

Exhibited

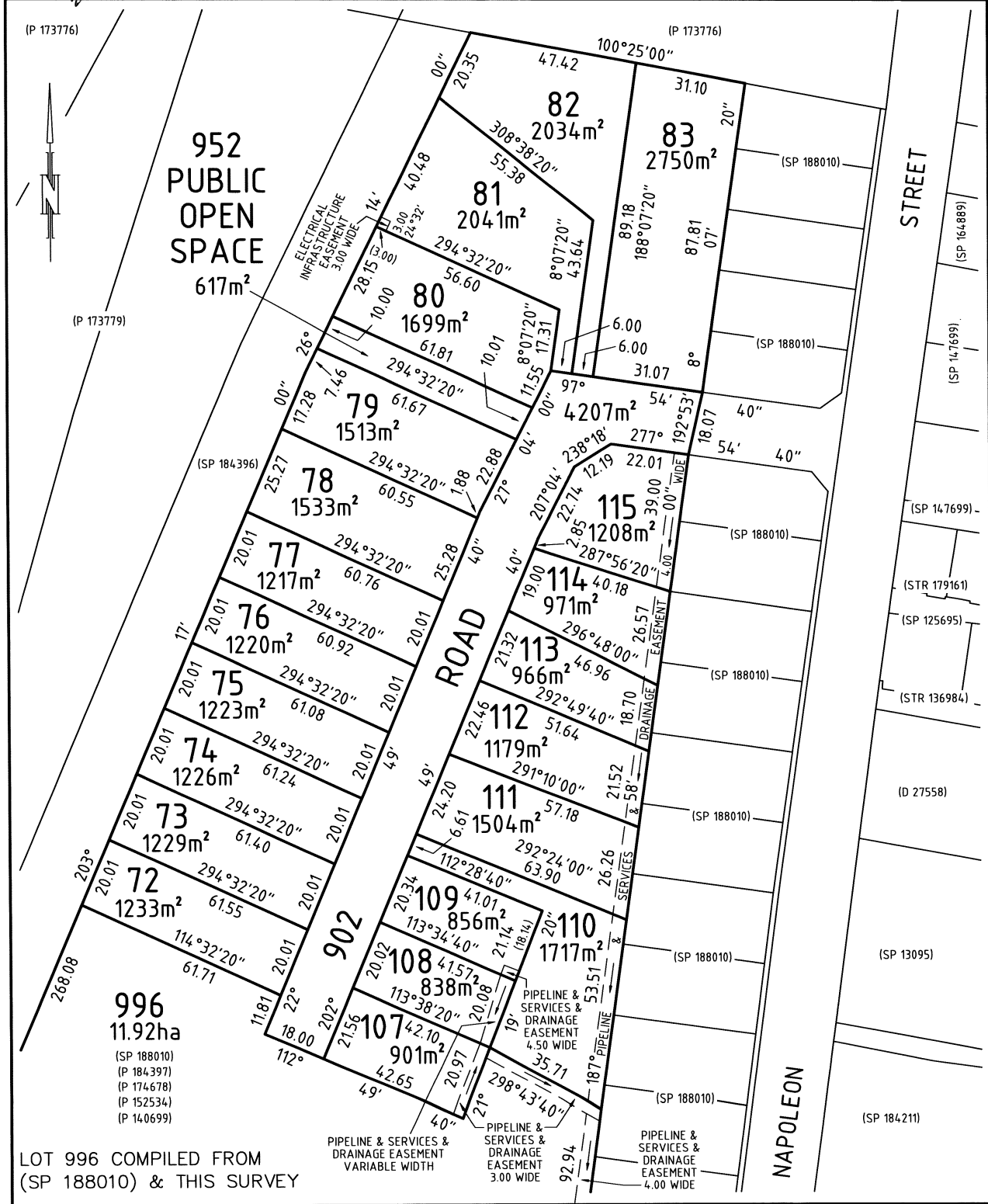
This planning application is open for
public comment until
23 June 2026

Reference no	PLN-26-0090
Site	11 SKYEVIEW RISE PERTH
Proposed Development	Multiple Dwellings (3)
Zone	8.0 General Residential
Use class	Residential

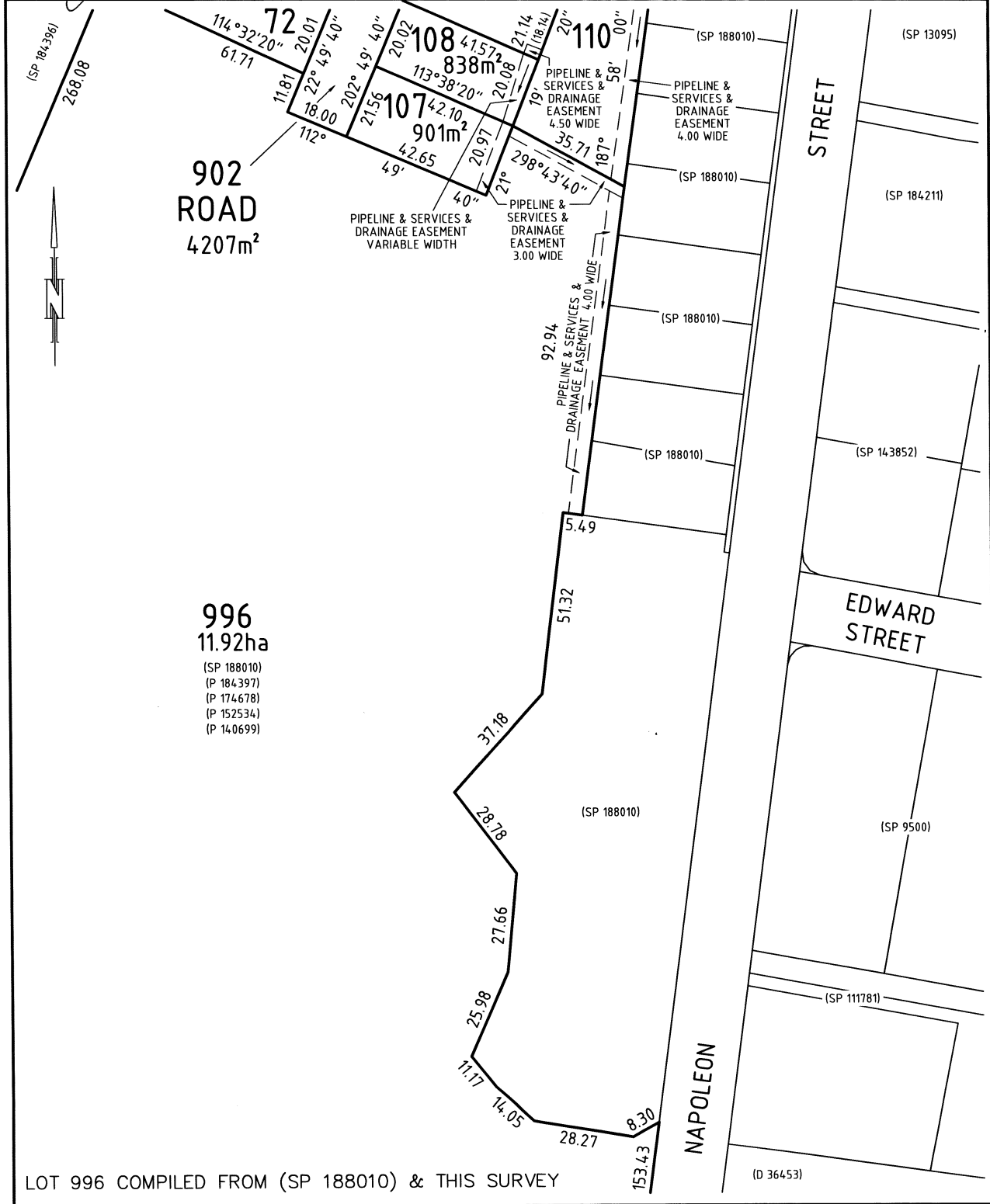
Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER: MACKINNON ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 188010/995</p> <p>SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 188507</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 10/14/2025 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 20/02/2025 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 30 APR 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 2 SHEETS</p> <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 10/4/2025 Council Delegate Date</p>	<p>OWNER: MACKINNON ESTATES PTY LTD</p> <p>FOLIO REFERENCE: 188010/995</p> <p>SCALE 1:1000 LENGTH IN METRES</p> <p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 20/02/2025 Registered Land Surveyor Date</p>	<p>Registered Number</p> <p>SP 188507</p> <p>APPROVED EFFECTIVE FROM 30 APR 2025</p> <p><i>[Signature]</i> Recorder of Titles</p>
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LICENCE NUMBER 957699796

Reply to the planning scheme for
11 Skyview Rise Perth 7300 188507/110

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

8.4.2 Setbacks and building envelope for all dwellings

P1: A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

Response:

While Unit 1 and Unit 2 are fully compliant with the Acceptable Solution, Unit 3 is proposed with a setback of 1.5m. Although this is less than the 4.5m prescribed in the Acceptable Solution, it satisfies the Performance Criterion P1 as the dwelling is situated on an internal lot. Because of this positioning, the unit will be entirely screened from the primary frontage and will have no discernible impact on the existing streetscape. The visual character of the neighbourhood, as viewed from the public road, remains unchanged, thereby maintaining compatibility with the surrounding urban fabric.

Furthermore, the proposal accountably addresses topographical constraints and the privacy of the adjacent neighbour. The land adjoining the site is at a higher elevation; consequently, the floor level of the neighbouring property will sit significantly higher than the subject site. By excavating the proposed dwelling 300mm into the ground, the vertical profile of the building is reduced. When combined with the proposed 1,800mm high boundary fence on the high side of the garage, the gutter line of Unit 3 will sit at a similar height to the top of the fence. This ensures that the building mass is obscured from the neighbour's primary line of sight, resulting in no adverse visual impact or loss of amenity for the occupants of the higher-level dwelling.

P2

A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.

P2 – While the acceptable solution requires garages to be set back 5.5m from the front boundary. The intent of this is to allow a car to be parked in front of the garage door and not have the rear of the vehicle extend out past the title boundary. This all assumes the garage door to be parallel to the street boundary, so the parking is perpendicular.

In this case, the garage door is perpendicular to the street boundary, so will not have parking issues as detailed above. Then from the streetscape point of view, being an internal lot it will have no impact on the street scape

A3 – Acceptable solution compliant

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8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant

8.4.6 Privacy for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

A3 – Acceptable solution compliant

8.4.7 Frontage fences for all dwellings

A1 – Acceptable solution compliant

8.4.8 Waste storage for multiple dwellings

A1 – Acceptable solution compliant

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', is written over a light blue horizontal line.

Bradley Van Zetten

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- LEGEND
- PAGE 1# COVER PAGE
- PAGE 2# EXISTING SITE SURVEY PLAN
- PAGE 3# SITE PLAN
- PAGE 4# LANDSCAPING PLAN
- PAGE 5# STRATA PLAN
- PAGE 6# SITE PLUMBING PLAN
- PAGE 7# CAR PARKING PLAN
- PAGE 8# CAR TURNING PLAN
- PAGE 9# SOIL AND WATER MANAGEMENT PLAN
- PAGE 10# UNIT 1 – FLOOR PLAN
- PAGE 11# UNIT 1 – FLOOR PLAN WITH DIMENSIONS
- PAGE 12# UNIT 1 – ROOF PLAN
- PAGE 13# UNIT 2 – FLOOR PLAN
- PAGE 14# UNIT 2 – FLOOR PLAN WITH DIMENSIONS
- PAGE 15# UNIT 2 – ROOF PLAN
- PAGE 16# UNIT 3 – FLOOR PLAN
- PAGE 17# UNIT 3 – FLOOR PLAN WITH DIMENSIONS
- PAGE 18# UNIT 3 – ROOF PLAN
- PAGE 19# ELEVATIONS
- PAGE 20# ELEVATIONS

COUNCIL – NORTHERN MIDLANDS COUNCIL
 ZONE – GENERAL RESIDENTIAL
 CODE – BUSHFIRE PRONE AREA
 – SAFEGUARDING OF AIRPORTS CODE – 260M AHD
 –PERTH SPECIFIC AREA PLAN – NOR–S7.0
 LANDSLIDE BAND – NIL

TITLE REFERENCE – 188507/110
 PROPERTY ID – 9285712

BUSHFIRE-PRONE AREA BAL RATING LOW
 AS PER SUBDIVISION BUSHFIRE REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
 REFER TO ENERGY REPORT BY 2DR

PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYEVIEW RISE PERTH 7300

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES THEN THESE MUST BE CONFIRMED ONSITE BY A SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED 'APPROVED' PLANS BY BUILDING SURVEYOR AND PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE COMPLIANT WITH NCC PART 10.8 CONDENSATION MANAGEMENT.

NOTES
 (1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR, ANOMALY OR AMBIGUITY WITHIN THE DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE CONTACTED PRIOR TO ANY MORE CONSTRUCTION CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND THAT THE NOTED DIMENSIONS ARE USED FOR ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

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THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.



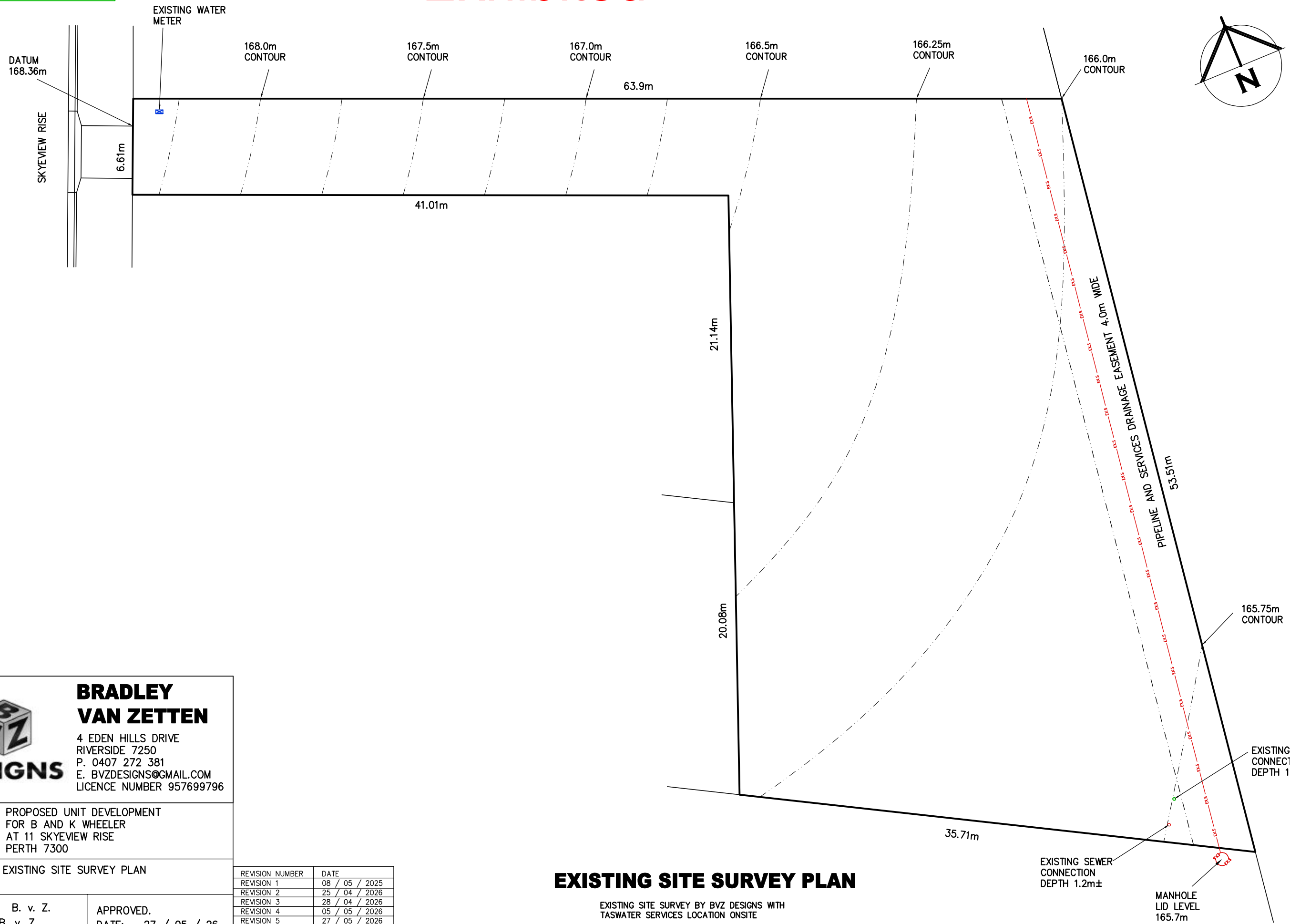
DESIGNS

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYEVIEW RISE PERTH 7300

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z. APPROVED: DATE: 27 / 05 / 26
 DRAWN: B. v. Z.

SCALE - A3 - 1:250. DRAWING No.: WHE0526 - 2/20

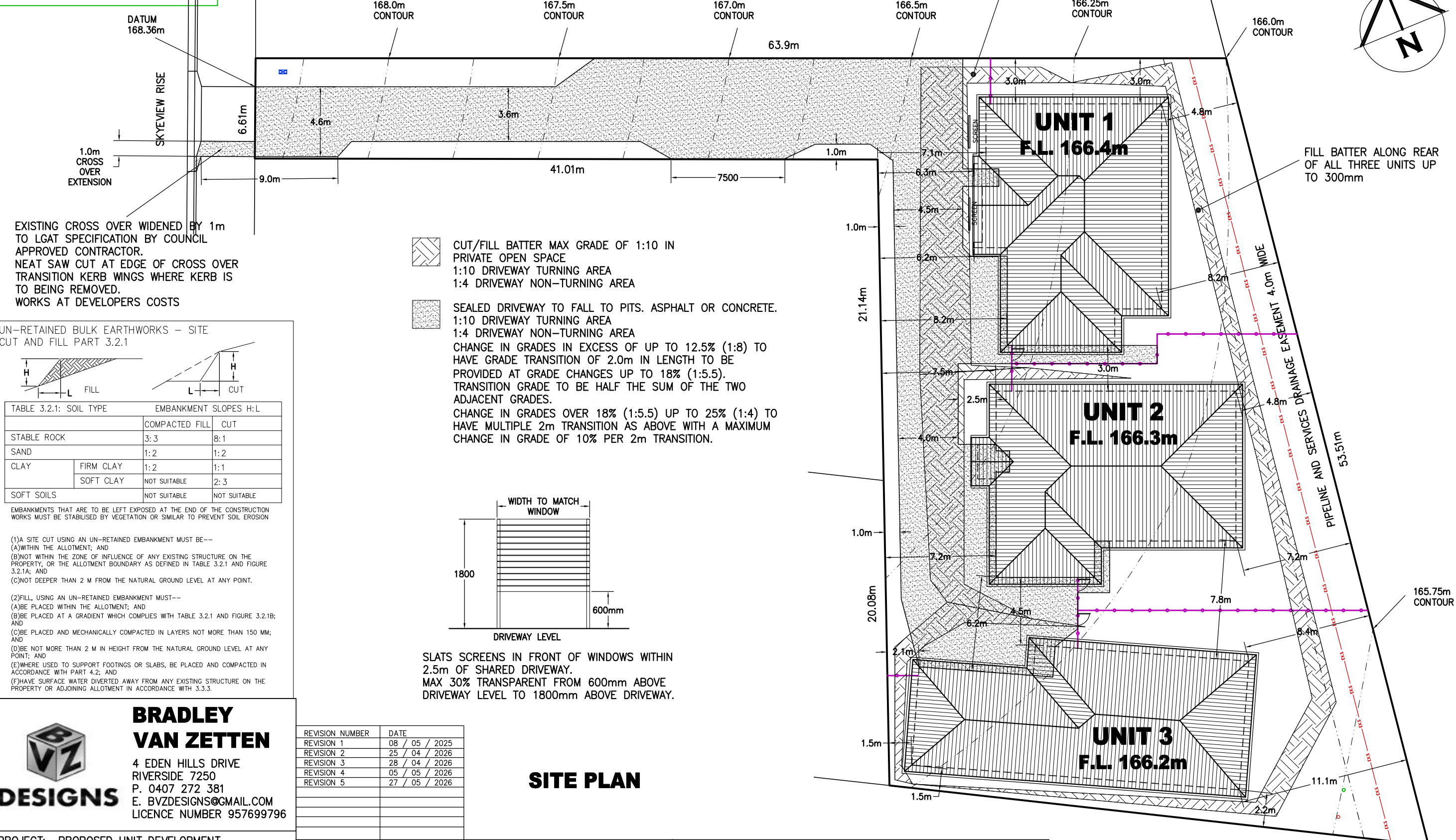
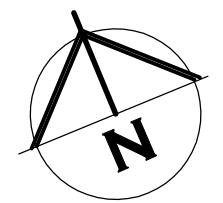
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EXISTING SITE SURVEY PLAN

EXISTING SITE SURVEY BY BVZ DESIGNS WITH TASWATER SERVICES LOCATION ONSITE

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EXISTING CROSS OVER WIDENED BY 1m TO LGAT SPECIFICATION BY COUNCIL APPROVED CONTRACTOR. NEAT SAW CUT AT EDGE OF CROSS OVER TRANSITION KERB WINGS WHERE KERB IS TO BEING REMOVED. WORKS AT DEVELOPERS COSTS

- CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA
 - SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE.
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA
- CHANGE IN GRADES IN EXCESS OF UP TO 12.5% (1:8) TO HAVE GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES UP TO 18% (1:5.5). TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES.
CHANGE IN GRADES OVER 18% (1:5.5) UP TO 25% (1:4) TO HAVE MULTIPLE 2m TRANSITION AS ABOVE WITH A MAXIMUM CHANGE IN GRADE OF 10% PER 2m TRANSITION.

UN-RETAINED BULK EARTHWORKS - SITE CUT AND FILL PART 3.2.1

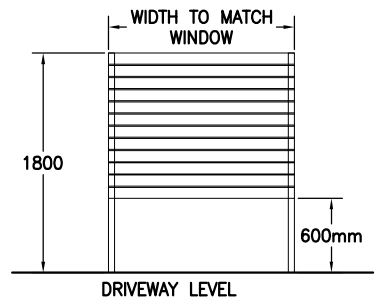


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
(A) WITHIN THE ALLOTMENT; AND
(B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
(C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
(A) BE PLACED WITHIN THE ALLOTMENT; AND
(B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
(C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
(D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
(E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
(F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.



SLATS SCREENS IN FRONT OF WINDOWS WITHIN 2.5m OF SHARED DRIVEWAY. MAX 30% TRANSPARENT FROM 600mm ABOVE DRIVEWAY LEVEL TO 1800mm ABOVE DRIVEWAY.

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SITE PLAN

PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300

DRAWING: SITE PLAN

DESIGNED: B. v. Z.
 DRAWN: B. v. Z.

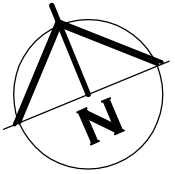
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SITE AREA TABLE - FOR PLANNING SCHEME			SITE AREA TABLE - FOR STORMWATER DETENTION		
	SQUARE METER	PERCENTAGE OF LOT		SQUARE METER	PERCENTAGE OF LOT
SITE AREA	1717		SITE AREA	1717	
BUILDING AREA (EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME))	511	29.8	ROOF AREA OF UNITS	620	36.1
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	470	27.4	SEALED GROUND AREA (EXCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	440	25.6
AREA FREE FROM IMPERVIOUS SURFACES	736	42.9	TOTAL SEALED AREA LESS THAN 70% THEREFORE NO DETENTION REQUIRED	657	38.3

"MAGENTA" 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE. ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.


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 SIR WALTER BUFFALO OR SIMILAR GRASS

 15mm-20mm 'NO FINES' DECORATIVE STONE OR MULCH TO ALL GARDEN BEDS.


 SEALED DRIVEWAY TO FALL TO PITS


 PRIVATE OPEN SPACE 6x4m OR 5x5m MAX GRADE 1:10


 CLOTHES LINE CRUSHED GRAVEL PATH OR STEPPING STONE PAVERS TO CLOTHES LINE

 1.7x0.9m WHEELIE BIN STORAGE MINIMUM 1.5m²

 LETTERBOX

 MAIN POWER BOARD LOCATED WITHIN COMMON GROUND

 BORONIA ANEMONIFOLIA STICKY BORONIA MATURE HEIGHT APPROX. 1.5m

 LEUCOPYHTA BROWNII CUSHION BUSH MATURE HEIGHT APPROX. 1.0m

 SEDUM SPECTABILE ICE PLANT MATURE HEIGHT APPROX. 0.7m


 DIANELLA TASMANICA (TASMANIAN FLAX LILY) MATURE HEIGHT APPROX. 1.0m

PLANS SHOWN INDICATE TYPE AND HEIGHT TO BE PLANTED SIMILAR VARIATIONS MAY BE INSTALLED AT TIME OF PLANING


LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 150 sq/m
PRIVATE YARD AREA UNIT 2 = 170 sq/m
PRIVATE YARD AREA UNIT 2 = 205sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER

 "MAGENTA" 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.

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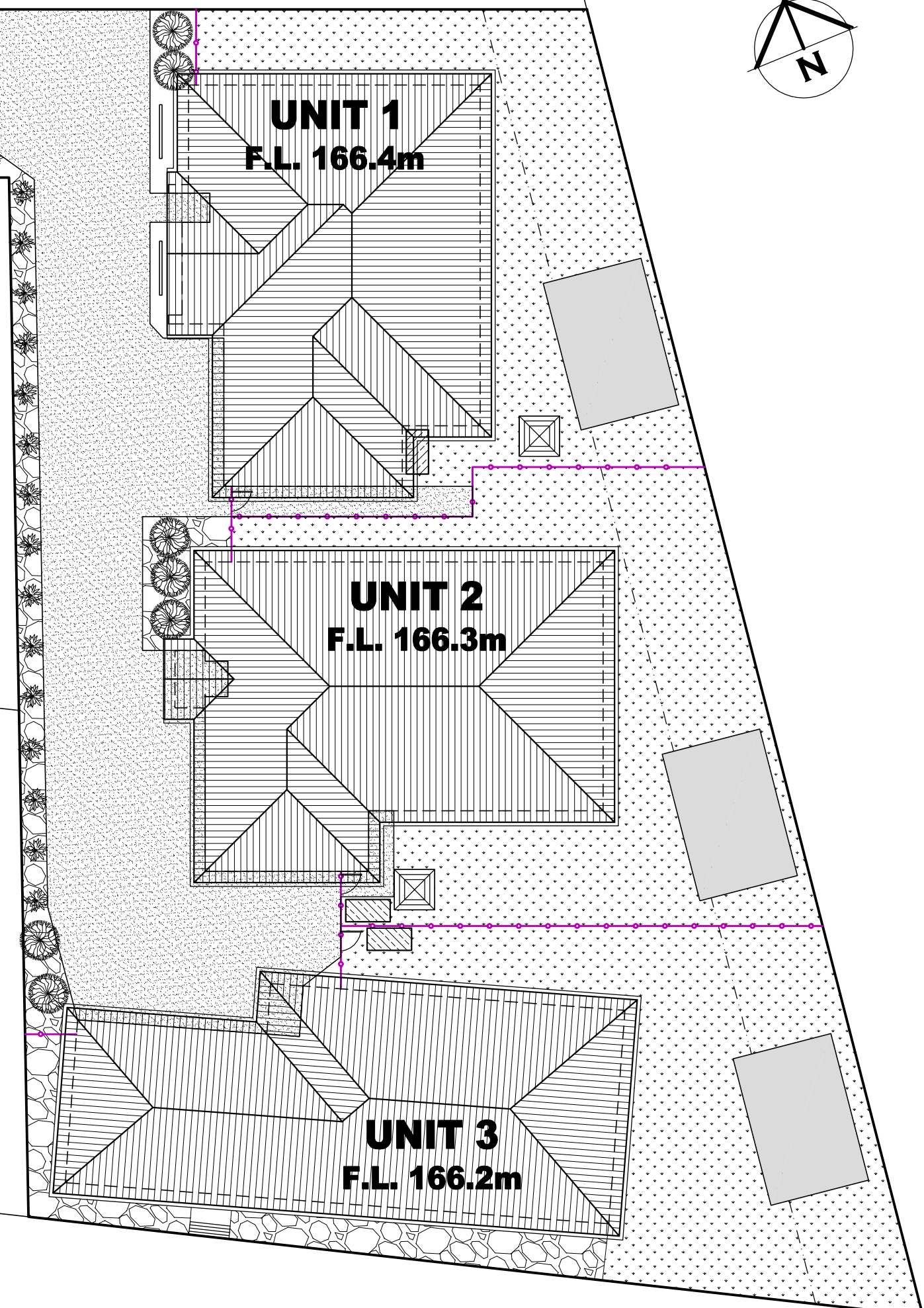
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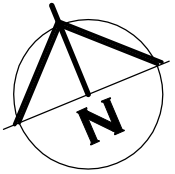
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COMMON PROPERTY
(NO HATCHING)

COMMON PROPERTY
(NO HATCHING)

-  COMMON PROPERTY
(NO HATCHING)
-  UNIT 1 STRATA TITLE
-  UNIT 2 STRATA TITLE
-  UNIT 3 STRATA TITLE

SITE AREA TABLE		
ALL AREAS ARE APPROXIMATE ONLY AND TO BE CONFIRMED BY LAND SURVEYOR POST CONSTRUCTION AT TIME THAT STRATA PLAN IS CREATED		
SITE AREA	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	1717	
STRATA AREA U1	356	20.7
STRATA AREA U2	384	22.4
STRATA AREA U3	414	24.1
COMMON AREA	563	32.8

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 FOR B AND K WHEELER
 AT 11 SKYVIEW RISE
 PERTH 7300

DRAWING: STRATA PLAN

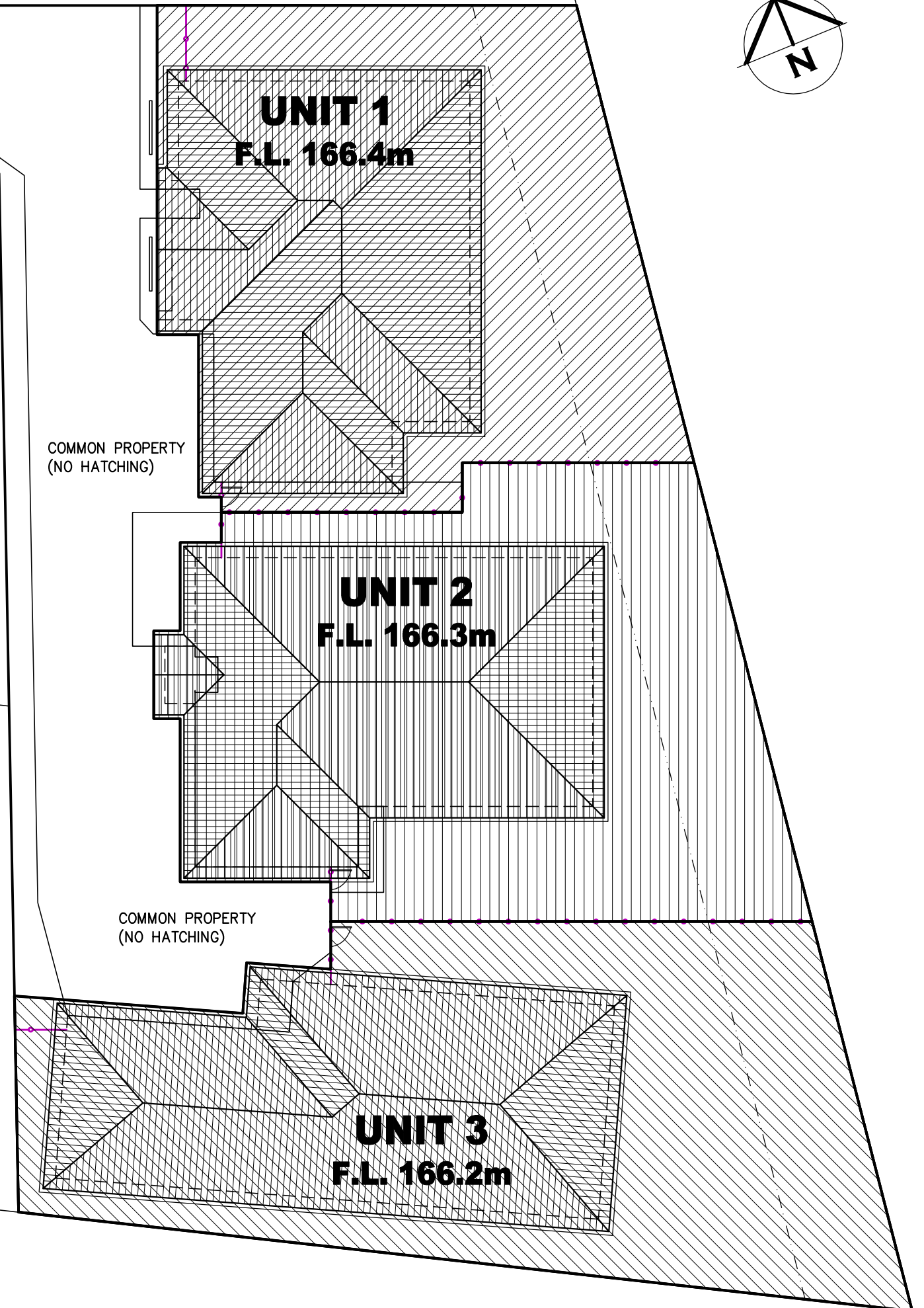
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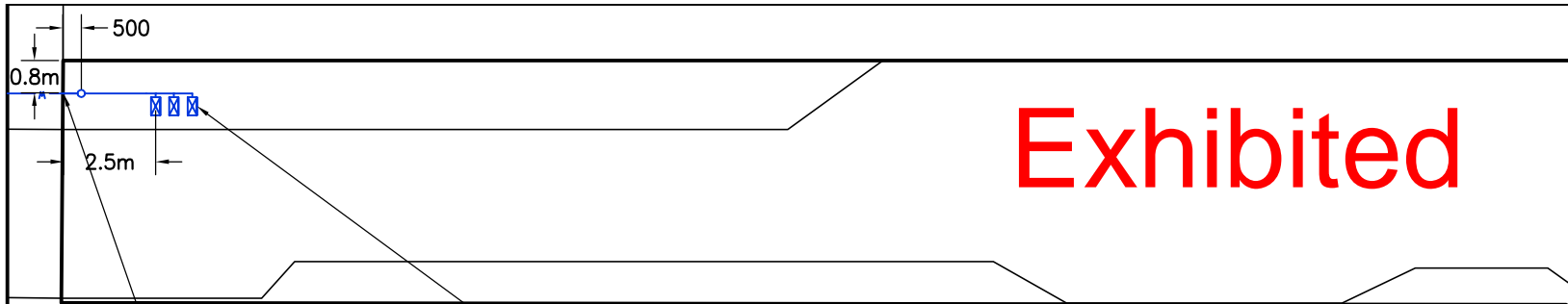
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STRATA PLAN

EXACT STRATA BOUNDARY TO BE
 CONFIRMED ONCE CONSTRUCTION IS
 COMPLETED AND STRATA PLAN IS
 COMPLETED BY LAND SURVEYOR



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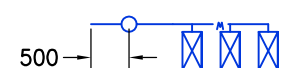


EXISTING DN32(ID25MM) PROPERTY WATER CONNECTION HDPE PN16 SDR11 PROPERTY WATER NO CHANGE REQUIRED EXISTING WATER MAIN 1.8m IN FROM BOUNDARY

EXISTING METER BOX AND WATER METER TO BE REUSED INSTALLED ON NEW MANIFOLD
 2/NON-TRAFFICABLE WATER METER BOXES AS PER TASWATER TWS-W-0002 SHEET 5

2/D20MM SENSUS IPERL WATER METERS ON A MANIFOLD PER TASWATER ENDORSED STANDARD PLANS, BELOW GROUND LOW HAZARD IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02--2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES

INSTALLED AS PER TWS-W-0002 SHEET 9
 ALL WORKS BY TAS WATER AT DEVELOPERS COST.



WATER MANIFOLD INSTALLED IN LINE WITH CONNECTION TO KEEP METERS OUTSIDE OF DRIVEWAY

INTERNAL PLUMBING DETAIL WILL BE INCLUDED IN PLANS FOR PLUMBING PERMIT. DETAILS INCLUDED FOR PLANNING STAGE FOR TASWATER SPAN APPROVAL ONLY

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SITE PLUMBING PLAN

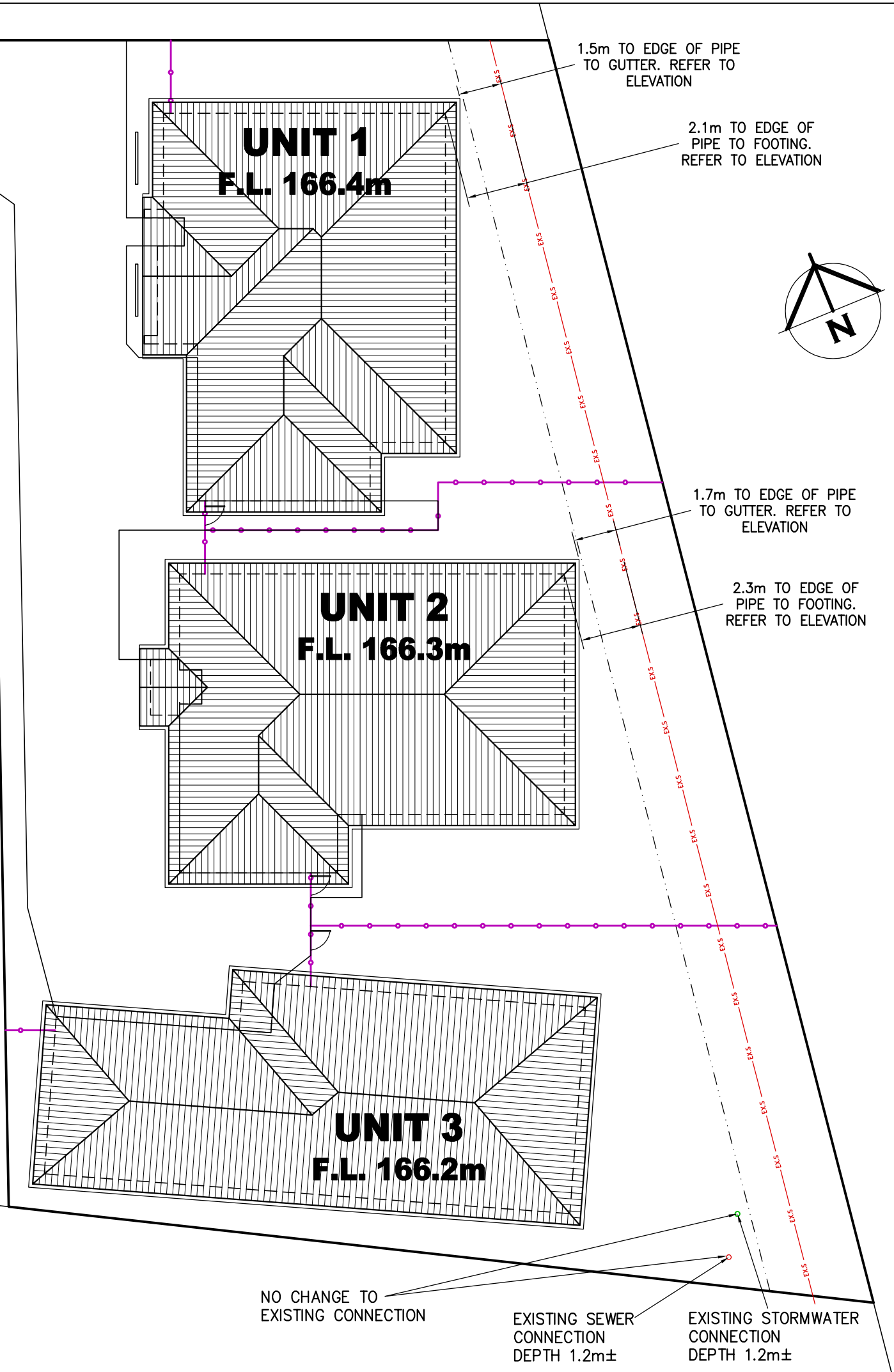
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DRAWING: SITE PLUMBING PLAN

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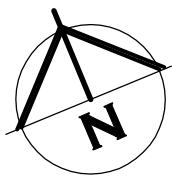
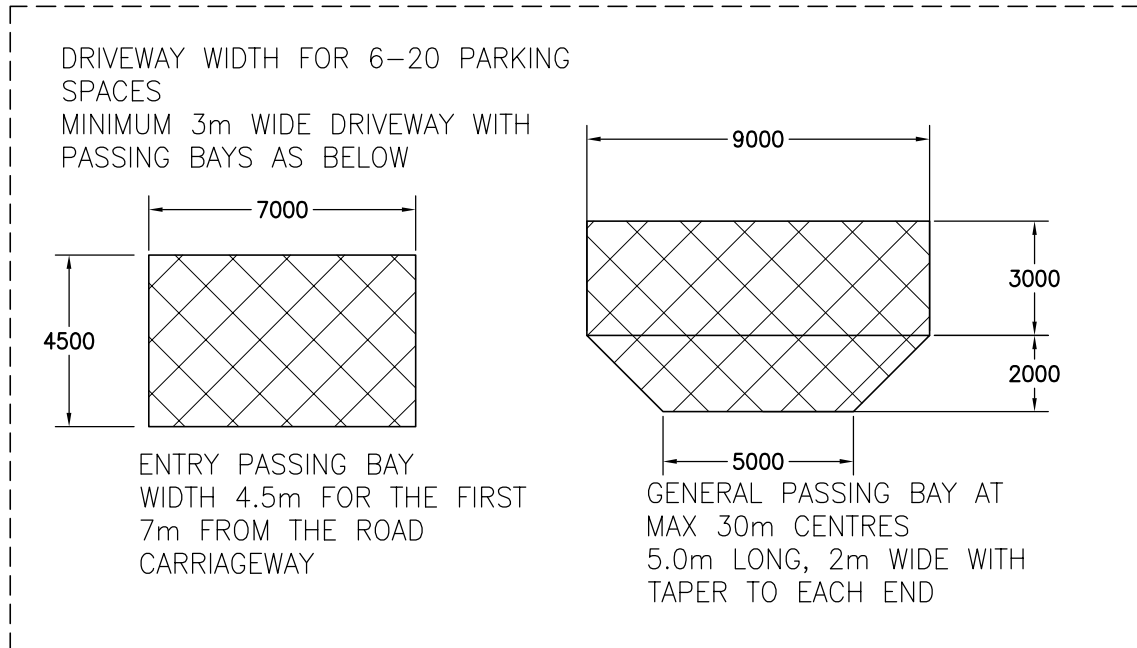
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NO CHANGE TO EXISTING CONNECTION
 EXISTING SEWER CONNECTION DEPTH 1.2m±
 EXISTING STORMWATER CONNECTION DEPTH 1.2m±

SKYEVIEW RISE

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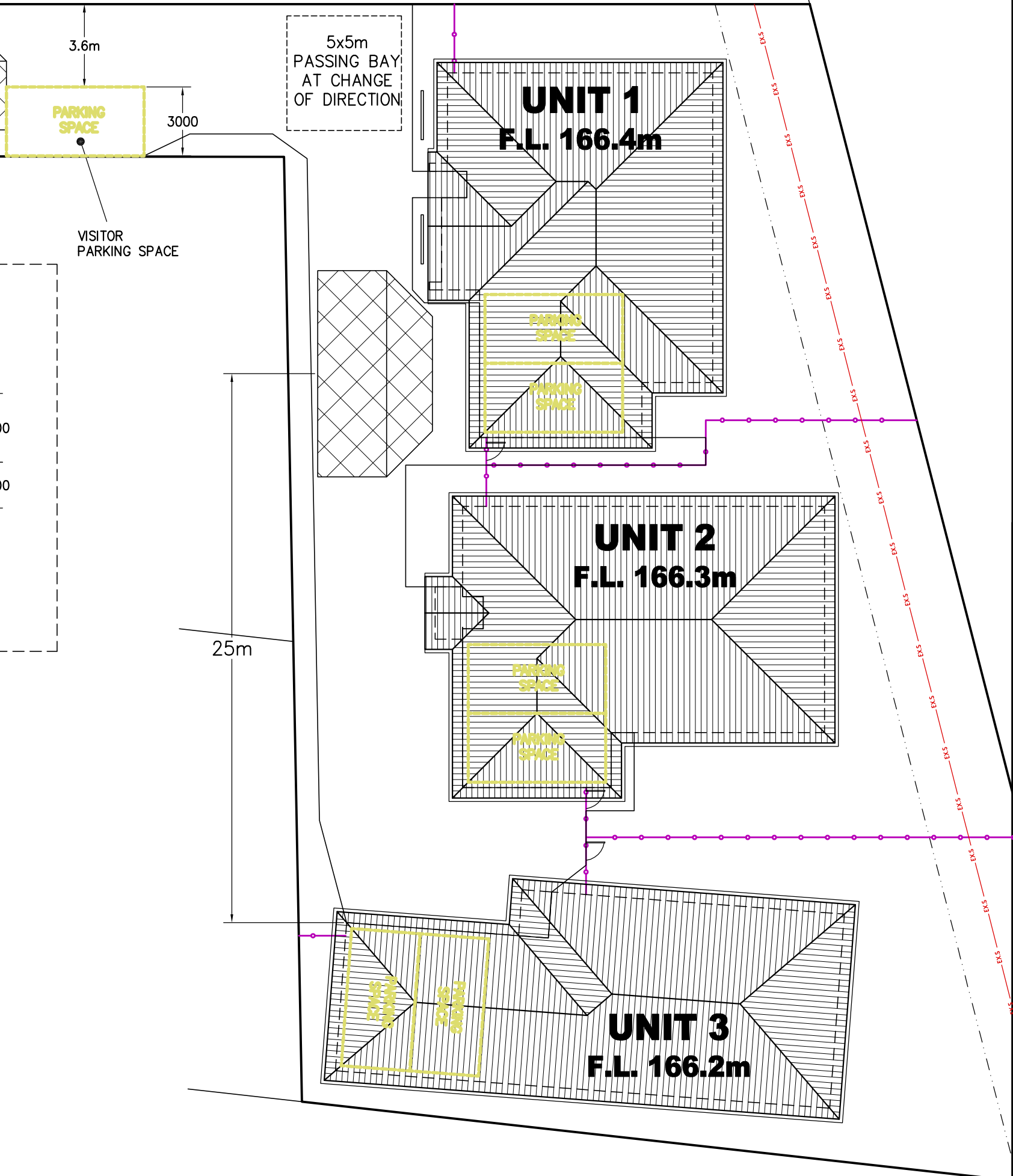
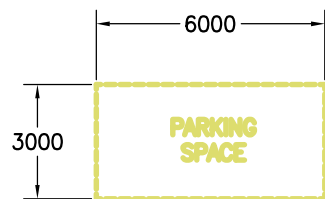
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CARPARKING PLAN

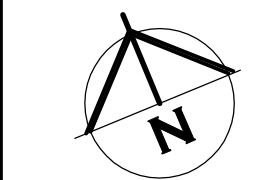
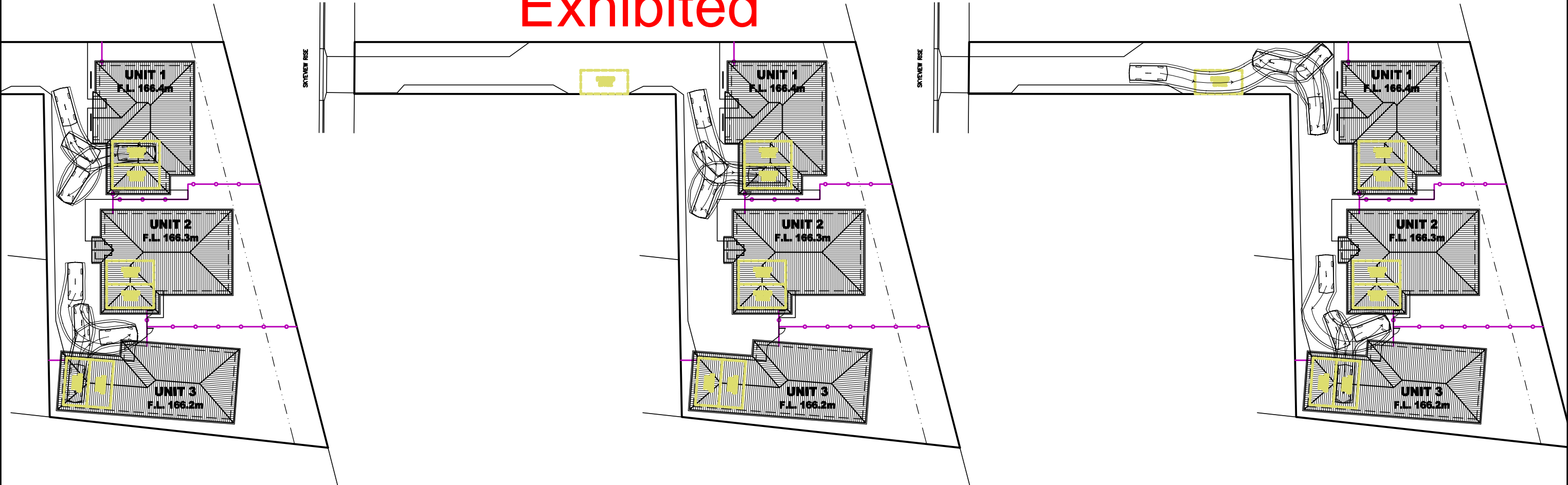
EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.

INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.

VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.



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REVISION 5	27 / 05 / 2026

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300

DRAWING: CAR TURNING PLAN

DESIGNED: B. v. Z. APPROVED:
 DRAWN: B. v. Z. DATE: 27 / 05 / 26

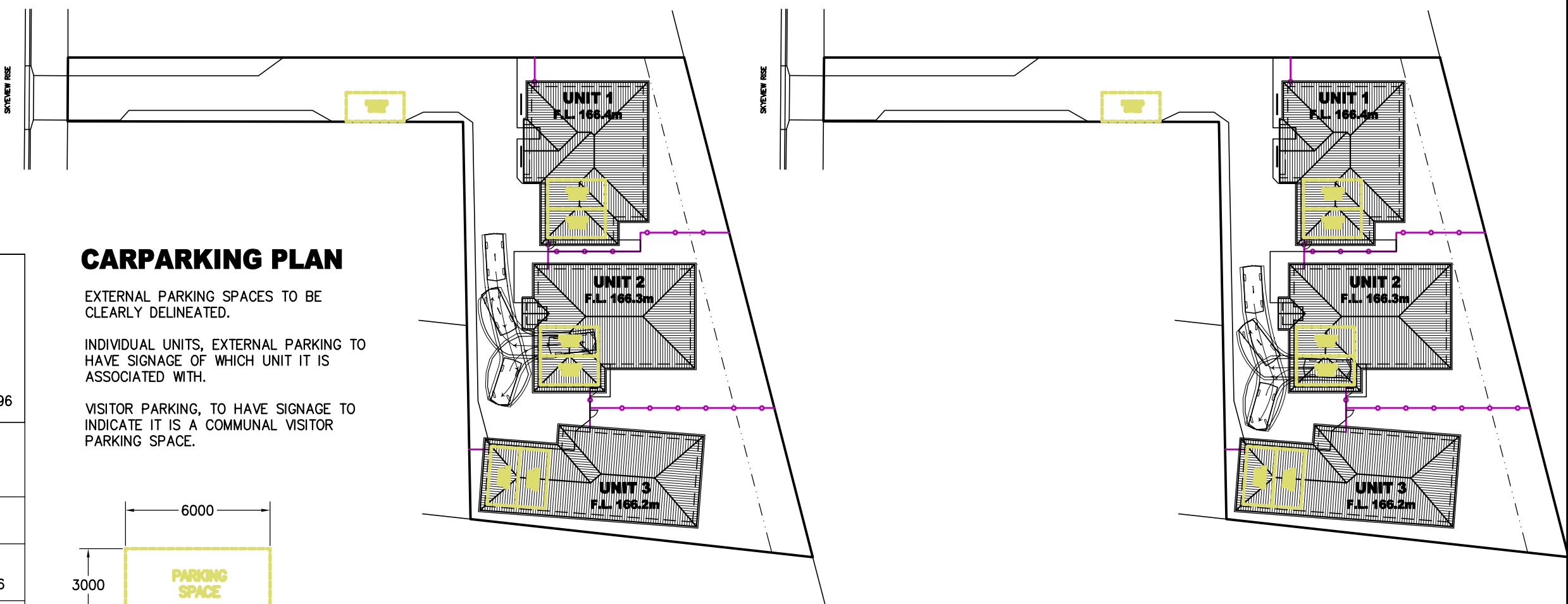
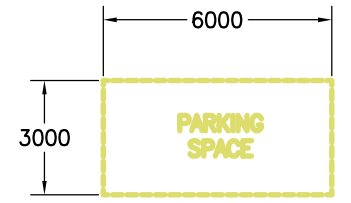
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 WHE0526 - 8/20

CARPARKING PLAN

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THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE

Exhibited

BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES

FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP

FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.

FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.

FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET

FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET

FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET

FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE. TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM. SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.

FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED. TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.

FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS

FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE. INSTALLED AS PER FACT SHEET

FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.

FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET

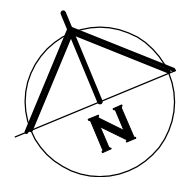
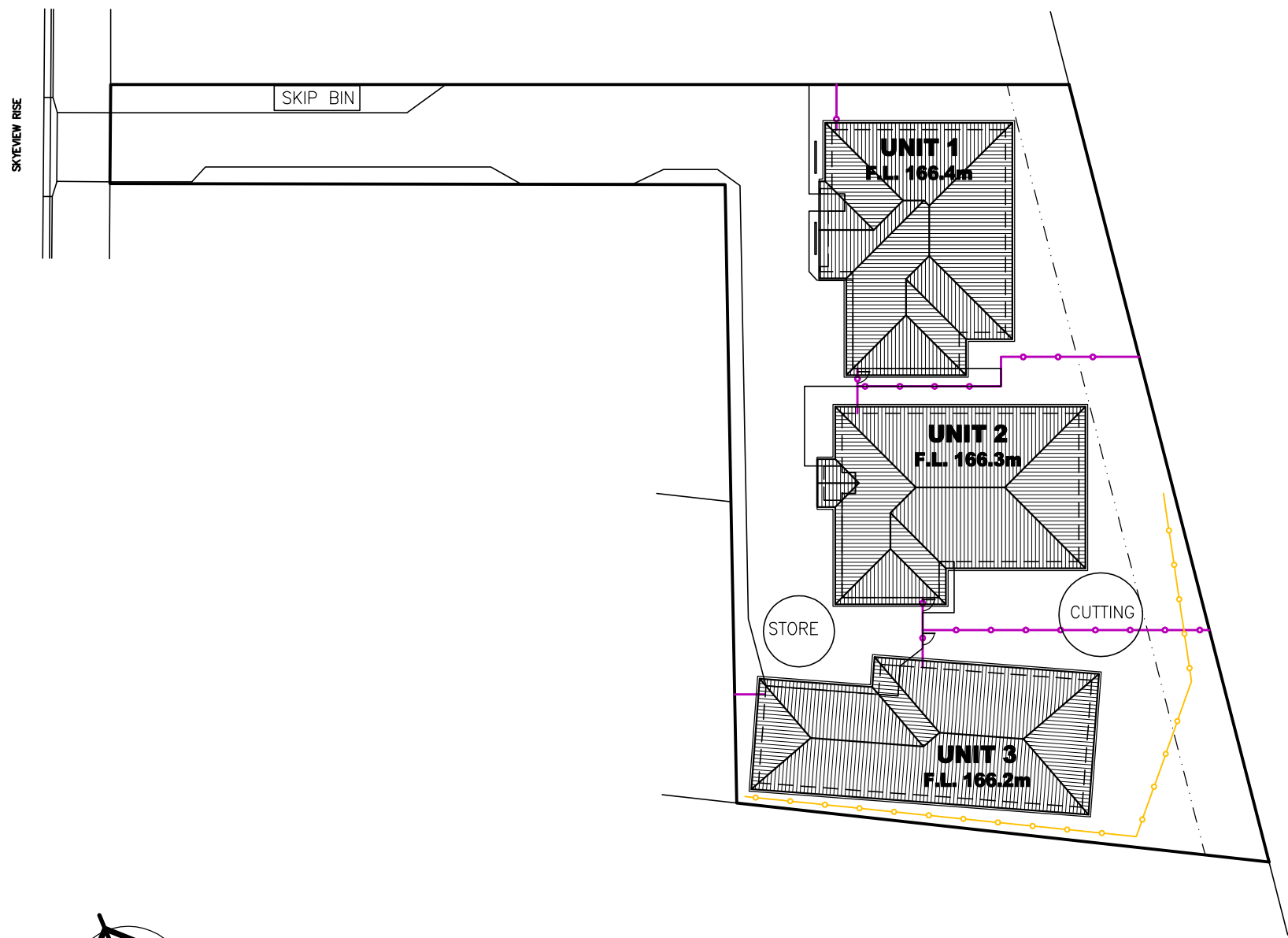
FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.

FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS

FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.

FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED

FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS



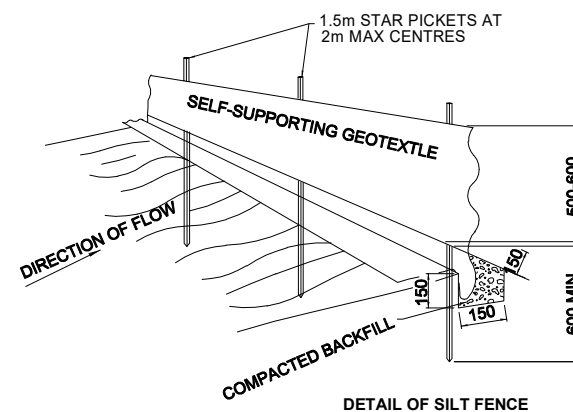
SOIL AND WATER MANAGEMENT PLAN

SILT FENCE AS PER DETAIL

SKIP BIN

STORE MATERIAL STORAGE

CUTTING CONCRETE, BRICK AND TILE CUTTING AREA



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300

DRAWING: SOIL AND WATER MANAGEMENT PLAN





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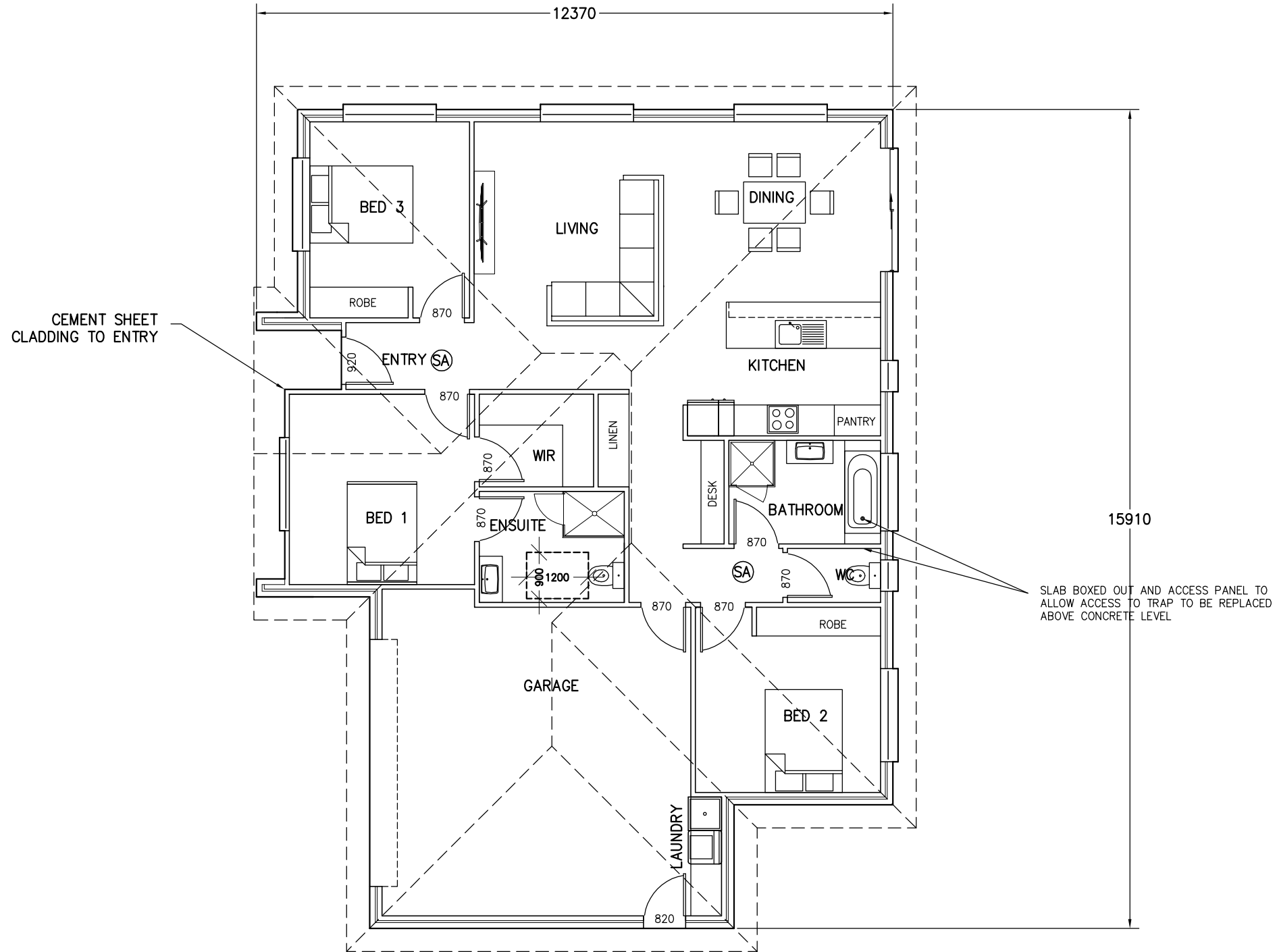
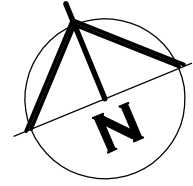
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DATE: 27 / 05 / 26

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Exhibited

-  BRICK VENEER WALL
-  90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



Ⓜ - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM

FLOOR PLAN UNIT 1

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN. WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	168.5	18.1
TOTAL AREA	168.5	18.1

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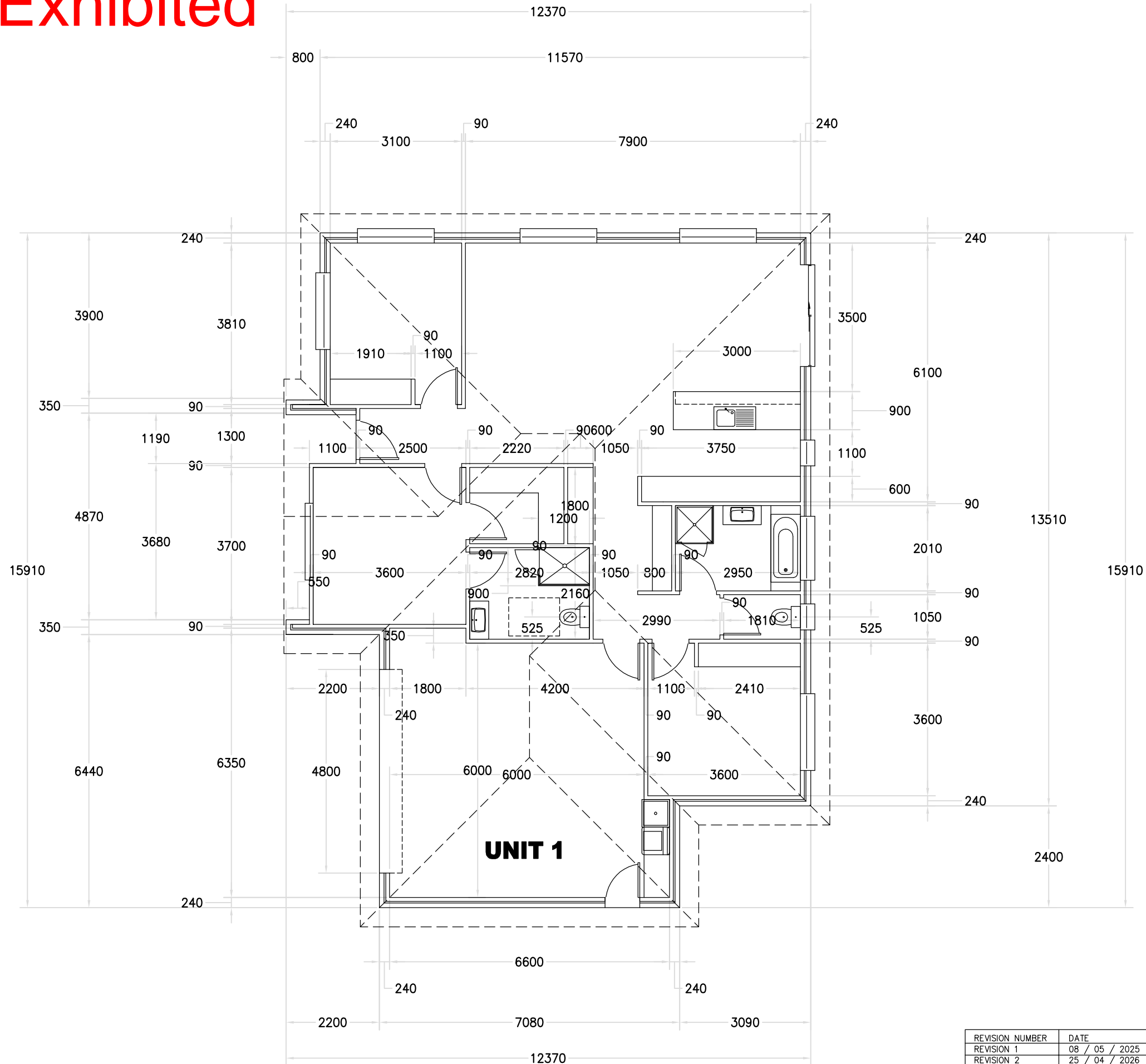
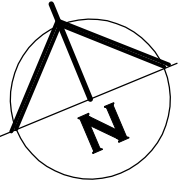
PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300

DRAWING: FLOOR PLAN UNIT 1


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FLOOR PLAN WITH DIMENSIONS UNIT 1



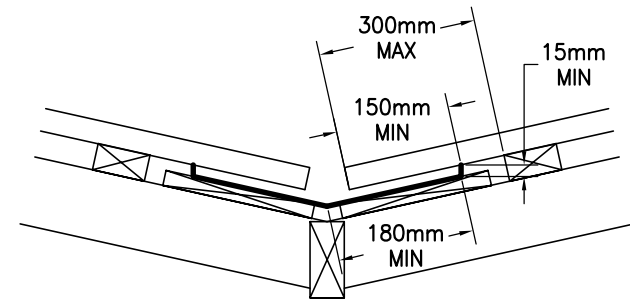
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PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300	
DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 1	
DESIGNED: B. v. Z.	APPROVED:
DRAWN: B. v. Z.	DATE: 27 / 05 / 26
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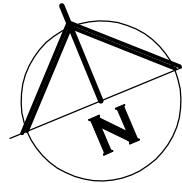
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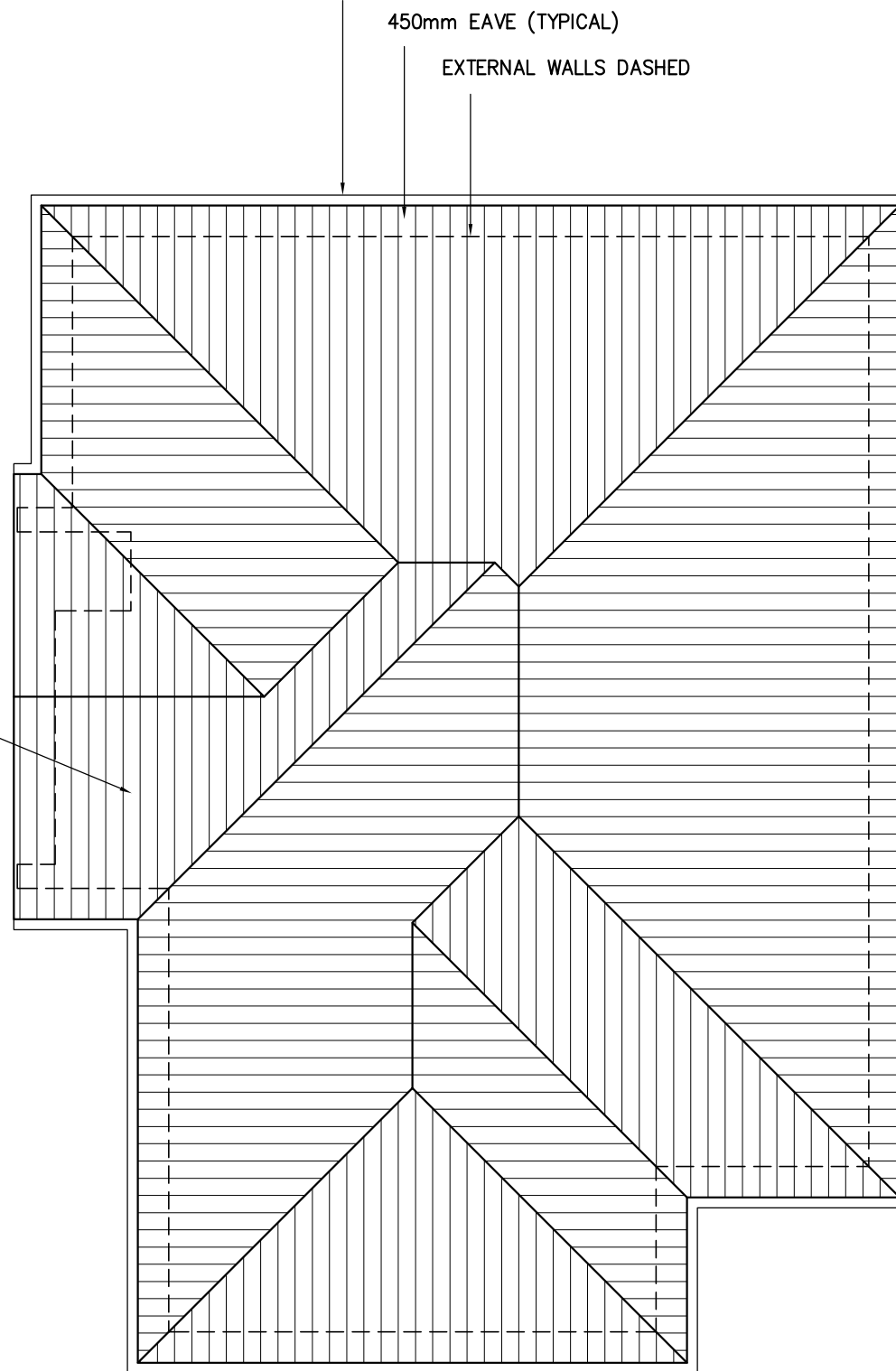
COLORBOND GUTTER AND FASCIA SYSTEM



VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4



COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5°. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4 GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH--
 - A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
 - (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH--
 - (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 - (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
 - (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA, THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.

ROOF OVER 15 DEGREES

NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR METER OF WALL

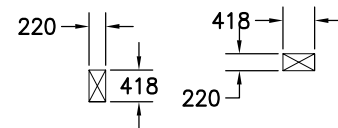
HIP/RIDGE VENTILATION

NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS

BRADFORD 418x220mm VENTS



ROOF PLAN UNIT 1

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR B AND K WHEELER
AT 11 SKYVIEW RISE
PERTH 7300

DRAWING: ROOF PLAN UNIT 1

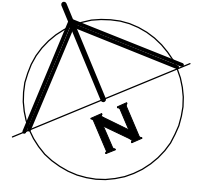
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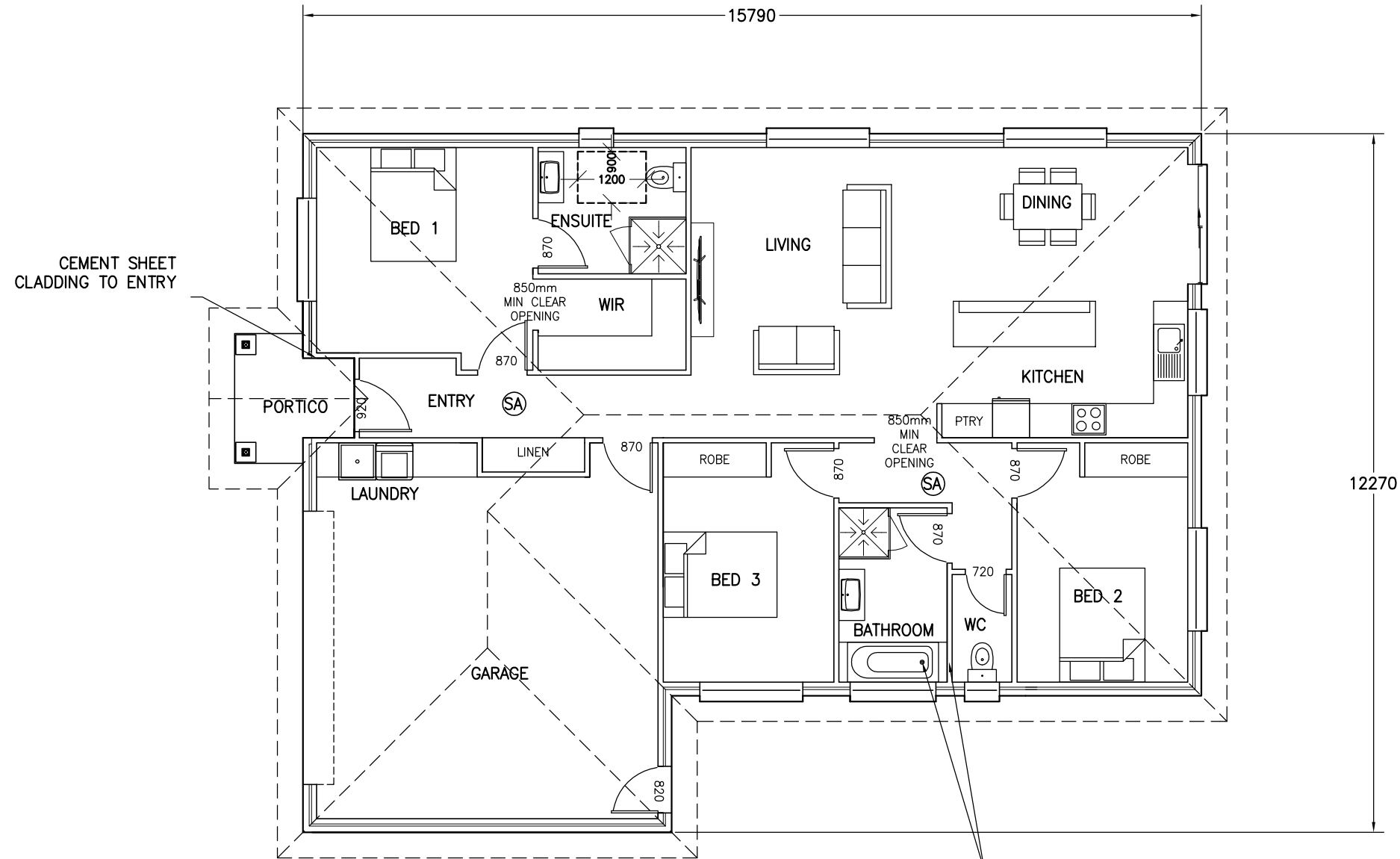
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Exhibited



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-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



SLAB BOXED OUT AND ACCESS PANEL TO ALLOW ACCESS TO TRAP TO BE REPLACED ABOVE CONCRETE LEVEL

(SA) – 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM

FLOOR PLAN UNIT 2

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.


BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN. WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	170.2	18.3
PORTICO AREA	4.0	0.4
TOTAL AREA	174.2	18.8

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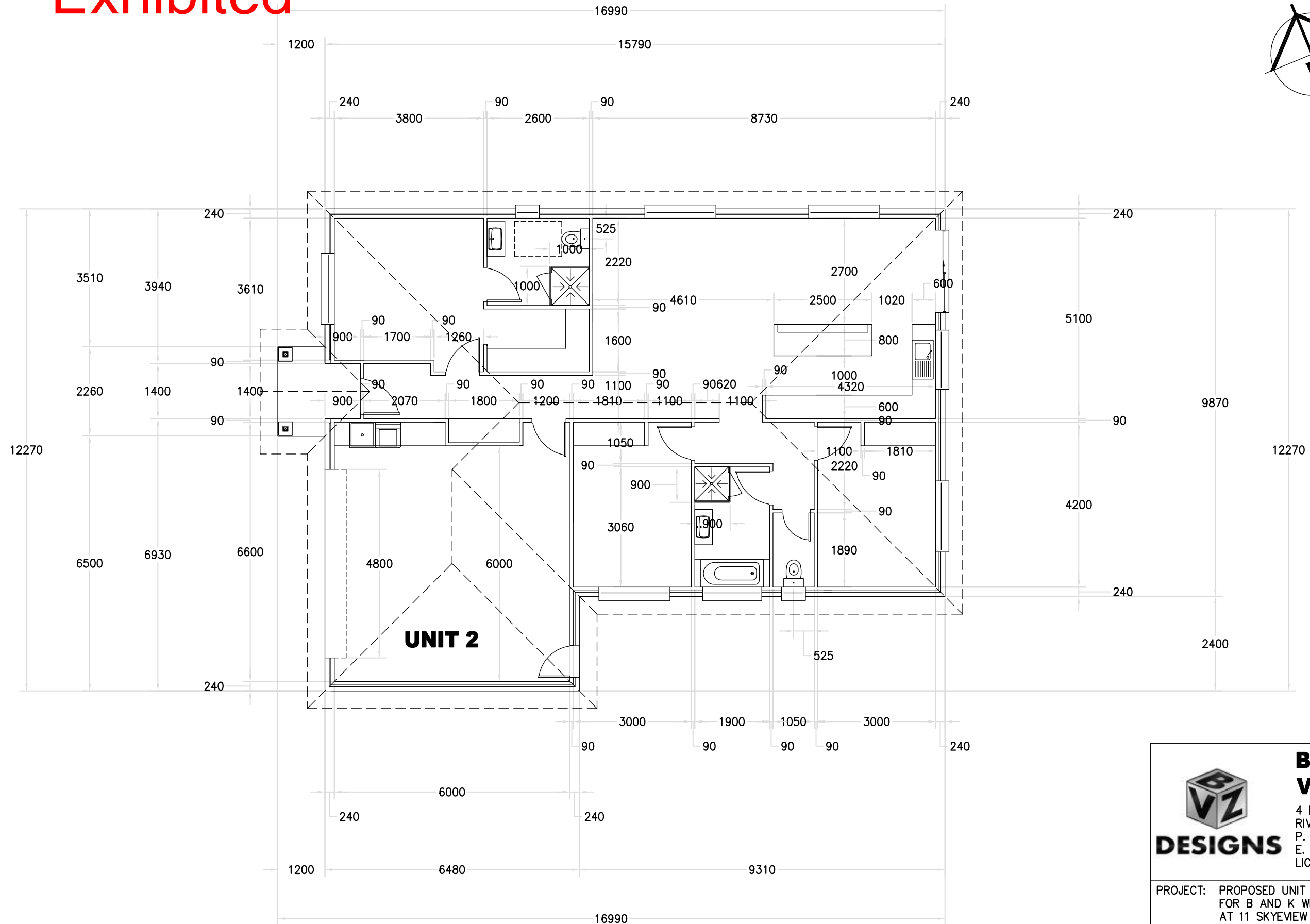
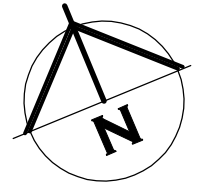
PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYVIEW RISE PERTH 7300

DRAWING: FLOOR PLAN UNIT 2

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FLOOR PLAN WITH DIMENSIONS UNIT 2

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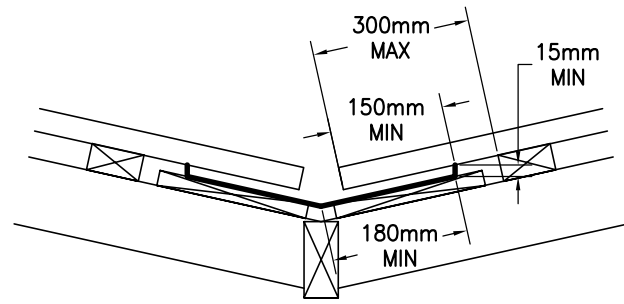
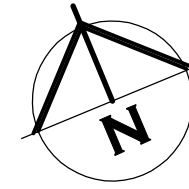
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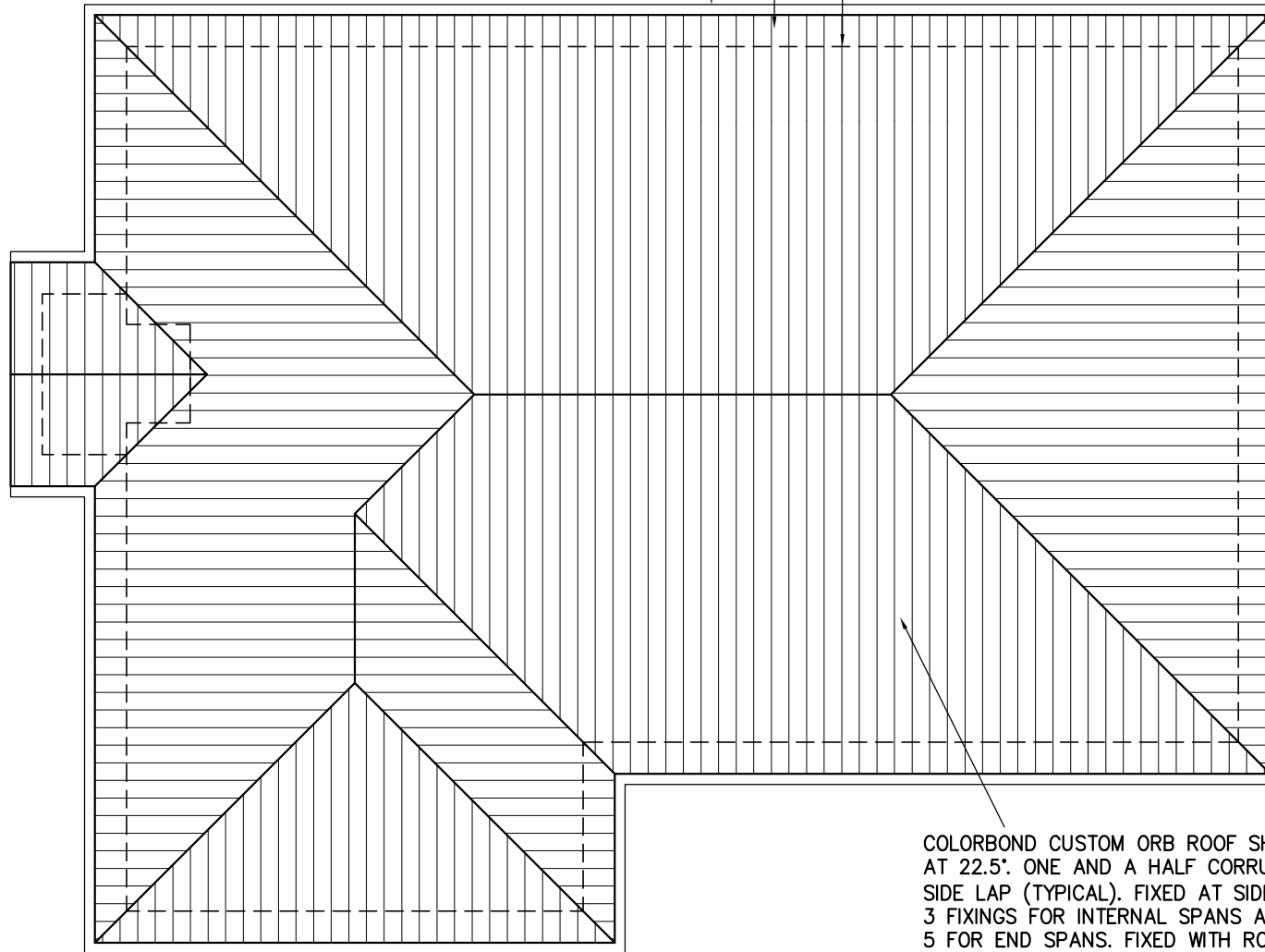


VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4

COLORBOND GUTTER AND FASCIA SYSTEM

450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED



COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5°. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD

ROOF OVER 15 DEGREES

NON BAL ZONE - BRADFORD 418x220mm POLY VENT WITH 0.0237sq/m OPENING PER VENT- THEREFORE ONE VENT INSTALLED PER 3.2m LINEAR METER OF WALL

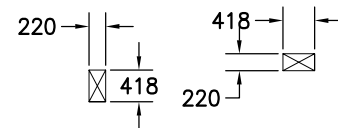
HIP/RIDGE VENTILATION

NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS

BRADFORD 418x220mm VENTS



ROOF PLAN UNIT 2

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
 - (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH--
 - (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 - (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
 - (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.



**BRADLEY
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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR B AND K WHEELER
AT 11 SKYVIEW RISE
PERTH 7300





DRAWING: ROOF PLAN UNIT 2

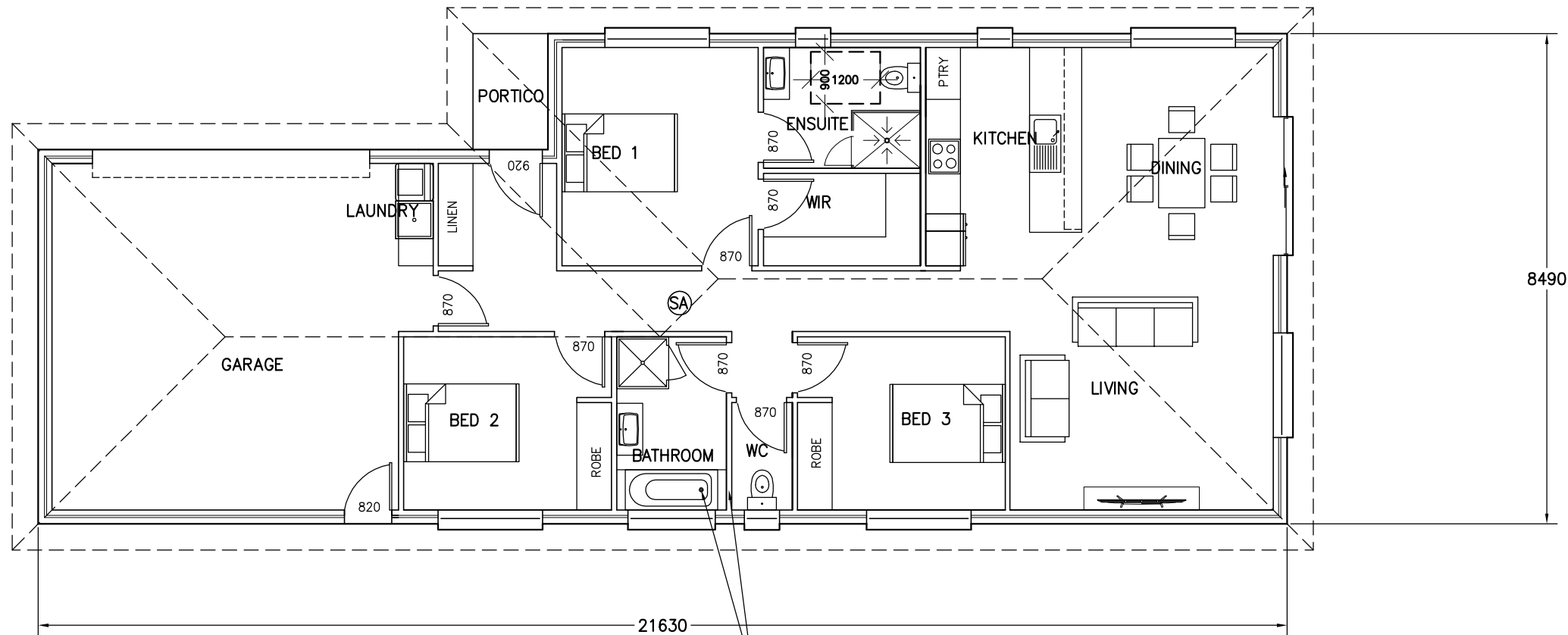
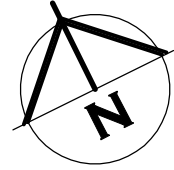
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REVISION 4	05 / 05 / 2026
REVISION 5	27 / 05 / 2026

Exhibited

-  BRICK VENEER WALL
-  90mm TIMBER FRAMED WALL WITH CEMENT SHEET CLADDING
-  90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



SLAB BOXED OUT AND ACCESS PANEL TO ALLOW ACCESS TO TRAP TO BE REPLACED ABOVE CONCRETE LEVEL

SA - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM

FLOOR PLAN UNIT 3

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.


BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN. WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE

	SQUARE METER	BUILDING SQUARES
FLOOR AREA	165.9	17.9
PORTICO AREA	2.6	0.3
TOTAL AREA	168.5	18.1

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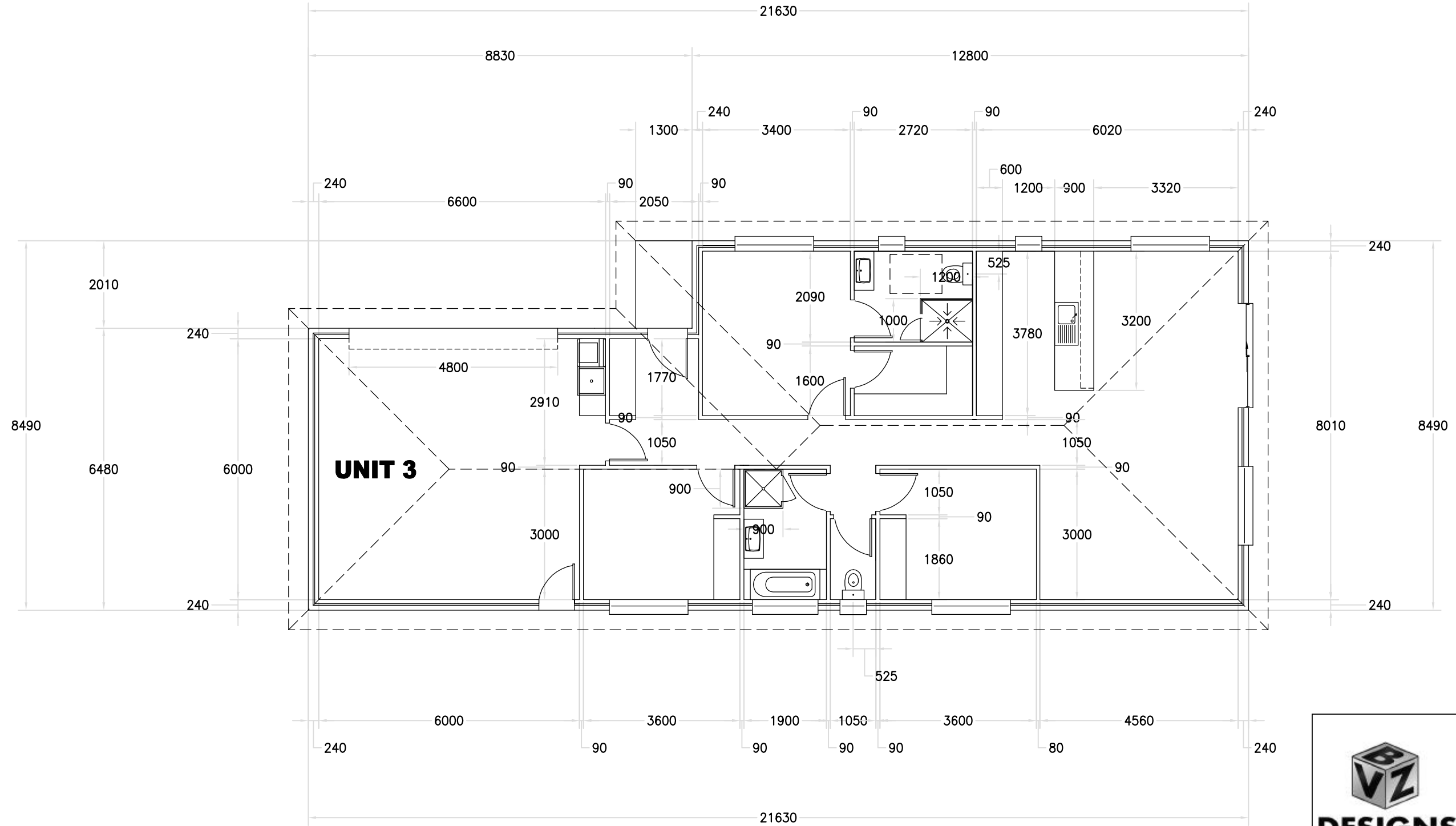
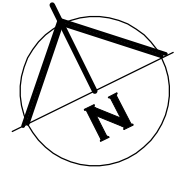
PROJECT: PROPOSED UNIT DEVELOPMENT FOR B AND K WHEELER AT 11 SKYEVIEW RISE PERTH 7300

DRAWING: FLOOR PLAN UNIT 3


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FLOOR PLAN WITH DIMENSIONS UNIT 3



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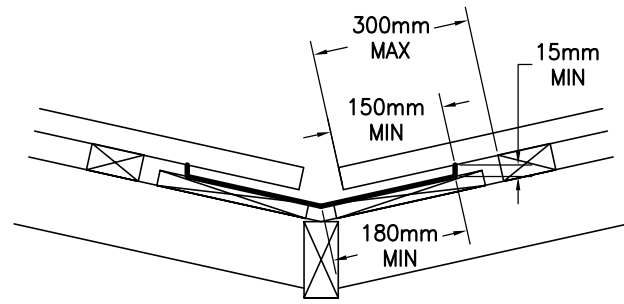
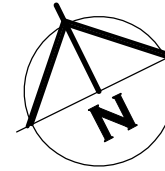
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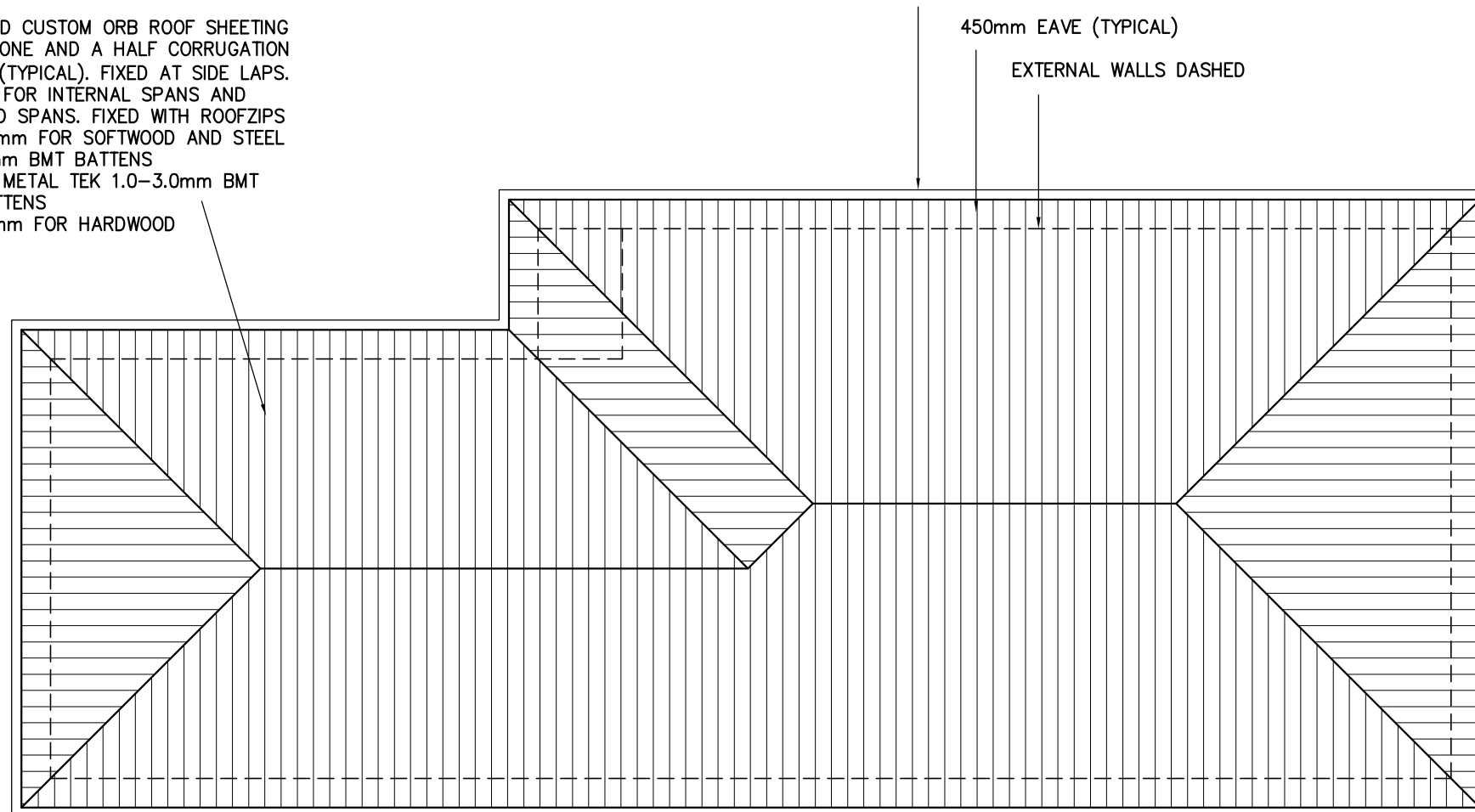
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VALLEY GUTTER IS OVER 12.5 DEGREES
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12-14x35 METAL TEK 1.0-3.0mm BMT
STEEL BATTENS
12-11x50mm FOR HARDWOOD

COLORBOND GUTTER AND FASCIA SYSTEM



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

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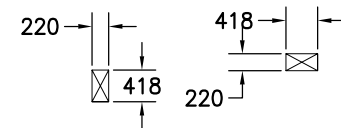
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75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

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AT 11 SKYEVIEW RISE
PERTH 7300

DRAWING: ROOF PLAN UNIT 3

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UNIT 1

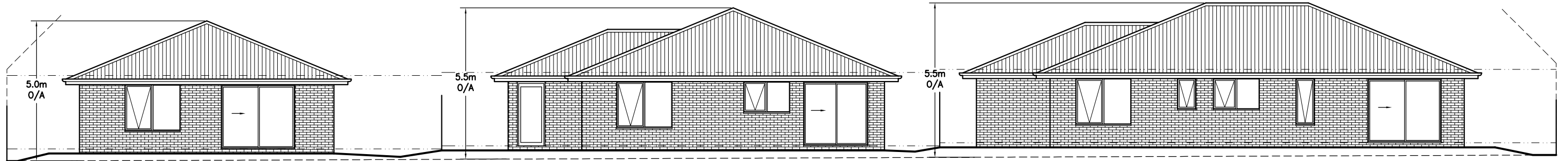
UNIT 2

UNIT 3

- BRICK VENEER CLADDING
- JAMES HARDIES CEMENT SHEET CLADDING (AXON)
INSTALLED AS PER JAMES HARDIES INSTALLATION MANUAL WITH CAVITY FIXING
- COLORBOND CUSTOM ORB SHEET ROOFING

WEST ELEVATION

UNIT 3 SHOWN PARALLEL TO ELEVATION TO MATCH UNIT 1/2 FOR CLARITY.



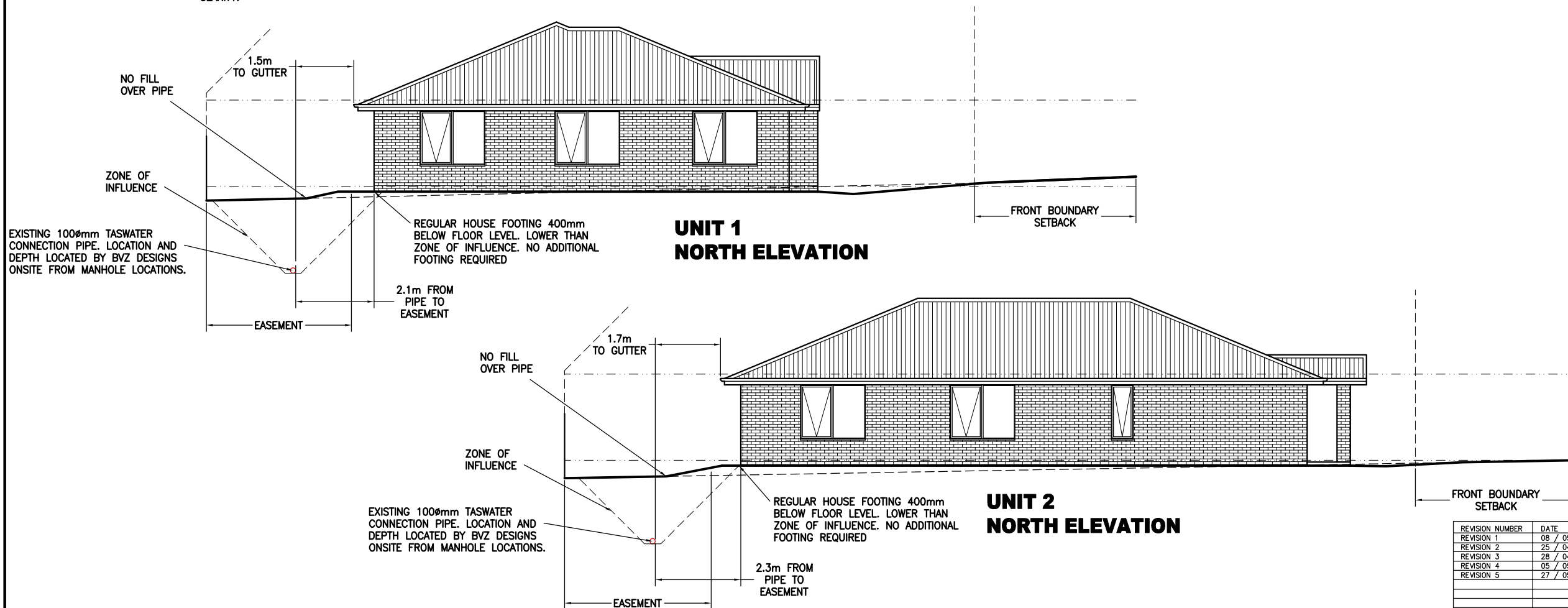
UNIT 3

UNIT 2

UNIT 1

UNIT 3 SHOWN PARALLEL TO ELEVATION TO MATCH UNIT 1/2 FOR CLARITY.


EAST ELEVATION



**UNIT 1
NORTH ELEVATION**

**UNIT 2
NORTH ELEVATION**

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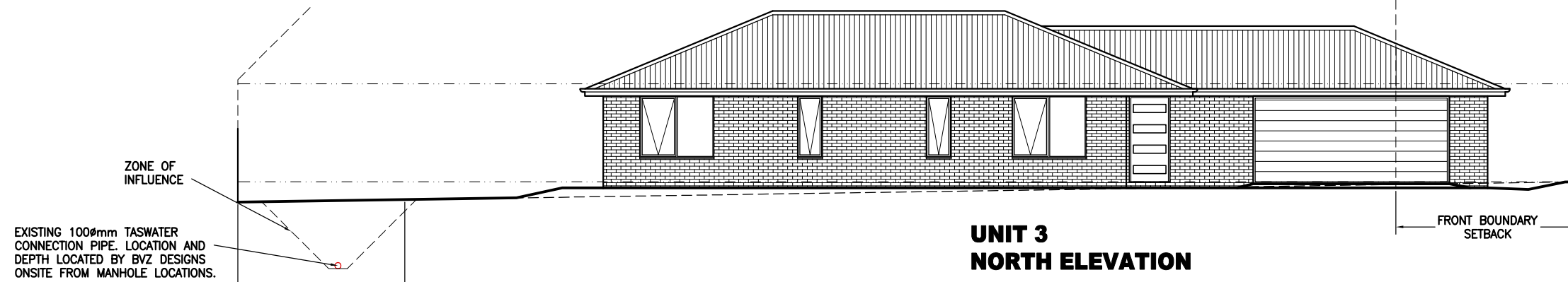
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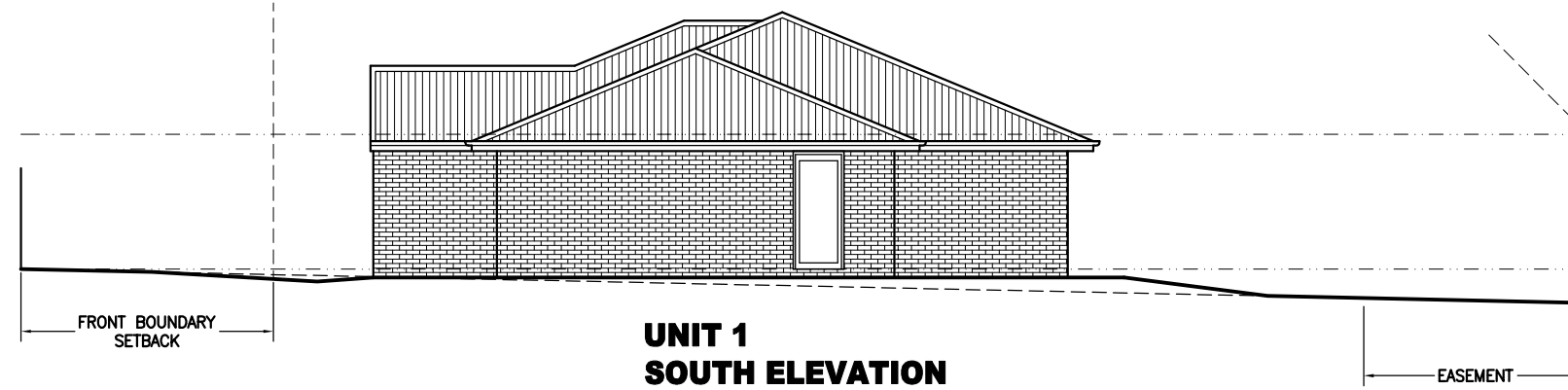
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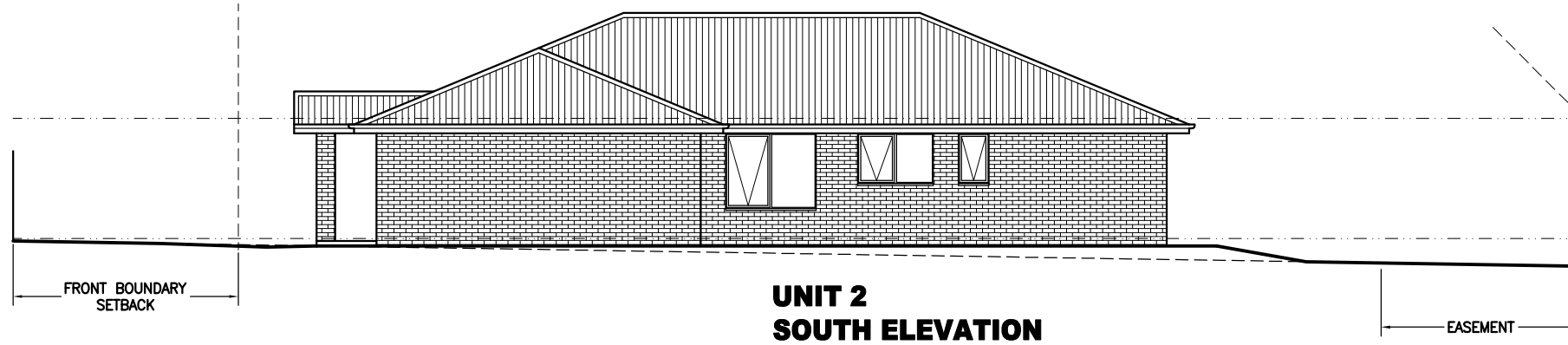
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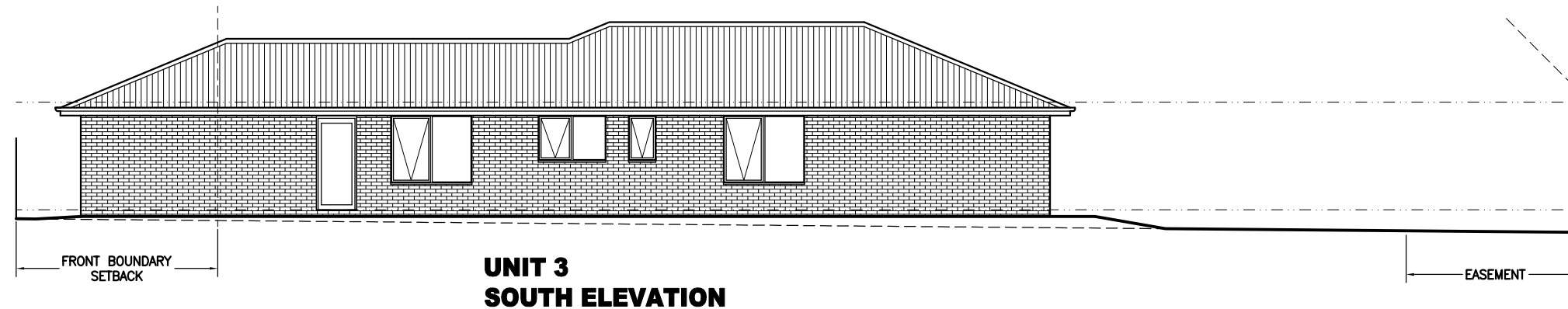
**UNIT 3
NORTH ELEVATION**



**UNIT 1
SOUTH ELEVATION**




**UNIT 2
SOUTH ELEVATION**



**UNIT 3
SOUTH ELEVATION**

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