH DISABILITIES TO ALL ACCESSIBLE ENTRANCES & ACCESS-WAYS AND SANITARY FACILITIES IN ACCORDANCE WITH PART D4 - CLAUSE D4D7 OF THE NCC AND THE REQUIREMENTS OF AS 1428.1.

SUSPENDED CEILING & LIGHTWEIGHT PARTITIONS
TO COMPLY WITH AS 1170.4 RONDO SEISMIC CEILING & WALL SYSTEM (or similar approved) TO BE INSTALLED WHERE REQUIRED AS PER AS1170.4.

AIR CONDITIONING SYSTEM TO ENTIRE BUILDING
MUST MEET THE REQUIREMENTS OF ENERGY EFFICIENCY REPORT. REFER TO DESIGN & DOCUMENTS PROVIDED BY ENGINEERS.

SERVICES AND EQUIPMENT:

FIRE HYDRANT
FIRE HYDRANT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH PART E1 - CLAUSE E1D2 OF THE NCC AND THE REQUIREMENTS OF AS 2419.1.

FIRE HOSE REELS
THE FIRE HOSE REEL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH PART E1 -CLAUSE E1D3 OF THE NCC AND THE REQUIREMENTS OF AS 2441.

PORTABLE FIRE EXTINGUISHERS
PORTABLE FIRE EXTINGUISHERS MUST BE PROVIDED IN ACCORDANCE WITH PART E1 -CLAUSE E1D14 OF THE NCC AND MUST BE SELECTED, LOCATED AND DISTRIBUTED IN ACCORDANCE WITH AS 2444.

EMERGENCY LIGHTING
EMERGENCY LIGHTING SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART E4 - CLAUSE E4D2 OF THE NCC AND THE REQUIREMENTS OF AS/NZS 2293.1.

EXIT SIGNS
EXIT SIGNS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART E4 -CLAUSE E4D5 OF THE NCC AND THE REQUIREMENTS OF AS/NZS 2293.1.

DIRECTIONAL EXIT SIGNS
DIRECTIONAL EXIT SIGNS SHALL BE POSITIONED IN ACCORDANCE WITH PART E4 -CLAUSE E4D6 OF THE NCC AND COMPLY WITH THE REQUIREMENTS OF AS/NZS 2293.1 AND BE CLEARLY VISIBLE AT ALL TIMES.

EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM
AN EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH PART E4 -CLAUSE E4D9 OF THE NCC AND COMPLY WITH THE REQUIREMENTS OF AS 1670.4 AND AS 4428.4.

SMOKE DETECTION
MONITORED SMOKE DETECTION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF AS 1670.1.

GAS INSTALLATION
ALL GAS FITTING WORK MUST BE INSTALLED BY A REGISTERED GAS FITTER OR REGISTERED RESTRICTED LPG INSTALLER.

ALL GAS INSTALLATIONS TO BE CARRIED OUT IN ACCORDANCE WITH AG601 AND A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED IN ACCORDANCE WITH THE GAS ACT.

ENERGY EFFICIENCY:
REFER TO CONSULTANTS DRAWINGS FOR ENERGY EFFICIENCY REPORT.

STAIRS:
GOING :250mm
RISERS :180mm

REFER TO VOL 1 - D3D14



HEALTH AND AMENITY:

STORMWATER DRAINAGE
ALL STORMWATER DRAINAGE MUST BE IN ACCORDANCE WITH PART F1 - CLAUSE F1D3 OF THE NCC AND THE REQUIREMENTS OF AS/NZS 3500.3 AND STORMWATER REPORT BY OTHERS

ROOF COVERINGS
THE ROOF LAYOUT DRAWN IS DIAGRAMATIC ONLY AND ANY VARIATION TO THE LAYOUT SHALL BE FIRST DISCUSSED WITH THE DESIGNER.

PROVIDE FLASHING TO SEAL ADEQUATELY ALL PENETRATIONS, JUNCTIONS AND JOINTS. INSTALL ROOF DECK, FLASHING AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. ROOF CONTRACTOR TO ENSURE ROOF IS COMPLETE & WATERTIGHT.

CO-ORDINATE THE INSTALLATION OF ROOF CLADDING WITH ALL SERVICES TO ALLOW FOR ANY PENETRATIONS.

GUTTER SHALL BE PROVIDED WITH THE FOLLOWING UNIFORM MINIMUM FALLS:
EAVES GUTTER 1:500
BOX GUTTER 1:200

WATER PROOFING OF WET AREAS
WHERE REQUIRED AS A SUBSTRATE IN WET AREAS, PROPRIETARY WATER RESISTANT LININGS MUST BE SUITABLE FOR THE INTENDED FINISH AND MUST BE FIXED TO THE FRAMING IN ACCORDANCE WITH THE MANUFACTURERS DETAILS.

ALL WET AREA DETAILS TO COMPLY WITH AS 3740 AND SPECIFICATION 26.

FACILITIES FOR PEOPLE WITH DISABILITIES
DISABLED TOILET TO BE FITTED WITH SANITARY FACILITIES IN ACCORDANCE WITH PART F4 - CLAUSE F4D5 OF THE NCC AND THE REQUIREMENTS OF AS 1428.1

TOILET DOORS
DOORS TO TOILETS TO BE FITTED WITH REMOVABLE HINGES IN ACCORDANCE WITH PART F4 - CLAUSE F4D8 OF THE NCC

MICROBIAL (LEGIONELLA) CONTROL
HOT WATER, WARM WATER AND COOLING WATER SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH PART F4 - CLAUSE F4D10 OF THE NCC AND THE REQUIREMENTS OF AS/NZS 3666.1 TO CONTROL MICROBIAL (LEGIONELLA).

VENTILATION OF ROOMS
PROVISIONS MUST BE MADE TO PROVIDE NATURAL VENTILATION OR MECHANICAL VENTILATION / AIR CONDITIONING SYSTEMS TO ALL ROOMS / SPACES IN ACCORDANCE WITH PART F6 - CLAUSE F6D6 OF THE NCC AND THE REQUIREMENTS OF AS 1668.2 AND AS/NZS 3666.1.

PLUMBING, SANITARY DRAINAGE
THE INSTALLATION OF ALL HOT AND COLD WATER SERVICES, SANITARY WASTES AND DRAINAGE SHALL BE CARRIED OUT TO THE APPROVAL OF SA WATER AND WHERE APPLICABLE THE SOUTH AUSTRALIAN HEALTH COMMISSION.

NOTE:
IF IN DOUBT REFER TO NCC VOL 1 OR CONTACT ENGINEERING PLUS FOR FURTHER DETAILS

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Address:

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PROPOSED MIDLANDS ANGLICAN PARISH CENTRE

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Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No:
2025-440 A01 / A13

Rev
G



tasbuilthomes

Your Complete Building Solutions

Tasbuilt Manufactured Homes & Cabins
P.O Box 274, Deloraine Tasmania 7304
Ph: 03 6393 1013
admin@tasbuilthomes.com.au

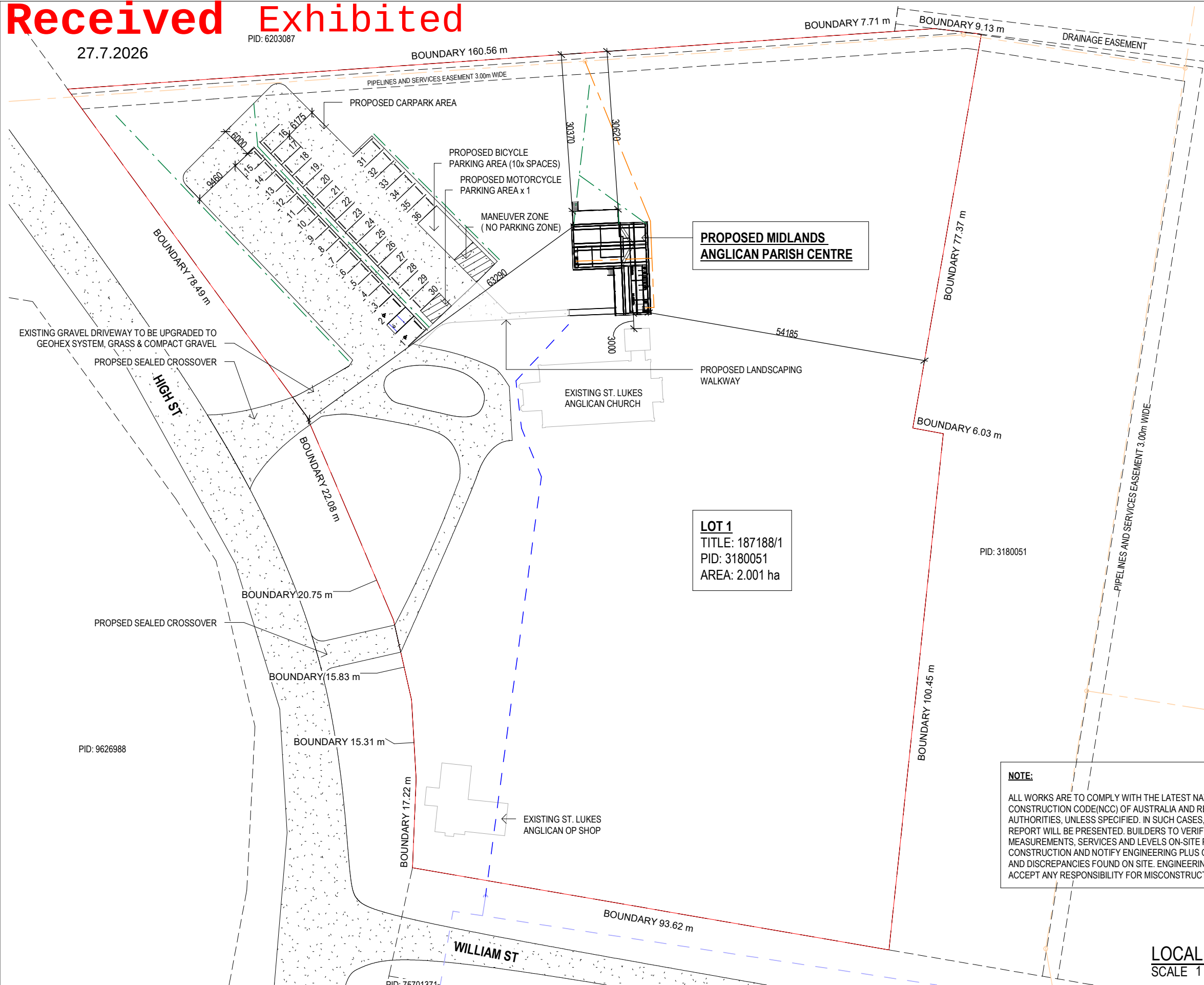
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H	SW AND WW DESIGN	20.07.26	R.A	Date Drawn: 12.05.26
G	WINDOWS AND COLOURS	02.07.26	W.T	Drawn: W. Tan
F	DISABLE PARKINGS	24.06.26	W.T	Checked: W. Tan
E	ELECTRICAL INFORMATION	19.06.26	W.T	Approved: J. Pfeiffer
D	MINOR AMENDMENT	15.06.26	W.T	Scale: As Shown @ A3
C	WINDOW REDESIGN	09.06.26	W.T	Accredited Building Designer
Rev:	Amendment:	Date:	Int:	Designer Name: J.Pfeiffer
				Accreditation No: CC2211T

27.7.2026

PID: 6203087



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY
- SIGN SIZE DIMENSIONS
- MIN. 300mm x 300mm
- LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

BAL NOTES:
- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS
- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTABLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS
- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA
- WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:
- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
- A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
- A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
- A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

NOTE:
ALL WORKS ARE TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE(NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, RELEVANT REPORT WILL BE PRESENTED. BUILDERS TO VERIFY ALL MEASUREMENTS, SERVICES AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS AND DISCREPANCIES FOUND ON SITE. ENGINEERING PLUS DO NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION.

OVERLAY NOTE:
ENTIRETY OF THIS PROPERTY IS WITHIN BUSHFIRE HAZARD AREA, CAMPBELLTOWN SPECIFIC AREA PLAN, AND HERITAGE ZONE. REFER TO LISTMAP OVERLAY FOR FURTHER DETAILS.

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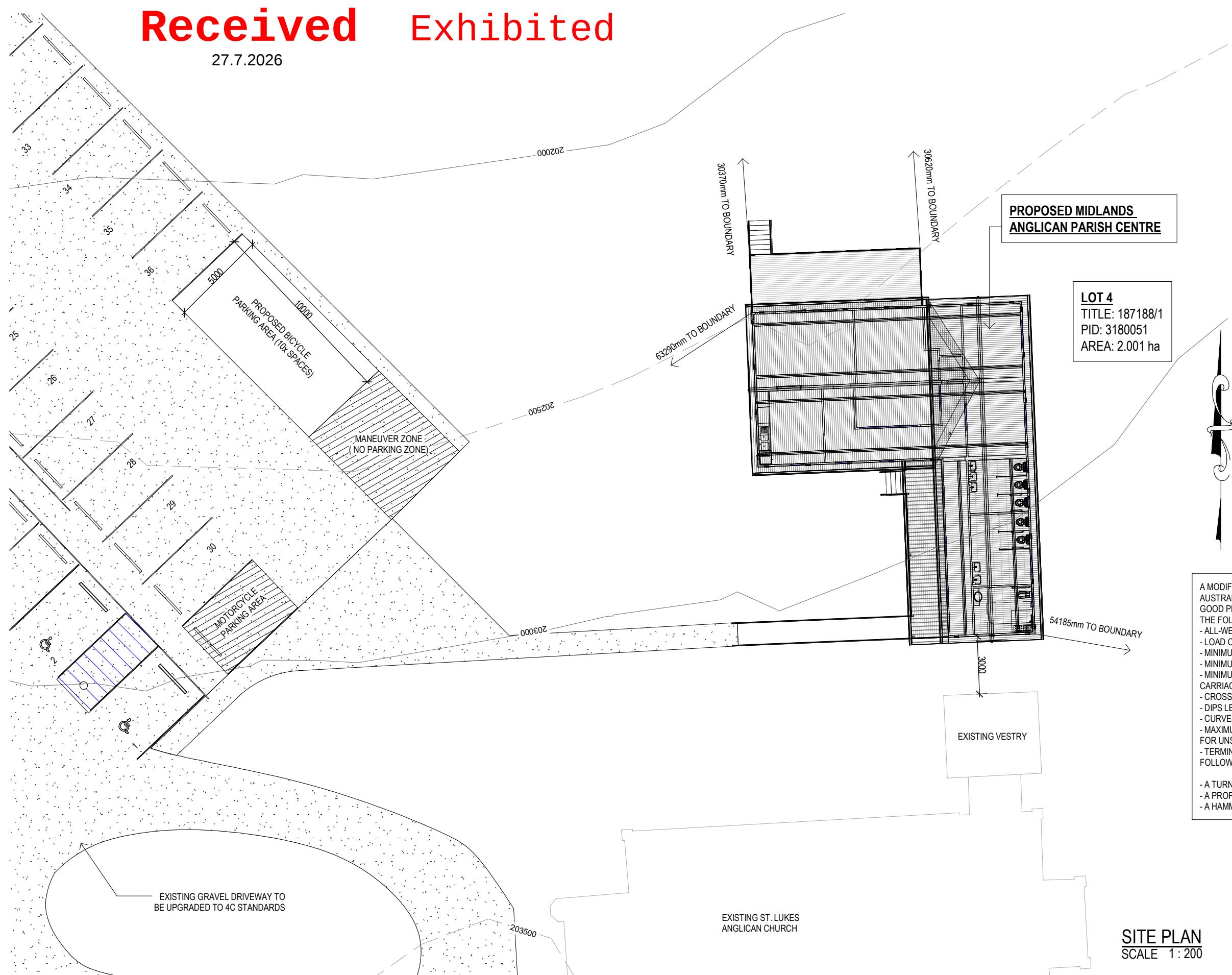
LOCALITY PLAN
SCALE 1:750

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Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

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PROPOSED MIDLANDS
ANGLICAN PARISH CENTRE

LOT 4
TITLE: 187188/1
PID: 3180051
AREA: 2.001 ha



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- SIGN SIZE DIMENSIONS
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CAMPBELLTOWN TAS 7210

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

SITE PLAN
SCALE 1 : 200

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D	MINOR AMENDMENT	15.06.26	W.T	Scale: As Shown @ A3
C	WINDOW REDESIGN	09.06.26	W.T	Accredited Building Designer
Rev: Amendment:		Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Drawing No: 2025-440 A03 / A13 Rev G

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27.7.2026
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MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1200	1500	DG	4.3	.55
W2	1200	1500	DG	4.3	.55
W3	400	600	DG	4.3	.55
W4	400	600	DG	4.3	.55
W5	400	1800	DG	4.3	.55
W6	400	1000	DG	4.3	.55
W7	1500	750	DG	4.3	.55
W8	1500	750	DG	4.3	.55
W9	1500	750	DG	4.3	.55
W10	1500	750	DG	4.3	.55
W11	1500	750	DG	4.3	.55
W12	1500	750	DG	4.3	.55
W13	1200	1200	DG	4.3	.55
W14	1200	3000	DG	4.3	.55
W15	1200	1300	DG	4.3	.55
W16	1200	1500	DG	4.3	.55
D1	2100	920	DG	4.0	.61
D2	2100	920	DG	4.0	.61
D3	2100	920	DG	4.0	.61
D4	2100	920	DG	4.0	.61
D5	2100	920	DG	4.0	.61
D6	2100	920	DG	4.0	.61
D7	2100	920	DG	4.0	.61

DISCLAIMER:
ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

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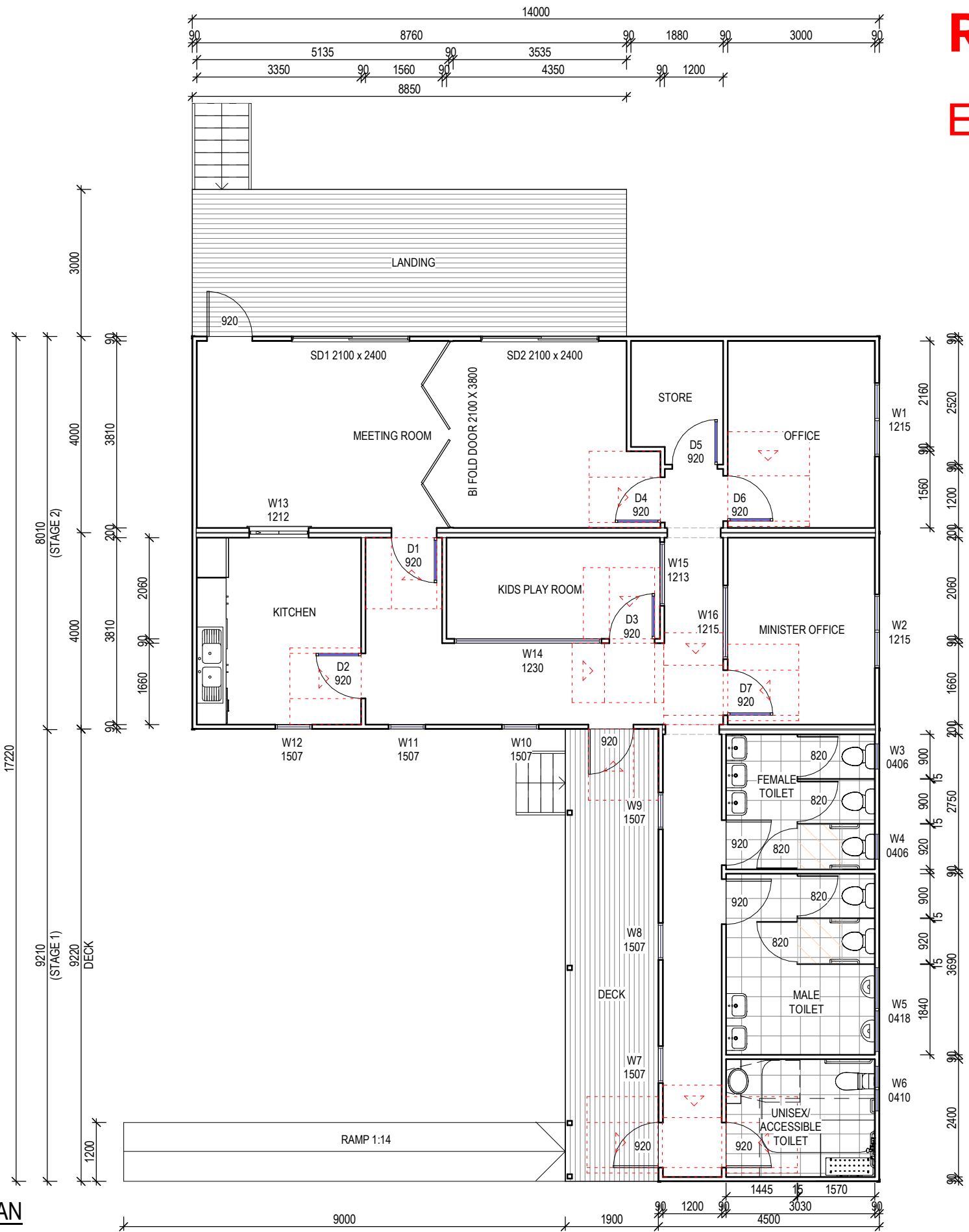
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Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

Date Drawn: 12.05.26
Drawn: W. Tan
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Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-440 A05 / A13
Rev: G



CONSTRUCTION PLAN
SCALE 1 : 100

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FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL PLANK FLOORING

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

 - DENOTES INTERCONNECTED SMOKE DETECTORS FITTED WITH EVACUATION LIGHTING BETWEEN LEVELS

 - ILLUMINATED EMERGENCY EXIT LIGHT AS PER DETAIL

 - DENOTES EMERGENCY LIGHT

INSTALLATION AND TESTING OF EMERGENCY LIGHTING IS TO BE IN ACCORDANCE WITH AS 2293.1 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS FOR BUILDING SYSTEM DESIGN, INSTALLATION AND OPERATION. REFER E4.2 EMERGENCY LIGHTING REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA VOLUME 1

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED PARISH CENTER	153.49 m²	16.52
DECK	17.52 m²	1.89
LANDING	26.55 m²	2.86
RAMP	10.85 m²	1.17
	208.40 m²	22.43

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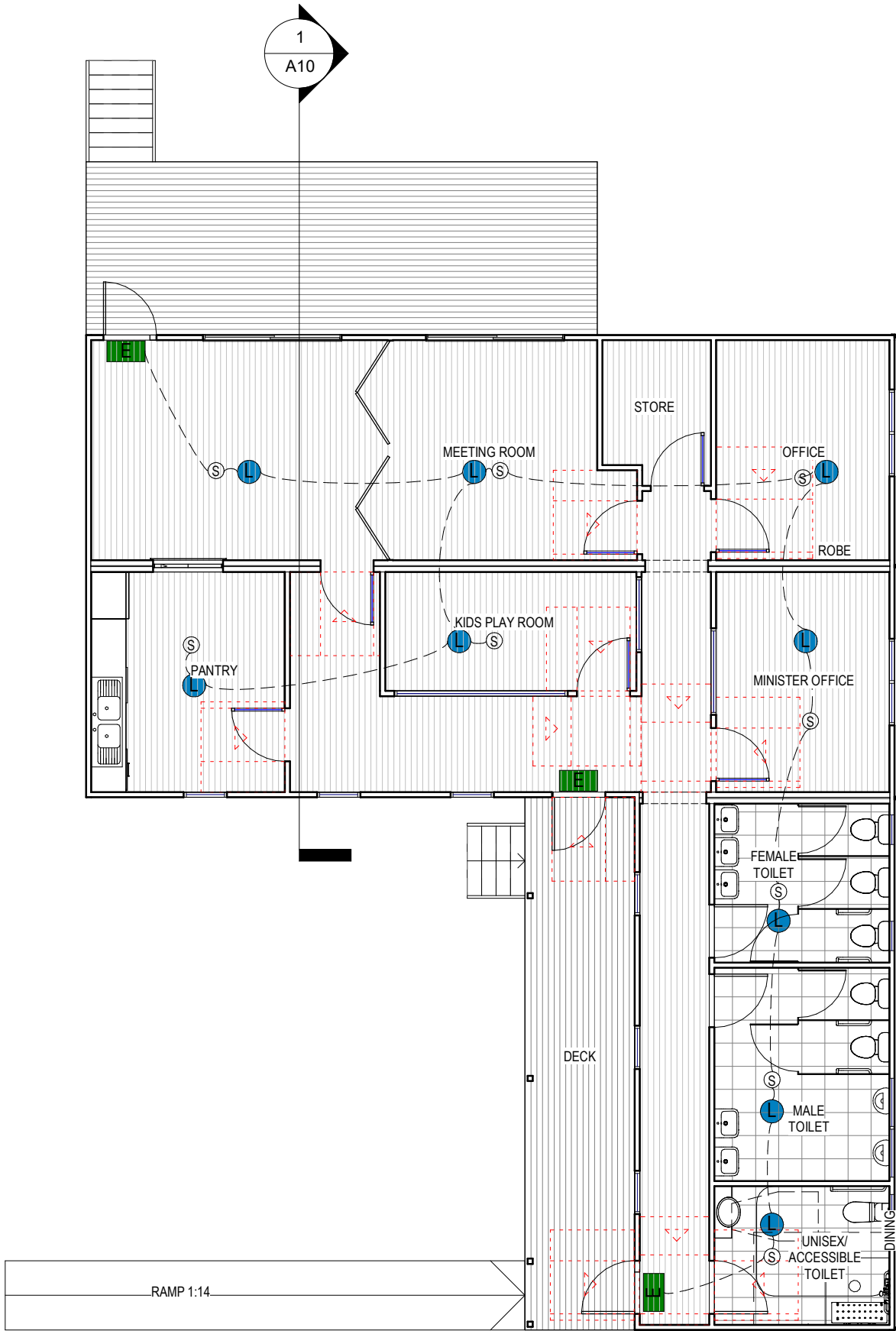
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Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-440 A06 / A13
Rev: G



FLOOR PLAN
SCALE 1 : 100

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Tasbuilt Manufactured Homes & Cabins
P.O Box 274, Deloraine Tasmania 7304
Ph: 03 6393 1013
admin@tasbuilthomes.com.au

SUB FLOOR VENTILATION. NCC PART 6.2.1

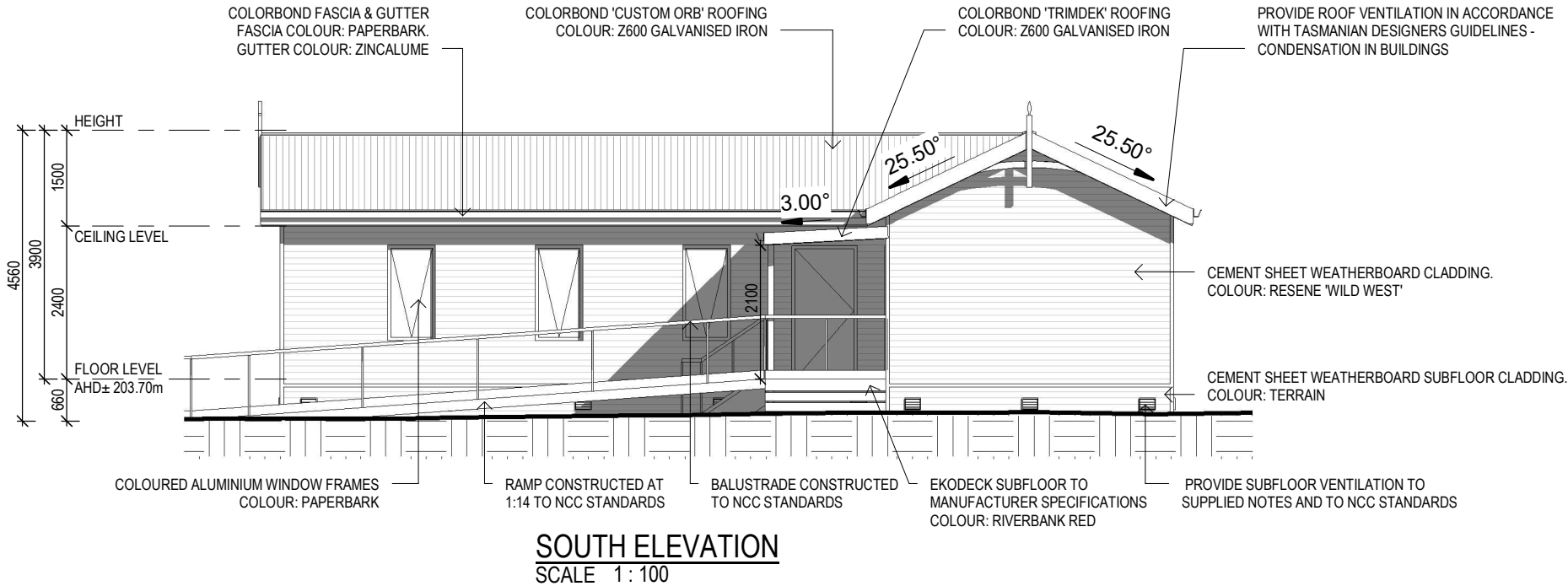
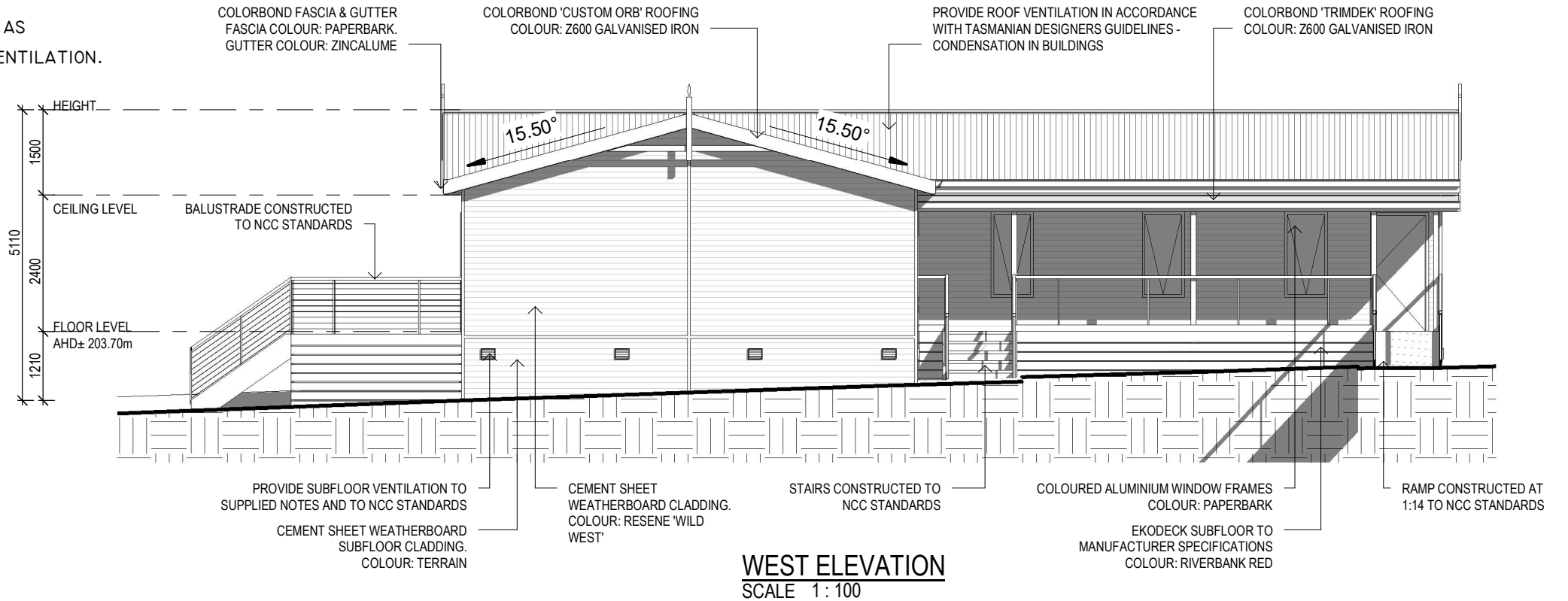
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

MATERIAL COLOUR SPECIFICATION:

ROOF: Z600 GALVANISED IRON
GUTTER: ZINCALUME
FASCIA, WINDOWS, DOORS, VERANDAH POSTS, EAVES: PAPERBARK
WEATHERBOARD CLADDING: RESENE 'WILD WEST'
SUBFLOOR WEATHERBOARD CLADDING: TERRAIN
DECKING BOARD: EKODECK RIVERBANK RED



STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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ENGINEERING
PLUS

Date Drawn: 12.05.26
Drawn: W. Tan
Checked: W. Tan
Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-440 A07 / A13
Rev: G

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EAVE & SOFFIT CONSTRUCTION ABCB VOLUME 2 PART 7.4.5
EAVE WIDTH - REFER TO ELEVATION

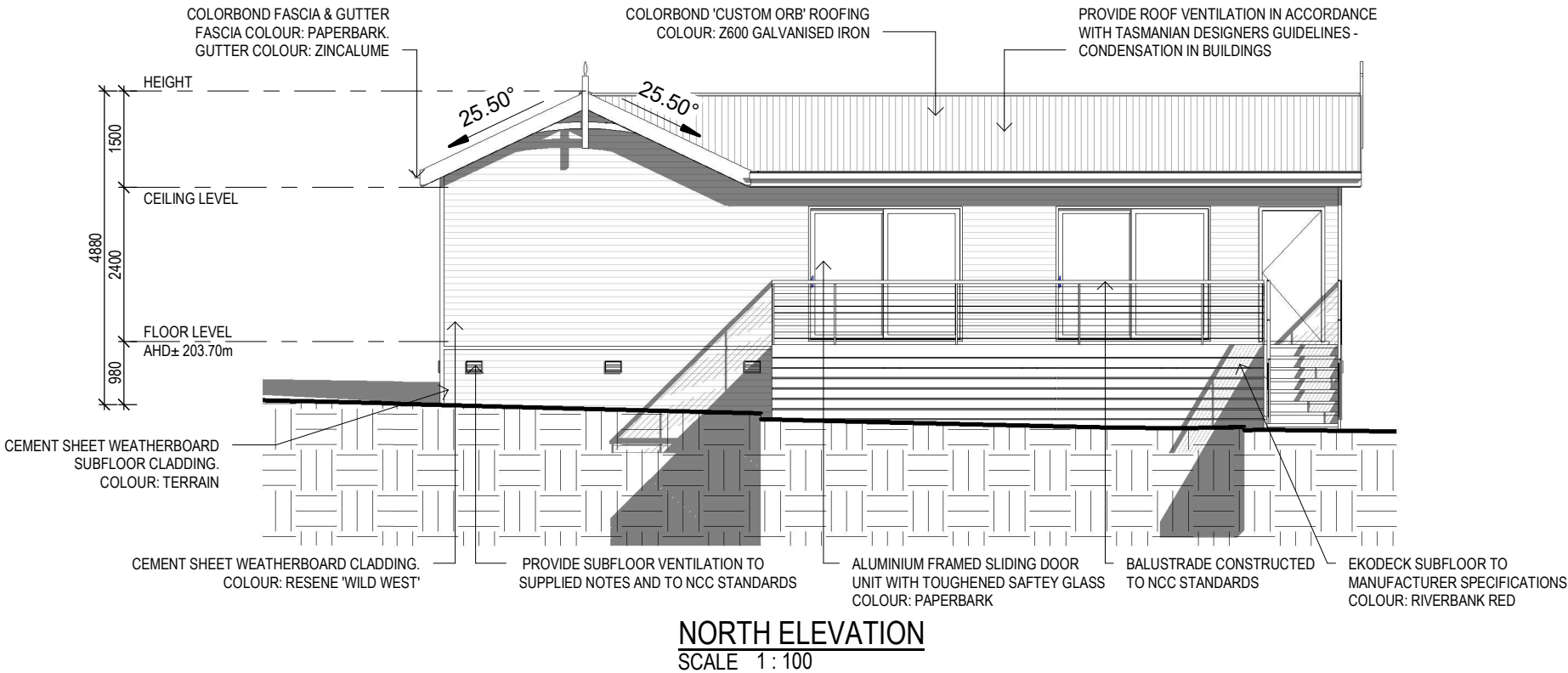
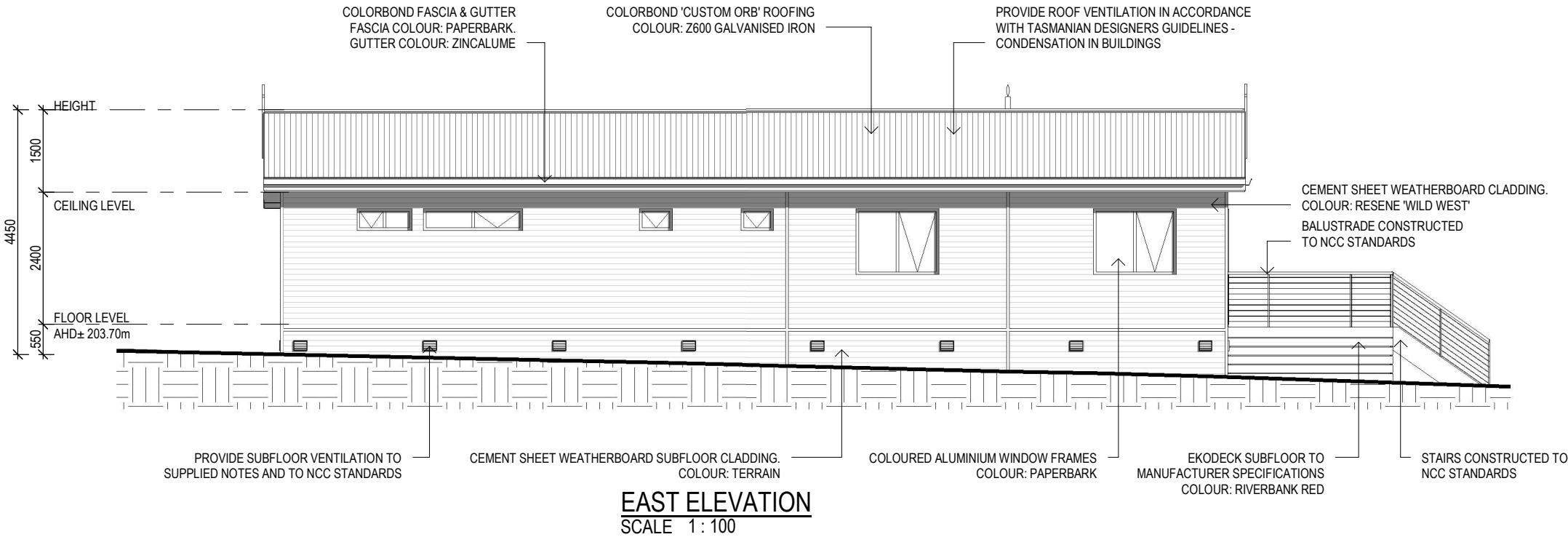
- SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

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27.7.2026
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MATERIAL COLOUR SPECIFICATION:

- ROOF: Z600 GALVANISED IRON
- GUTTER: ZINCALUME
- FASCIA, WINDOWS, DOORS, VERANDAH POSTS, EAVES: PAPERBARK
- WEATHERBOARD CLADDING: RESENE 'WILD WEST'
- SUBFLOOR WEATHERBOARD CLADDING: TERRAIN
- DECKING BOARD: EKODECK RIVERBANK RED



SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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Client: THE TRUSTESS OF THE
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Project: PROPOSED MIDLANDS
ANGLICAN PARISH CENTRE
Address: 71-73 HIGH ST
CAMPBELLTOWN TAS 7210

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au



Date Drawn: 12.05.26
Drawn: W. Tan
Checked: W. Tan
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-440 A08 / A13
Rev: G

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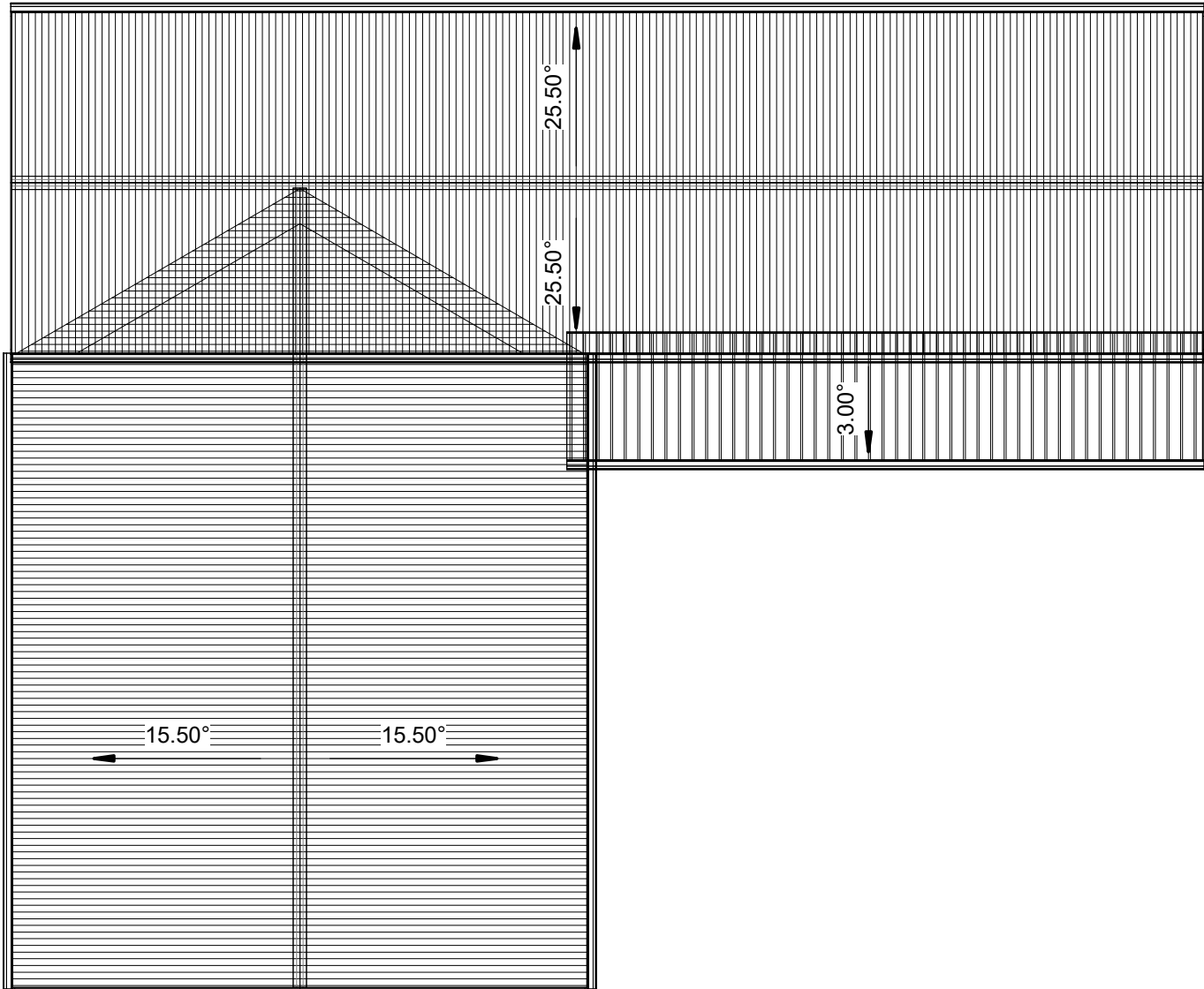
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E	ELECTRICAL INFORMATION	19.06.26	W.T
D	MINOR AMENDMENT	15.06.26	W.T
C	WINDOW REDESIGN	09.06.26	W.T
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Ph: 03 6393 1013
admin@tasbuilthomes.com.au



ROOF PLAN
SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS I562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

COLORBOND 'TRIMDEK'

- MINIMUM PITCH 2 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 2-5 DEGREES - MINIMUM 250MM

R3.5 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

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Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

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INSULATION
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS UNDER ROOF COMPOSITE FOIL & R1.5 BLANKET

EXTERNAL WALLS
'TYVEK' HOUSE WRAP (OR SIMILAR) TO EXTERNAL FACE R2.7 GLASSWOOL BATTS BETWEEN STUDS

SUB FLOOR
85mm R2.5 POLYSTYRENE BETWEEN JOISTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING
ALL STEEL FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF NASH [RESIDENTIAL AND LOW-RISE STEEL FRAMING} & THE NCC CODE PART 3.4.2 WALL FRAMING TO BE LIGHT GAUGE GALVANISED STEEL. COMMON STUDS - C90x37-0.75BMT @ 450 CRS. NOGGINGS - C90x37-0.75BMT OPEN STUDS - C90x37-0.75BMT TOP & BOTTOM PLATES - C90x37-0.75BMT BRACING TO NASH STANDARD & NCC CODE

SLABS & FOOTINGS
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

EXTERNAL CLADDING
EXTERNAL WALL CLADDING REFER ELEVATIONS
SUB FLOOR REFER ELEVATIONS

WINDOWS
COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCC STANDARDS.

WET AREAS
WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

DOWNPIPES:
DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000

FASCIA
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

ROOF FRAMING
COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

CAPPINGS & FLASHINGS
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

GUTTERS
INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. VALLEY GUTTERS TO BE 450 WIDE COLORBOND STEEL TO MATCH ROOF. LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES. LAP 150MM IN DIRECTION OF FLOW

PLASTER
LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

EAVES
OVERHANG ROOFS 300mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING IN ACCORDANCE WITH AS 1684.2 7.2.24

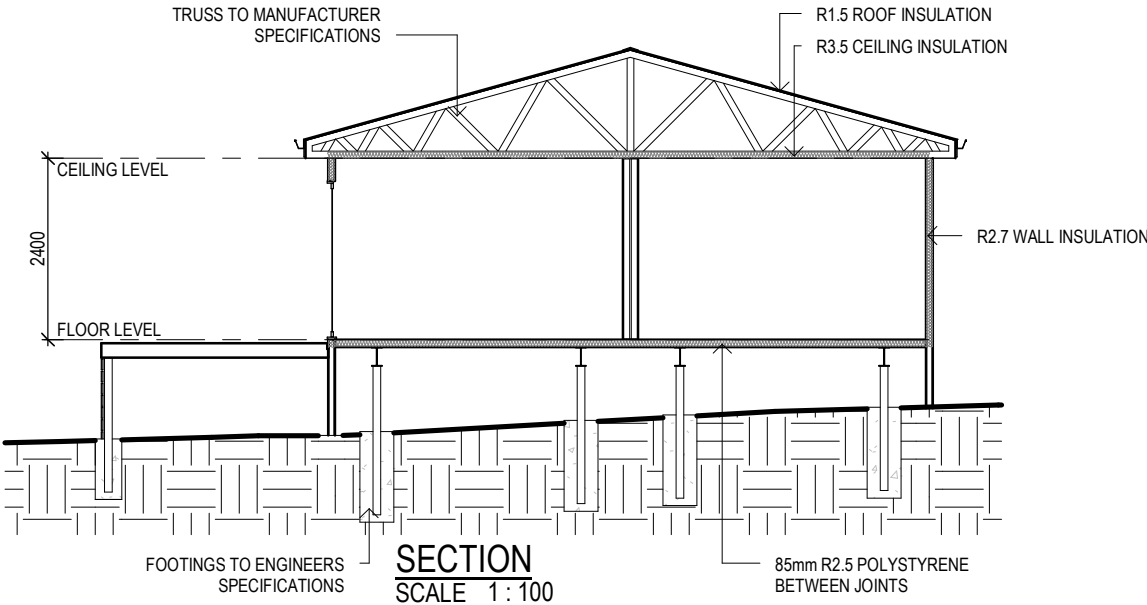


FIGURE 2 - EAVES DETAILS : TRUSS & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959

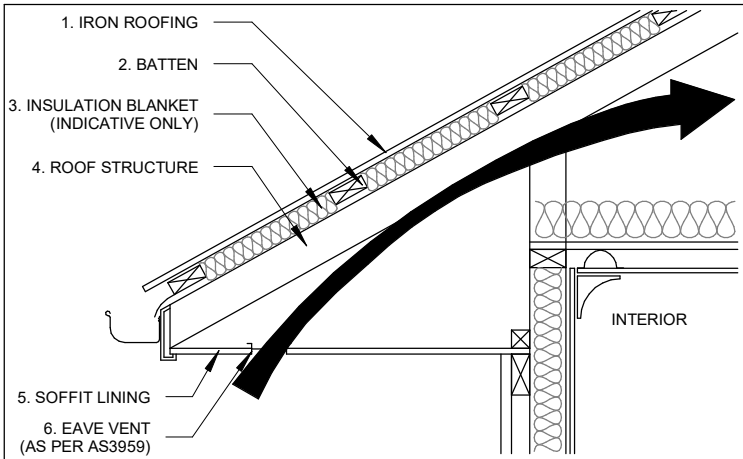
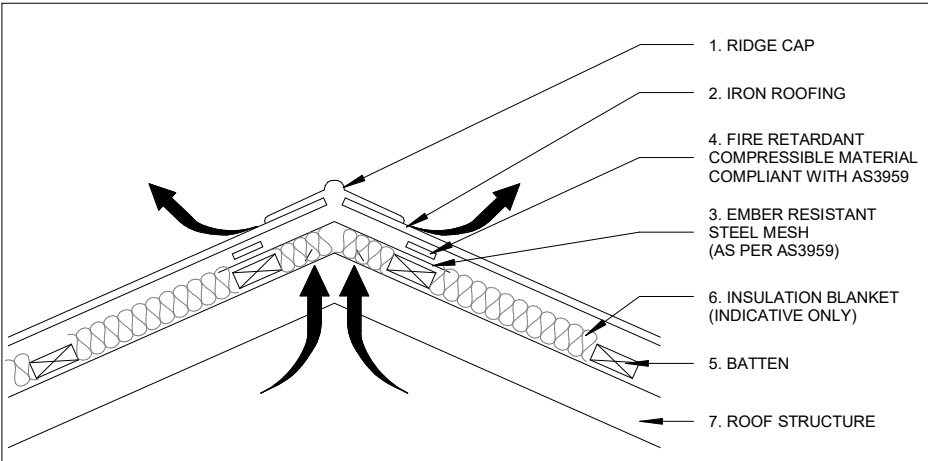
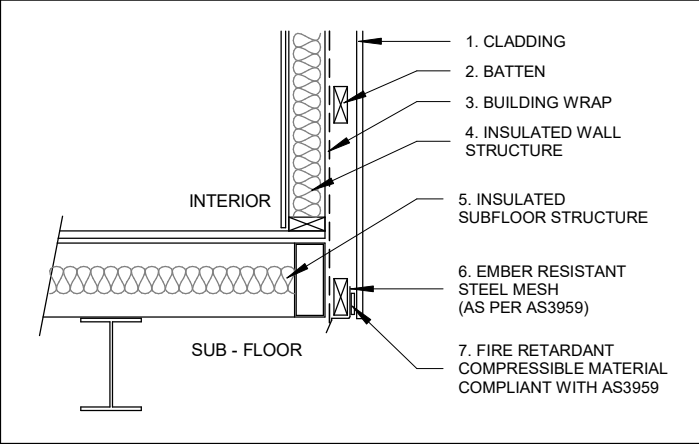


FIGURE 1 - RIDGE DETAIL : IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959



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FIGURE 8 - EXTERNAL WALL VENTED CLADDING SYSTEM - SUSPENDED TIMBER FLOOR BUSHFIRE MESH WHEN REQUIRED TO AS3959



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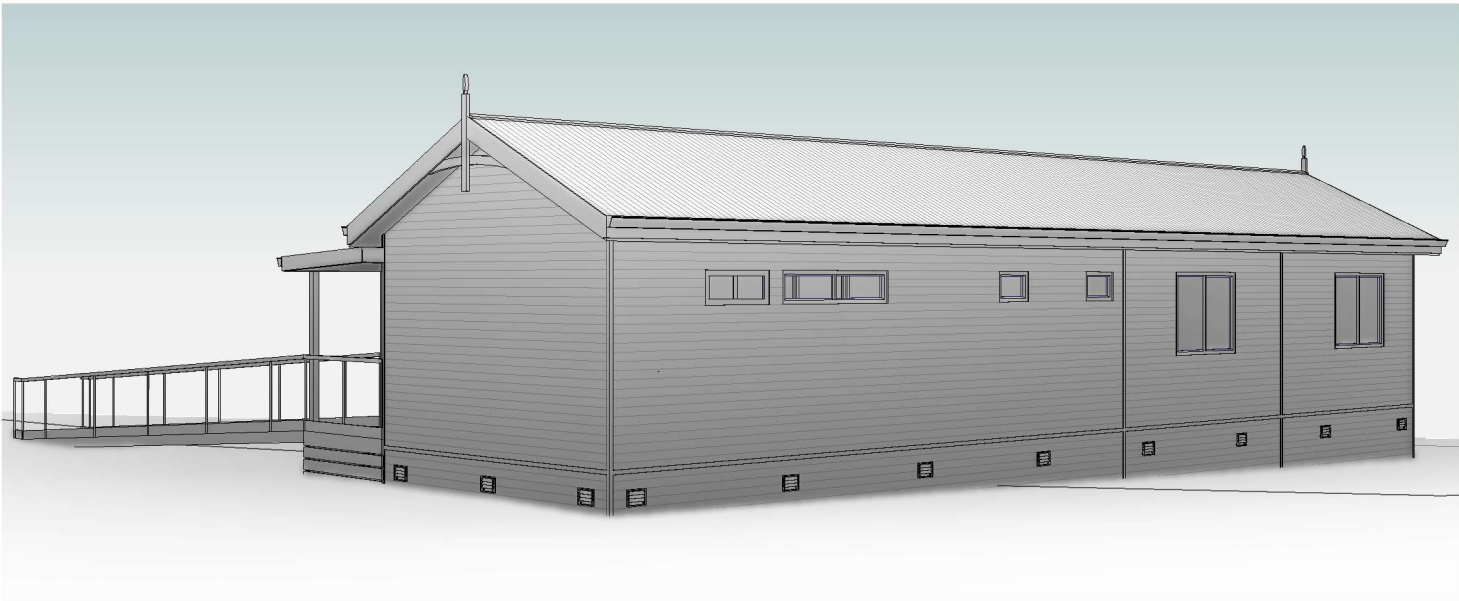
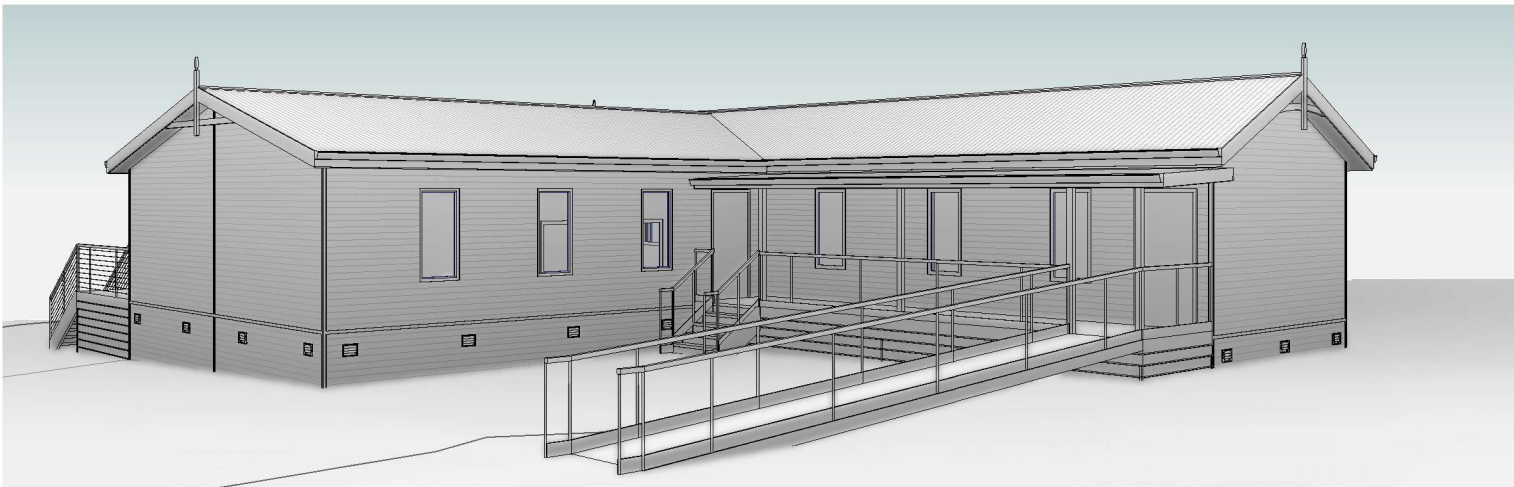
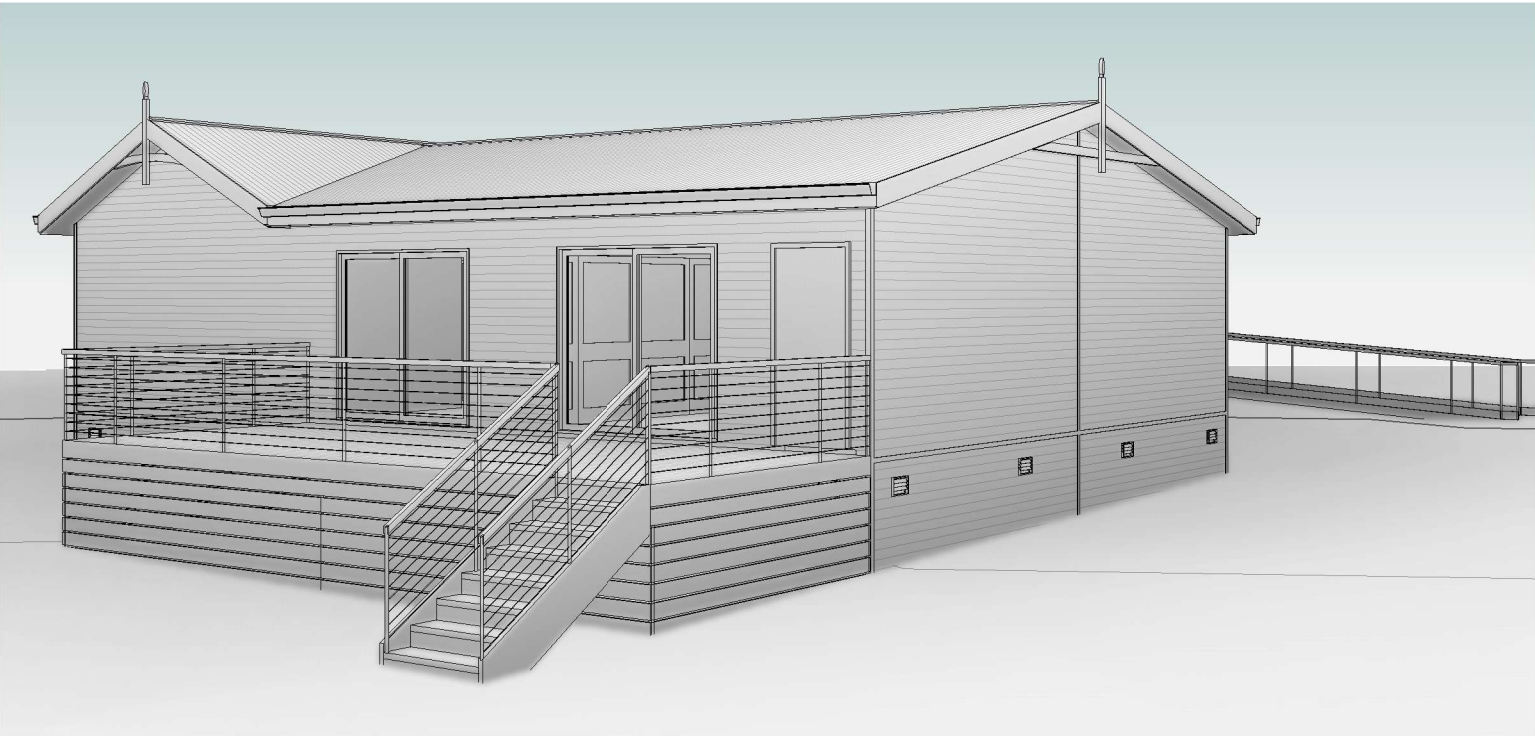
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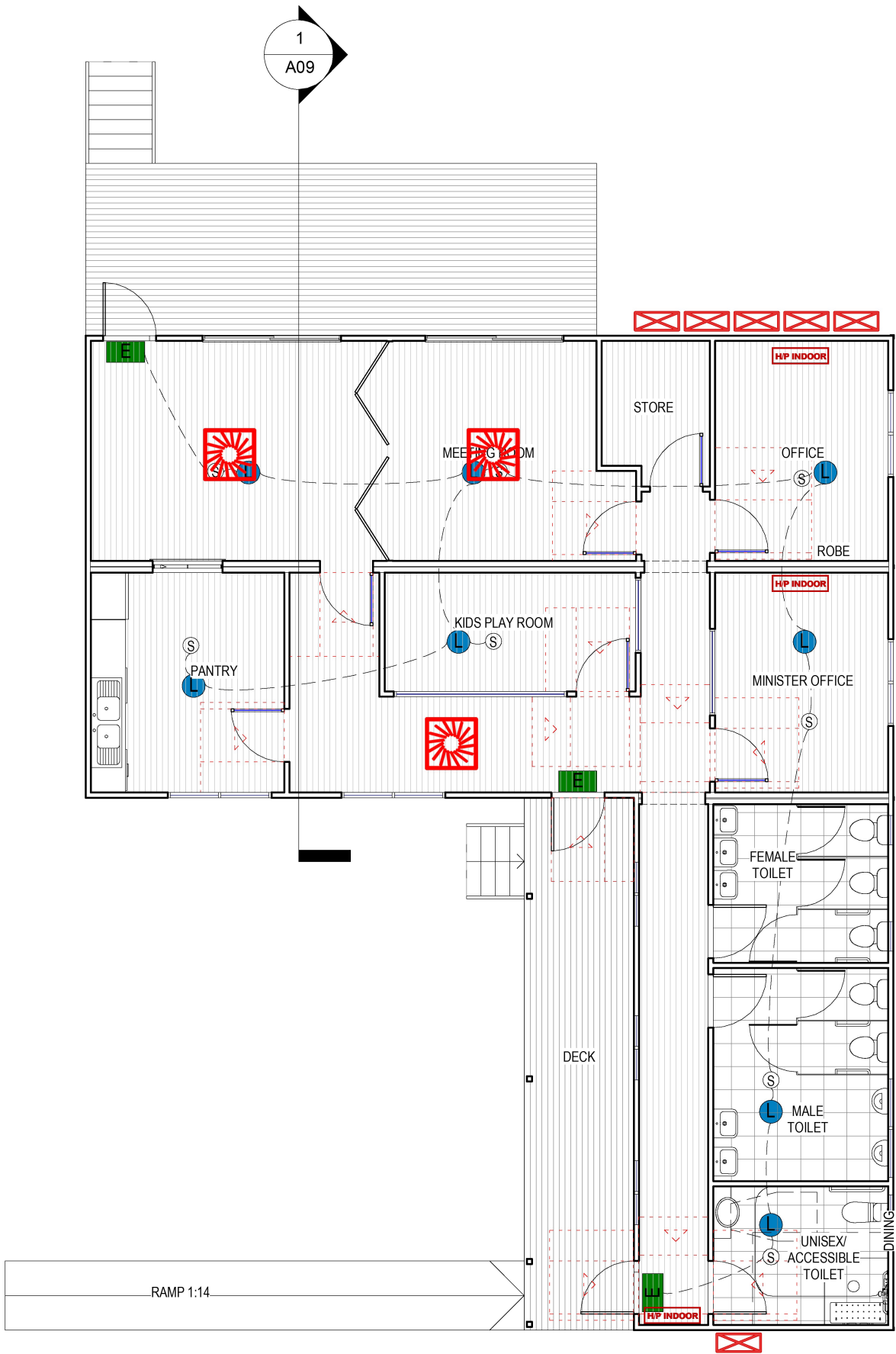
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Tasbuilt Manufactured Homes & Cabins
P.O Box 274, Deloraine Tasmania 7304
Ph: 03 6393 1013
admin@tasbuilthomes.com.au



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HEATING LAYOUT
SCALE 1 : 100

Electrical

- Indoor AC Unit
- Outdoor AC Unit
- Indoor AC - Ceiling Cassette

NOTES

- External AC units to be mounted on concrete pad (by Tasbuilt)
- Vandle proof cage at additional cost

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Drawing No: 2025-440
A12 / A13
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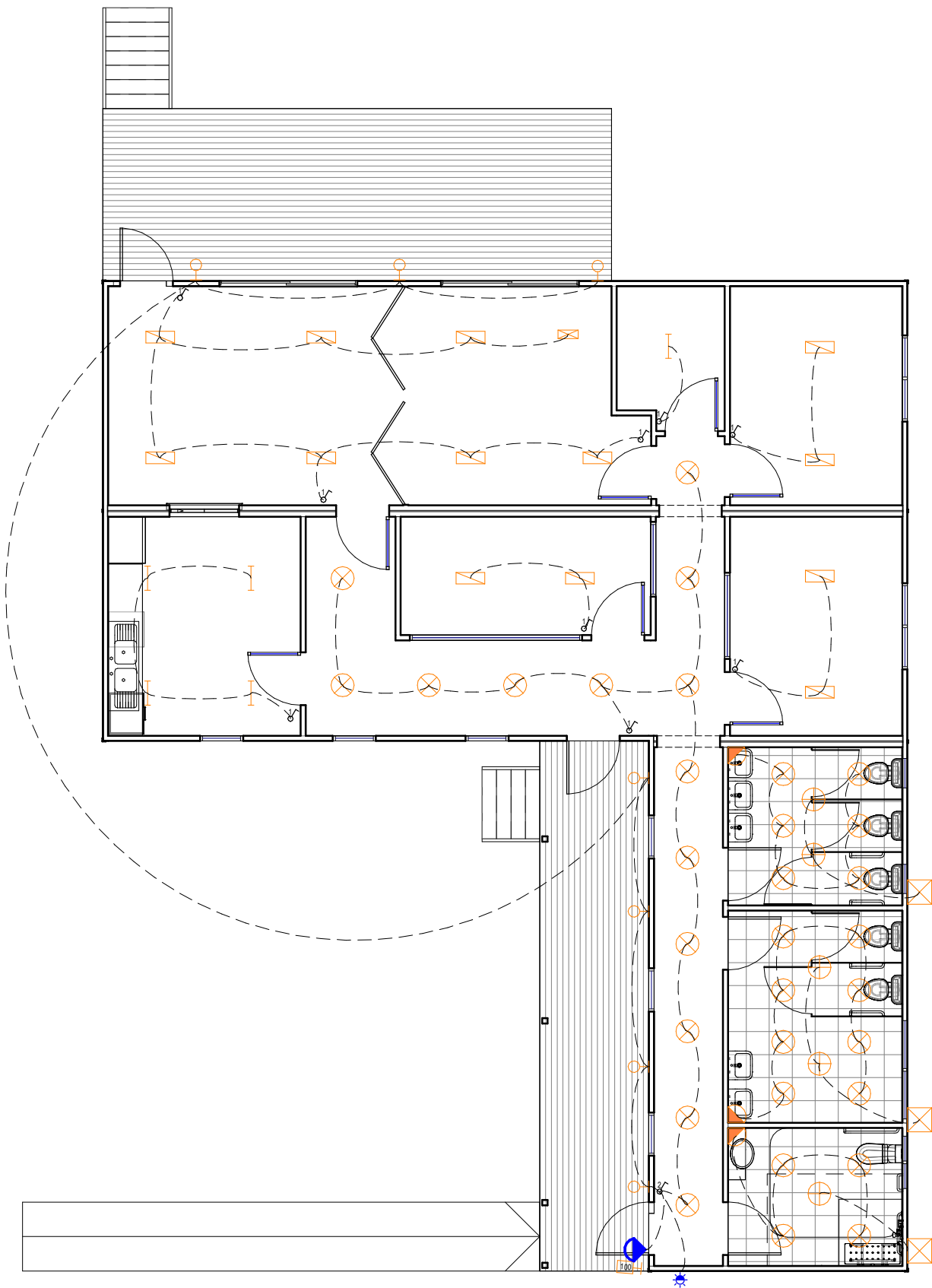
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LIGHTING PLAN
SCALE 1 : 100

LEGEND

Electrical	
	Iconic 1 Gang Switch
	Iconic 2 Gang Switch
	External Motion Sensor
	Surface Mount Sensor
	PE Cell
	LED Panel - 1200x 300
	LED Panel - 600x300
	LED Downlight
	Ceiling Exhaust
	Bunker Light
	LED Batten
	Flood Light
	Grille

NOTES
- Lighting Layout is generic and subject to lighting design
- Exhaust fans to be ducted together in each room to grilles external

BUILDER TO CONSULT WITH CLIENT/S
ABOUT ALL ELECTRICAL WORK PRIOR
TO COMMENCING CONSTRUCTION.
ALL LIGHTING SHOWN IS INDICATIVE
ONLY AND TO BE REVIEWED AND
APPROVED WITH BUILDER.

MAXIMUM 5W/m² LIGHTING FOR INTERNAL USE
MAXIMUM 4W/m² LIGHTING FOR EXTERNAL USE
IN ACCORDANCE WITH NCC 3.12.5.5

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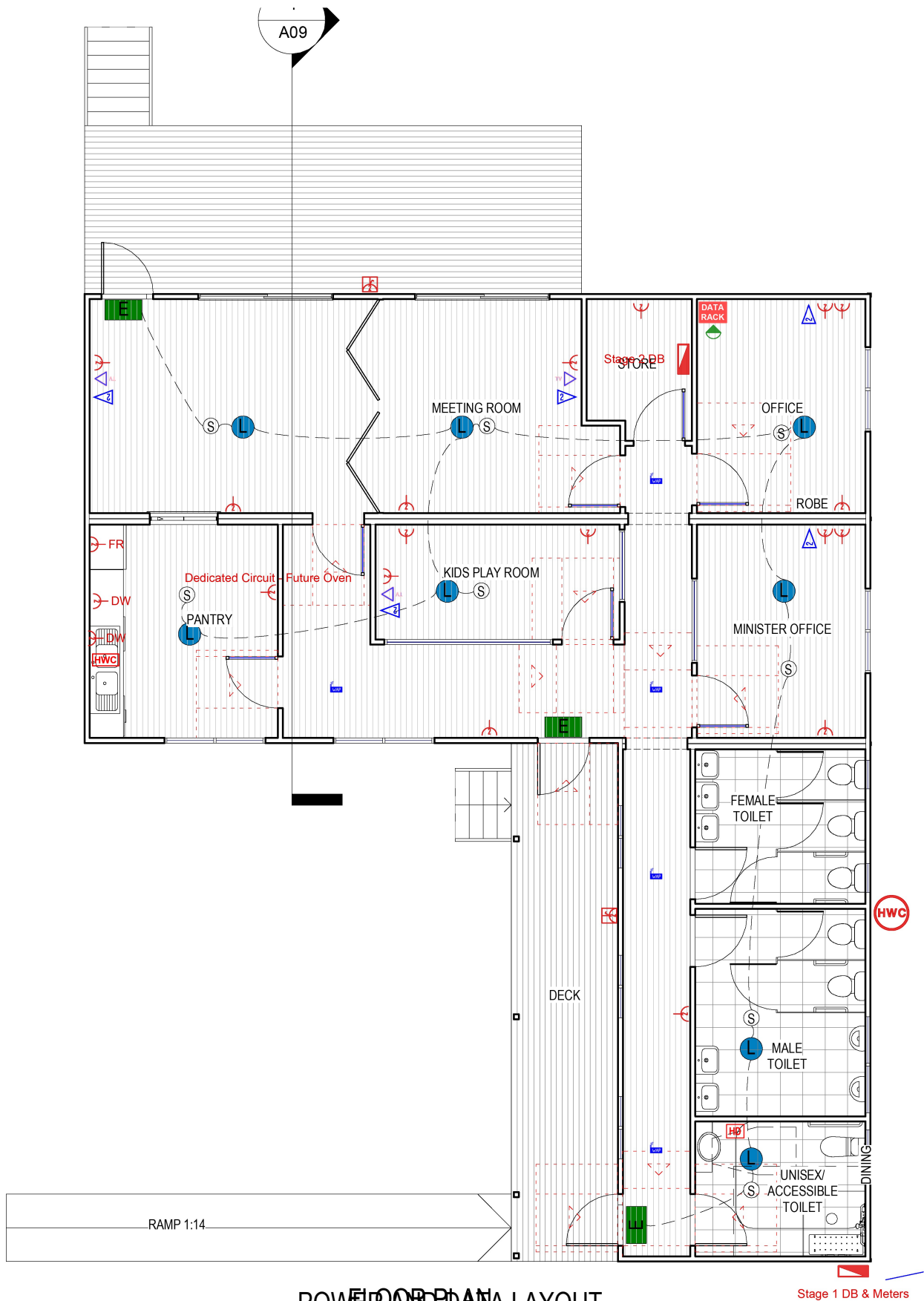


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POWER AND DATA LAYOUT
SCALE 1:100

Electrical

- Iconic Double Gpo
- External Gpo
- Hand Dryer
- 3 Phase Switchboard
- Hot Water Connection
- HWBU
- Data Rack
- NBN Outlet
- Data Outlet - Double
- TV Outlet
- WAP - Single Data Outlet

ENGINEERING PLUS
BUILDING DESIGN
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ble Gpo
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- Hand Dryer
- 3Phase Switchboard
- Hot Water Connection
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