

This planning application is open for  
public comment until  
04 May 2026

Reference no	<b>PLN-26-0057</b>
Site	<b>879 BRYANTS LANE DEDDINGTON</b>
Proposed Development	<b>Outbuildings x3 (Sheds and carport, 1x retrospective)</b>
Zone	<b>11.0 Rural Living</b>
Use class	<b>Residential</b>

Written representations may be made during this time to the General Manager;  
mailed to PO Box 156, Longford, Tasmania 7301,  
delivered to Council offices or  
a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

(no special form required)

# Exhibited



NORTHERN  
MIDLANDS  
COUNCIL

## PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

### The Proposal

Description of proposal:

APPROVAL FOR EXISTING SHED/GARAGE  
NEW 20X10 SHED + 6X7 CARPORT

Driveway construction material:

GRAVEL

### The Land

Site address:

879 BRYANTS LANE DIDDLEMTON 724  
PID 7797438.

Title reference:

CIT: 54303/3.

Existing buildings on site:

HOUSE + ASSOCIATED INFRASTRUCTURE

Existing use of site:

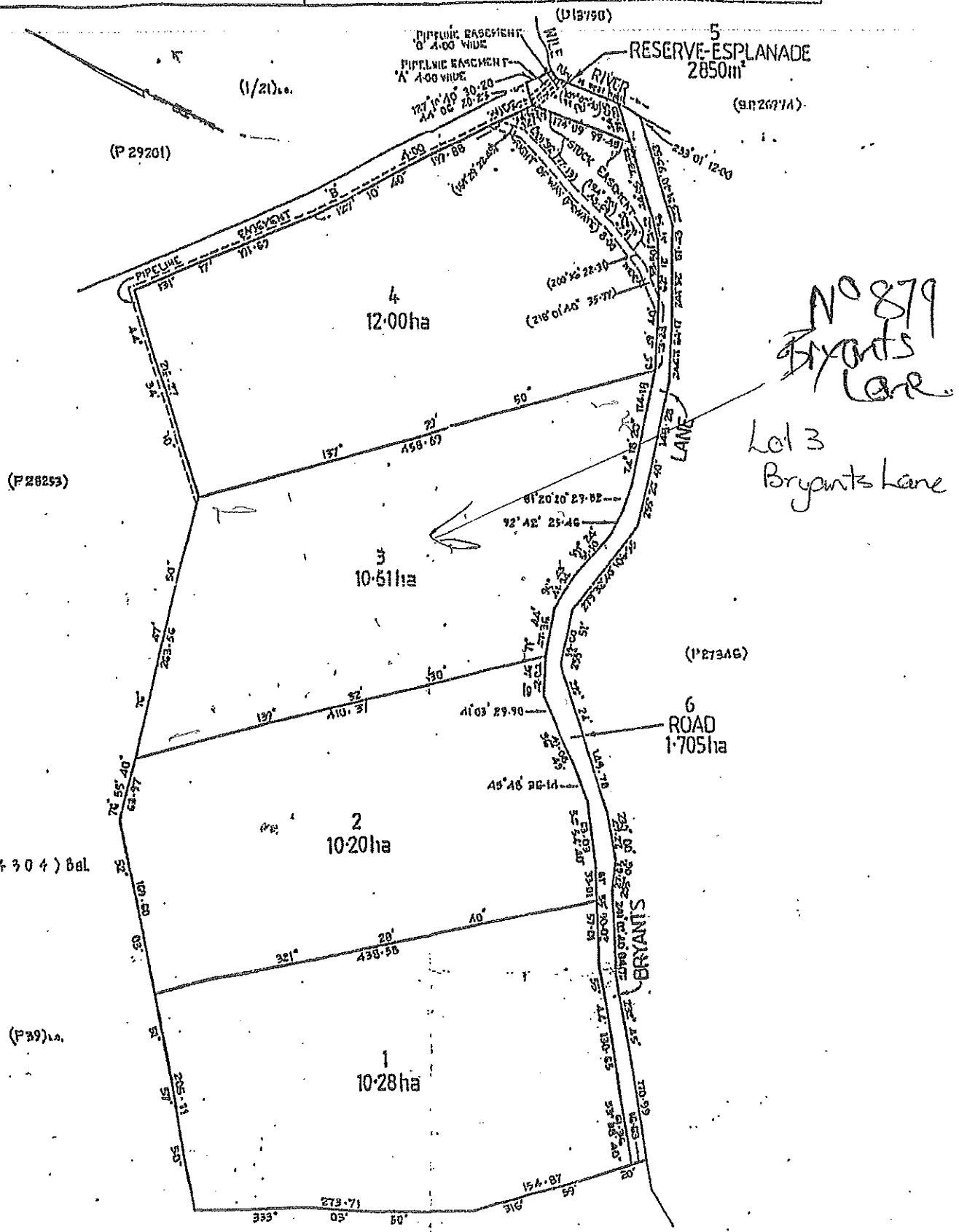
DWELLING

Applicant justification of any variation/discretion to the  
Tasmanian Planning Scheme – Northern Midlands

**PLAN OF SURVEY**  
 By Surveyor **F. N. Audebert**  
 of **PEACOCK DARTMOUTH SURVEYORS**  
 65 TAMAR STREET LAUNCESTON  
 of land situated in the  
**LAND DISTRICT OF CORNWALL**  
**PARISH OF ASHFORD**  
 SCALE 1:3,000 MEASUREMENTS IN METRES

REGISTERED NUMBER  
**SP 54303**  
 Approved **1 MAY 1997**  
 Effective from  
 Registrar of Titles

Reference: C.T. 4246-78  
 Grants: Part of 1560Ac. Loc. to John Tweed Pike.



NO 879  
 Bryants Lane  
 Lot 3  
 Bryants Lane

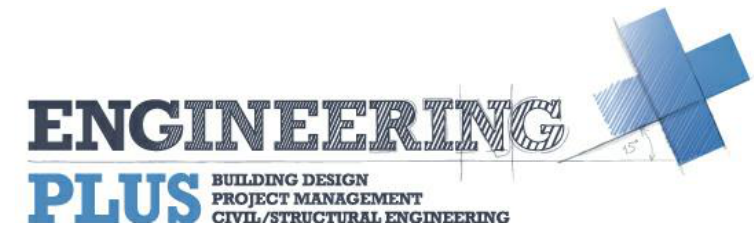
TASMAN MUNICIPAL DOC NO. 41	LAST TASMAN LPI NO. 1216	LAST SURVEY PLAN NO. P. 18193
ALL EXISTING SURVEY MONUMENTS TO BE MARKED ACCORDING TO THIS PLAN		

THIS PLAN DOES NOT FORM PART OF  
 THE CERTIFICATE OF TITLE BUT IS

# Exhibited

## DRAWING SCHEDULE

A000	COVER PAGE
A102	LOCALITY PLAN
A103	SITE PLAN
A200	FLOOR PLAN
A301	ELEVATION #1
A302	ELEVATION #2
A303	ELEVATION #3



## PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	8.0 GENERAL RESIDENTIAL
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	54303/3
DESIGN WIND SPEED:	ASSUMED 'N2'
SOIL CLASSIFICATION:	ASSUMED 'H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	12.5
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	LOW
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

REVISION SCHEDULE			
REVISION NO	DESCRIPTION	DATE	ISSUED BY
SK1	ISSUED FOR REVIEW	27.02.26	C.L.
SK2	RELOCATION	12.03.26	C.L.
SK3	TOILET ADDITION	13.03.26	C.L.
SK4	EXISTING TANK	17.03.26	C.L.
A	APPROVAL	25.03.26	C.L.
B	AMENDMENT	14.04.26	C.L.
Area Schedule (Gross Building)			
Name	Area	Area (sq)	
AS CONSTRUCTED SHED	63.00 m <sup>2</sup>	6.78	
EXISTING DWELLING	162.67 m <sup>2</sup>	17.51	
PROPOSED CARPORT	42.00 m <sup>2</sup>	4.52	
PROPOSED SHED	200.00 m <sup>2</sup>	21.53	
	467.67 m <sup>2</sup>	50.34	

## ISSUED FOR DEVELOPMENT APPROVAL AS CONSTRUCTED SHED, PROPOSED CARPORT & SHED

PROJECT NO: EP2026-011

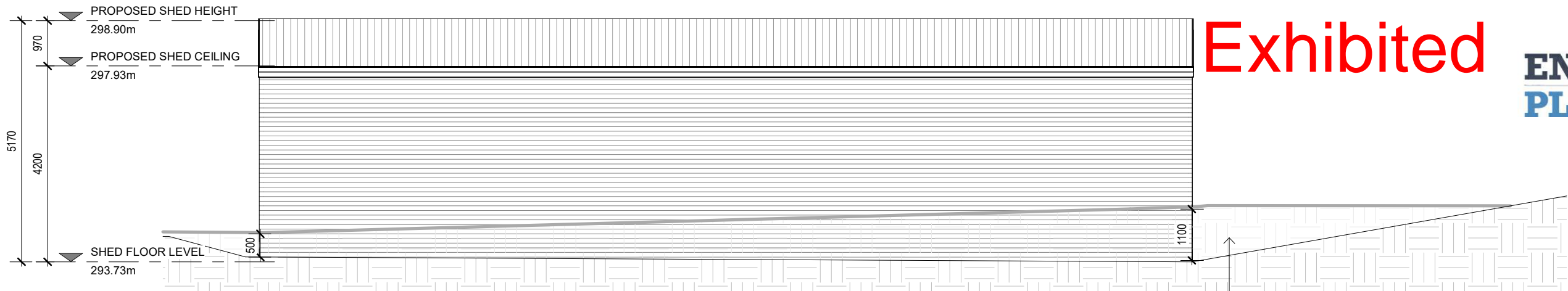
R. & R. BAKER  
879 BRYANTS LANE  
DEDDINGTON TAS 7212

NORTHERN MIDLANDS COUNCIL

Received

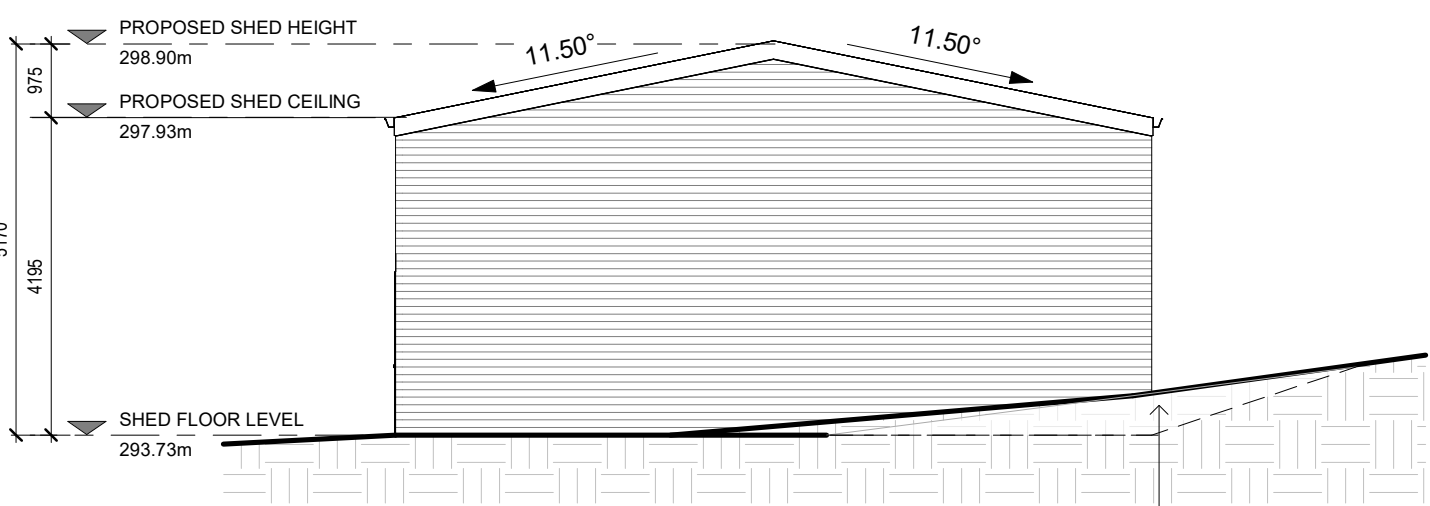
13/04/2026

# Exhibited



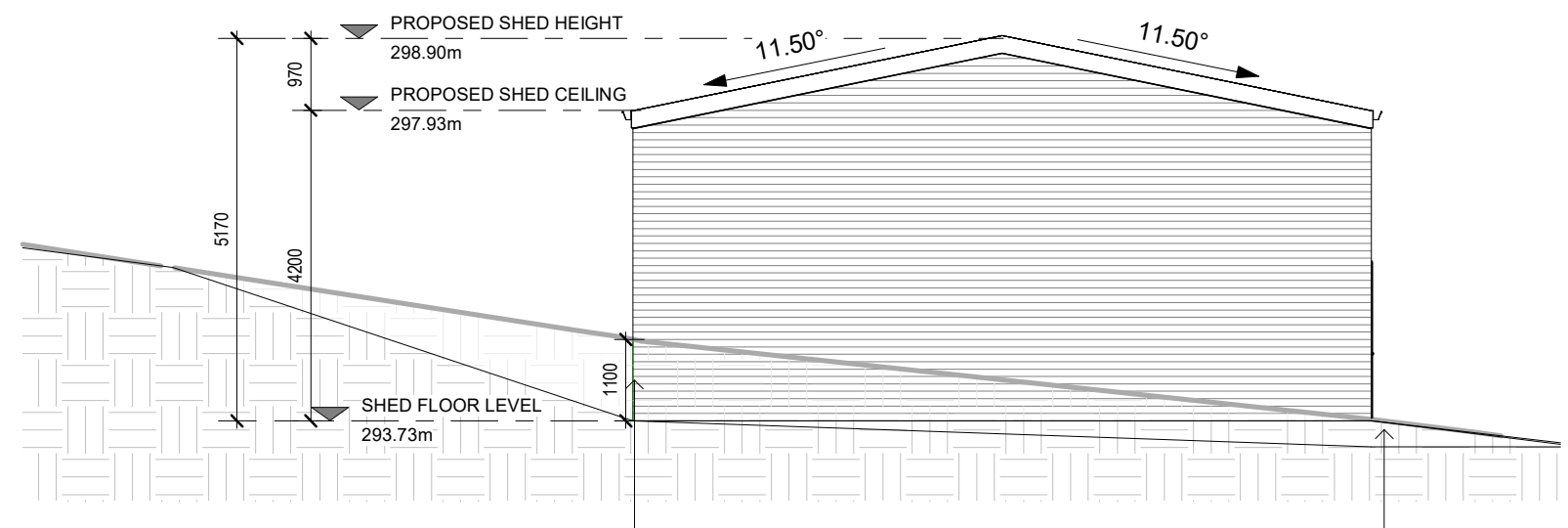
**PROPOSED SHED - NORTH ELEVATION**  
 SCALE 1 : 100

PROPOSED CUT AND BATTER BACK TO NATURAL GROUND LEVEL AT MAX GRADIENT 1:3. BATTER BACK TO BE DETERMINED ON SITE.



**PROPOSED ELEVATION - EAST ELEVATION**  
 SCALE 1 : 100

PROPOSED CUT AND BATTER BACK TO NATURAL GROUND LEVEL AT MAX GRADIENT 1:3. BATTER BACK TO BE DETERMINED ON SITE.



**PROPOSED SHED - WEST ELEVATION**  
 SCALE 1 : 100

PROPOSED CUT AND BATTER BACK TO NATURAL GROUND LEVEL AT MAX GRADIENT 1:3. BATTER BACK TO BE DETERMINED ON SITE.

PROPOSED FILL APPROX. 400mm AND BATTER BACK TO NATURAL GROUND LEVEL. BATTER BACK TO BE DETERMINED ON SITE.



**PROPOSED SHED - SOUTH ELEVATION**  
 SCALE 1 : 100

PROPOSED FILL APPROX. 400mm AND BATTER BACK TO NATURAL GROUND LEVEL. BATTER BACK TO BE DETERMINED ON SITE.

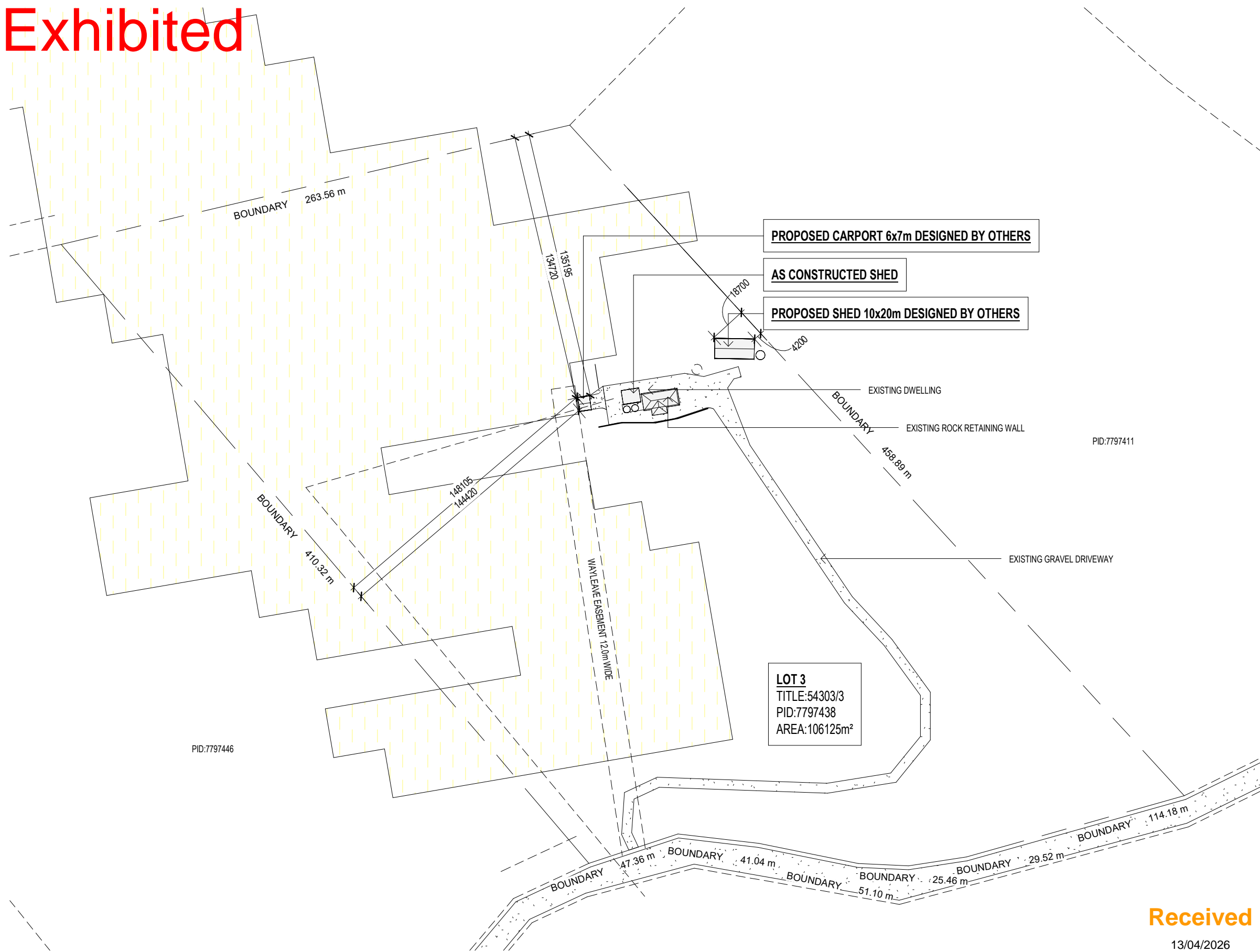
**Received**  
 13/04/2026

Accredited Building Designer	
Designer Name	: G. Pfeiffer
Accreditation No	: CC2211T
Revision Number	: B
Revision Description	: AMENDMENT
Revision Date	: 14.04.26
Revision Issued By	: C.L.

Date Drawn:	27.02.26
Drawn:	Designer
Checked:	Checker
Approved:	J. Pfeiffer
Scale:	As Shown @ A3

Client:	R. & R. BAKER
Project:	AS CONSTRUCTED SHED, PROPOSED CARPORT & SHED
Address:	879 BRYANTS LANE DEDDINGTON TAS 7212

# Exhibited



PID:7797411

PID:7797446

**LOT 3**  
 TITLE:54303/3  
 PID:7797438  
 AREA:106125m<sup>2</sup>

**NOTE:**  
 THE ENTIRETY OF THE PROPERTY LOT SITS WITHIN BUSHFIRE MANAGEMENT ZONE AND PRIORITY VEGETATION AREA.

LEGEND	
	SEWER
	EXISTING SEWER
	WATER
	EXISTING WATER
	STORMWATER
	EXISTING STORMWATER
	LOW LANDSLIP ZONE
	MEDIUM LANDSLIP ZONE
	HIGH LANDSLIP ZONE
	WATERWAY AND COASTAL PROTECTION ZONE
	BUSHFIRE MANAGEMENT ZONE
	FILLED AND BATTER BACK REGION
	CUT AND BATTER BACK REGION

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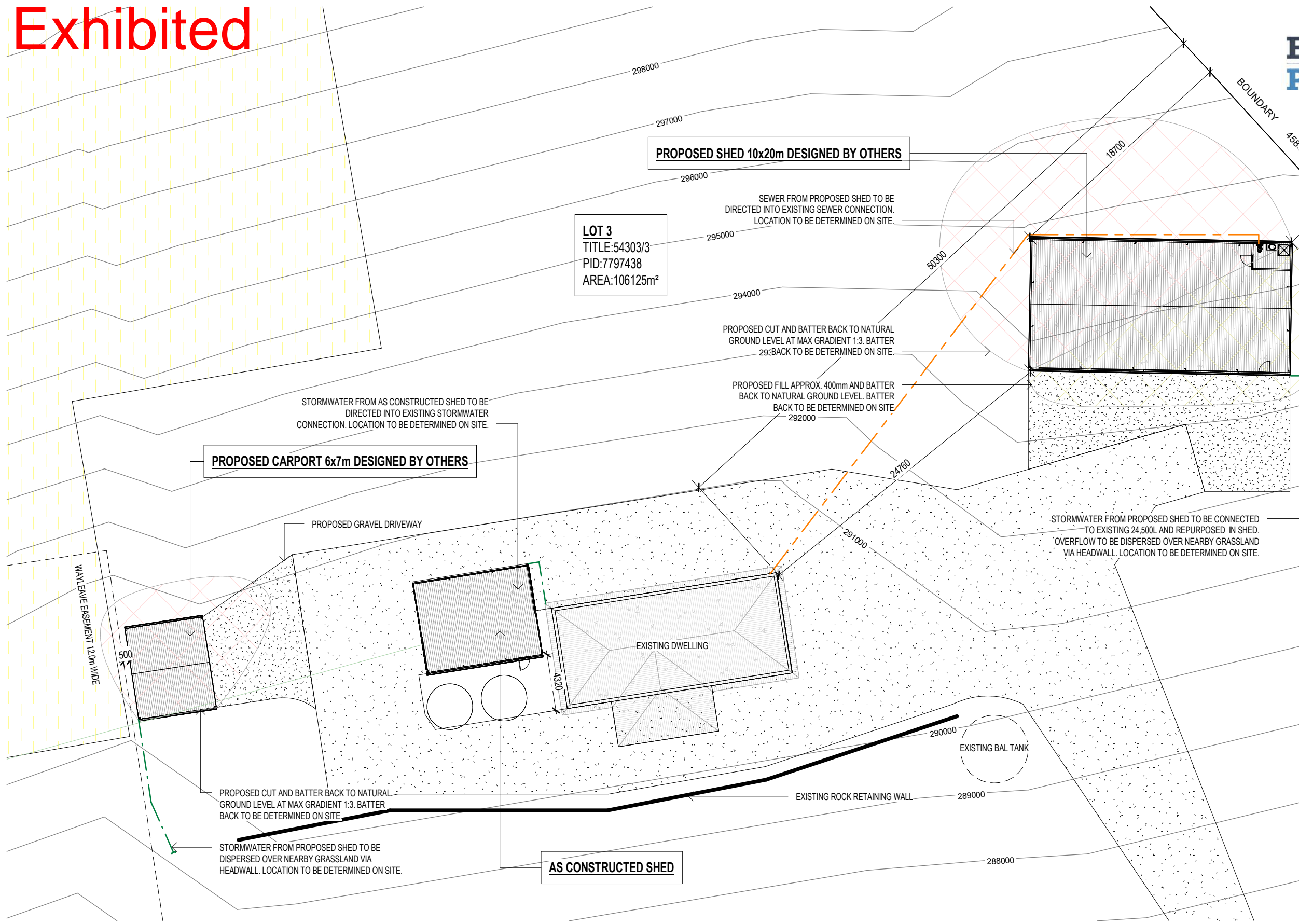
info@engineeringplus.com.au  
 Ph 03 6337 7021  
**ENGINEERING PLUS**  
BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING

**NOTE:**  
 ALL WORKS ARE TO COMPLY WITH BUT NOT LIMITED TO THE LATEST NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, A RELEVANT REPORT WILL BE PRESENTED. MEASUREMENTS INDICATED ON DRAWINGS ARE CLEAR DIMENSIONS TO STRUCTURAL FRAMELINE AND DO NOT INCLUDE PLASTERBOARD LININGS OR INTERNAL FINISHES. UNLESS OTHERWISE STATED, ALL PROPOSED INTERNAL WALLS ARE SHOWN AS STRUCTURAL STUDS ONLY.  
 BUILDER IS TO VERIFY ALL INTERNAL WIDTHS AND CLEARANCES PRIOR TO CONSTRUCTION TO ENSURE STRICT COMPLIANCE WITH CURRENT NCC STANDARDS. SPECIAL ATTENTION MUST BE GIVEN TO MINIMUM CLEAR WIDTHS FOR ACCESSIBLE CORRIDORS, DOORWAYS, AND SANITARY COMPARTMENT REQUIREMENTS. BUILDERS MUST VERIFY ALL MEASUREMENTS, SERVICES, MATERIALS, AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS OR DISCREPANCIES FOUND. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS. DO NOT PROCEED WHERE DISCREPANCIES EXIST BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS. ENGINEERING PLUS DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION RESULTING FROM A FAILURE TO VERIFY SITE CONDITIONS OR ADHERE TO THE NCC STANDARDS MENTIONED ABOVE.

**LOCALITY PLAN**  
 SCALE 1 : 2000

Accredited Building Designer <b>Designer Name</b> : G. Pfeiffer <b>Accreditation No</b> : CC2211T <b>Revision Number</b> : B <b>Revision Description</b> : AMENDMENT <b>Revision Date</b> : 14.04.26 <b>Revision Issued By</b> : C.L.	<b>Date Drawn:</b> 27.02.26 <b>Drawn:</b> C. LIM <b>Checked:</b> C. LIM <b>Approved:</b> J. Pfeiffer <b>Scale:</b> As Shown @ A3	<b>Client:</b> R. & R. BAKER <b>Project:</b> AS CONSTRUCTED SHED, PROPOSED CARPORT & SHED <b>Address:</b> 879 BRYANTS LANE DEDDINGTON TAS 7212
<b>DEVELOPMENT APPROVAL</b>		<b>EP2026-011</b>
		<b>A102</b>

# Exhibited



LEGEND	
	SEWER
	EXISTING SEWER
	WATER
	EXISTING WATER
	STORMWATER
	EXISTING STORMWATER
	LOW LANDSLIP ZONE
	MEDIUM LANDSLIP ZONE
	HIGH LANDSLIP ZONE
	WATERWAY AND COASTAL PROTECTION ZONE
	BUSHFIRE MANAGEMENT ZONE
	FILLED AND BATTER BACK REGION
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**SITE PLAN**  
 SCALE 1 : 300

**Received**  
 13/04/2026

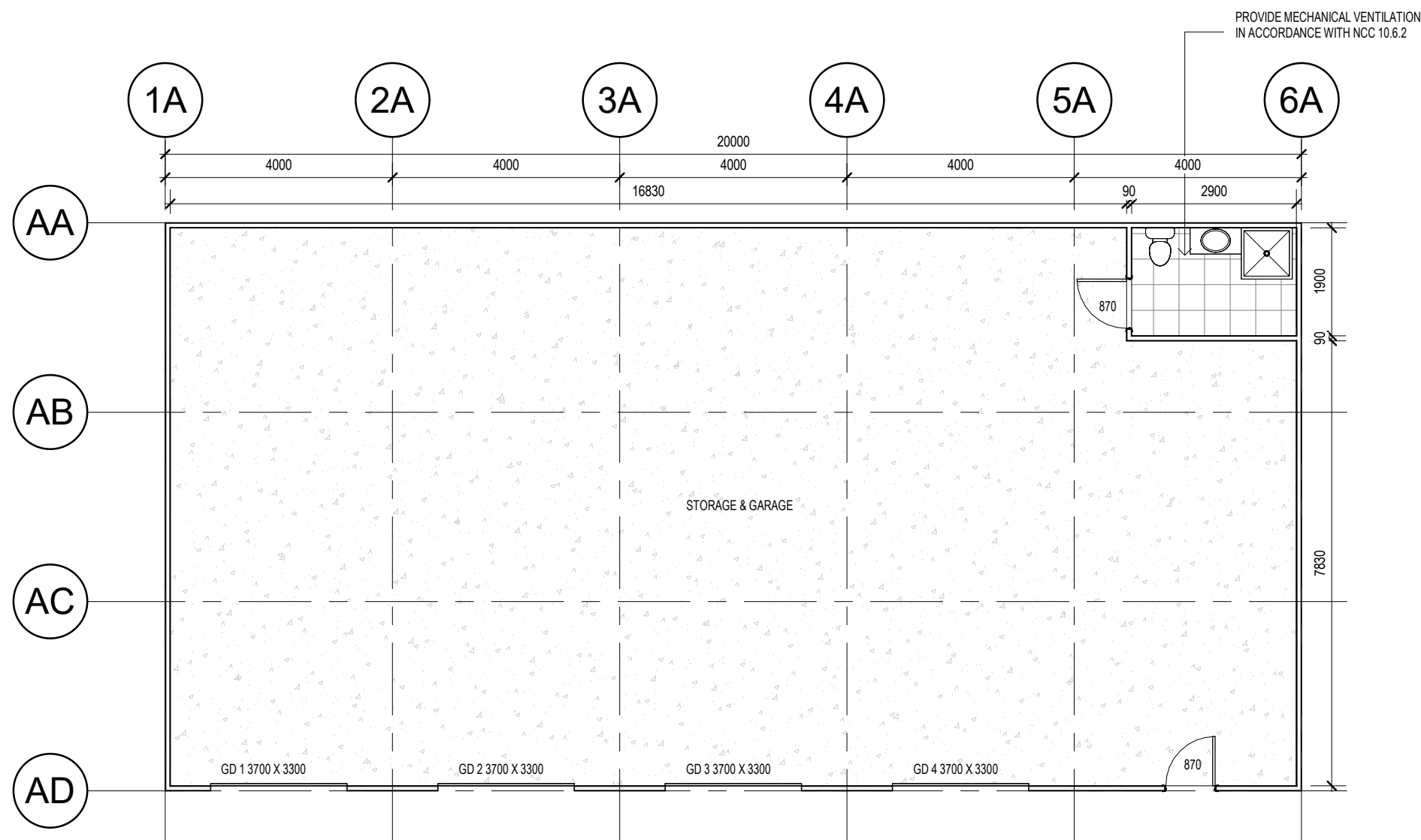
info@engineeringplus.com.au  
 Ph 03 6337 7021  
**ENGINEERING PLUS**  
BUILDING DESIGN  
 PROJECT MANAGEMENT  
 CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer  
**Designer Name** : G. Pfeiffer  
**Accreditation No** : CC2211T  
**Revision Number** : B  
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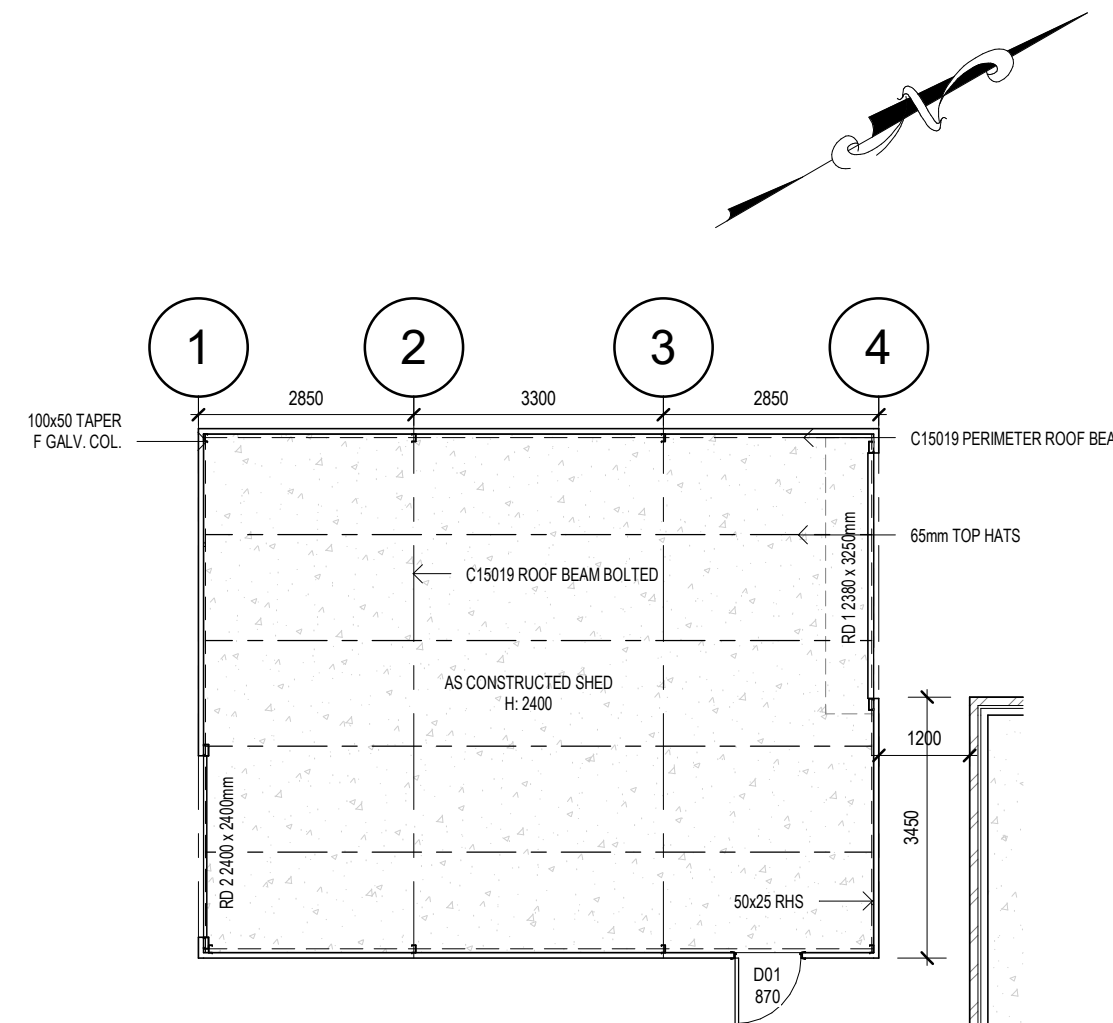
**Date Drawn:** 27.02.26  
**Drawn:** C. LIM  
**Checked:** R. HALL  
**Approved:** J. Pfeiffer  
**Scale:** As Shown @ A3

**Client:** R. & R. BAKER  
**Project:** AS CONSTRUCTED SHED, PROPOSED CARPORT & SHED  
**Address:** 879 BRYANTS LANE DEDDINGTON TAS 7212

**DEVELOPMENT APPROVAL**      **EP2026-011**      **A103**



**SHED FLOOR LEVEL**  
 SCALE 1 : 100



**AS CONSTRUCTED SHED**  
 SCALE 1 : 100

**DOOR SCHEDULE**

MARK	HEIGHT	WIDTH
01	2100	870
02	2400	2400
03	2380	3250
04	2400	2400
05	2400	2400
06	2400	2400
07	2400	2400
08	2100	870
11	2100	870

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

**SMOKE ALARMS**

PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC STANDARDS

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

**DISCLAIMER**

ALL WINDOWS & DOORS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

IF WINDOW HEIGHT IS GREATER THAN 2.0m TO HAVE PERMANENTLY FIXED ROBUST SCREEN INSTALLED OR HAVE AN OPENING RESTRICTED TO 125mm.

**Received**

13/04/2026

info@engineeringplus.com.au  
 Ph 03 6337 7021



Accredited Building Designer

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**DEVELOPMENT APPROVAL**

**EP2026-011**

**A200**

**EAVE & SOFFIT CONSTRUCTION IN ACCORDANCE WITH NCC 2022**

- EAVE WIDTH - REFER TO ELEVATION  
 SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
  - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

**STAIR CONSTRUCTION IN ACCORDANCE WITH NCC 2022**

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300X50 F5 TREATED PINE
- TREADS: 250X45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

**SUB FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022**

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM<sup>2</sup> PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

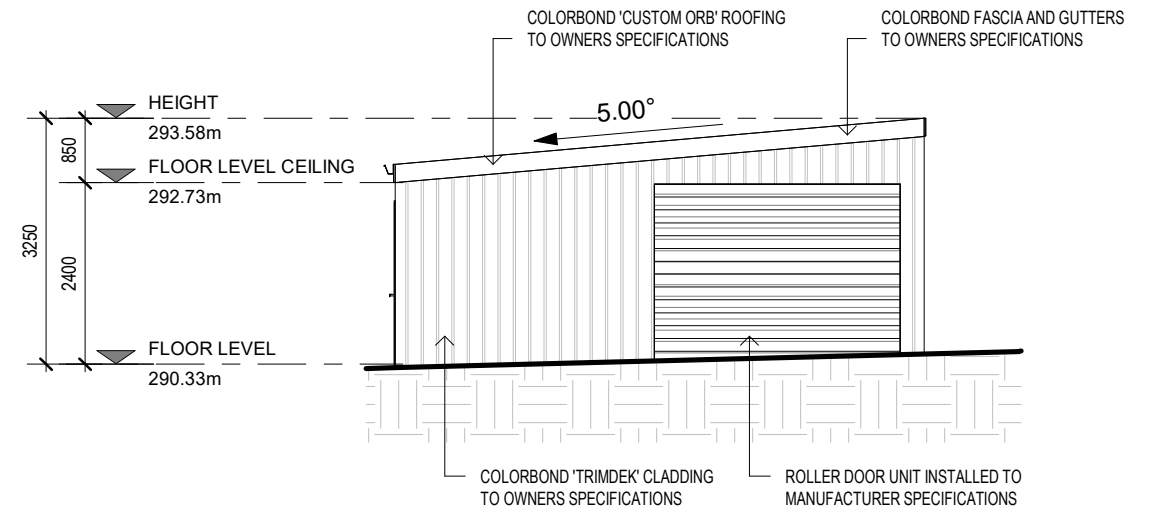
PRYDA 230X75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR PRYDA 230X165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

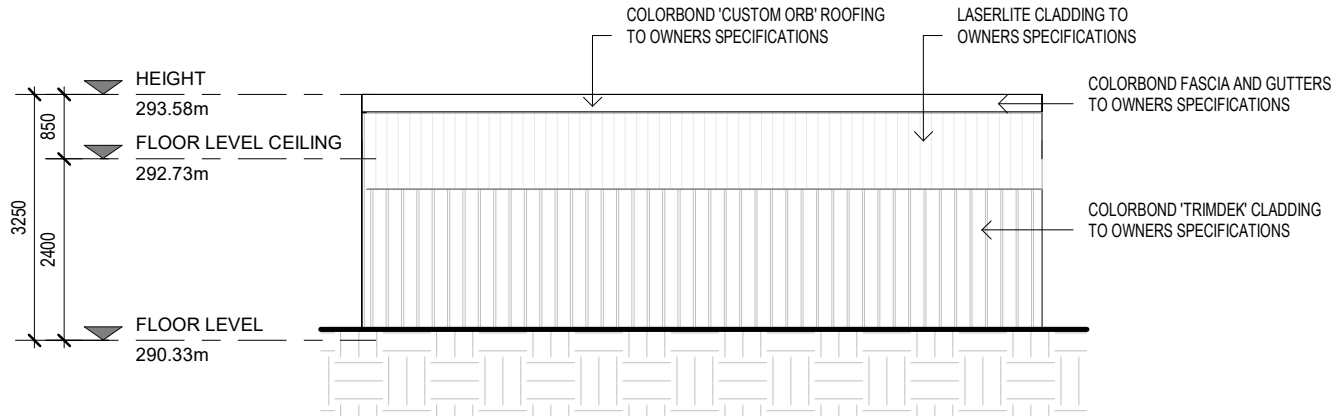
**SELECTED ALUMINIUM FRAMED WINDOWS IN ACCORDANCE WITH NCC 2022**

- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
- TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURER SPECIFICATIONS.
- GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS REQUIREMENTS.

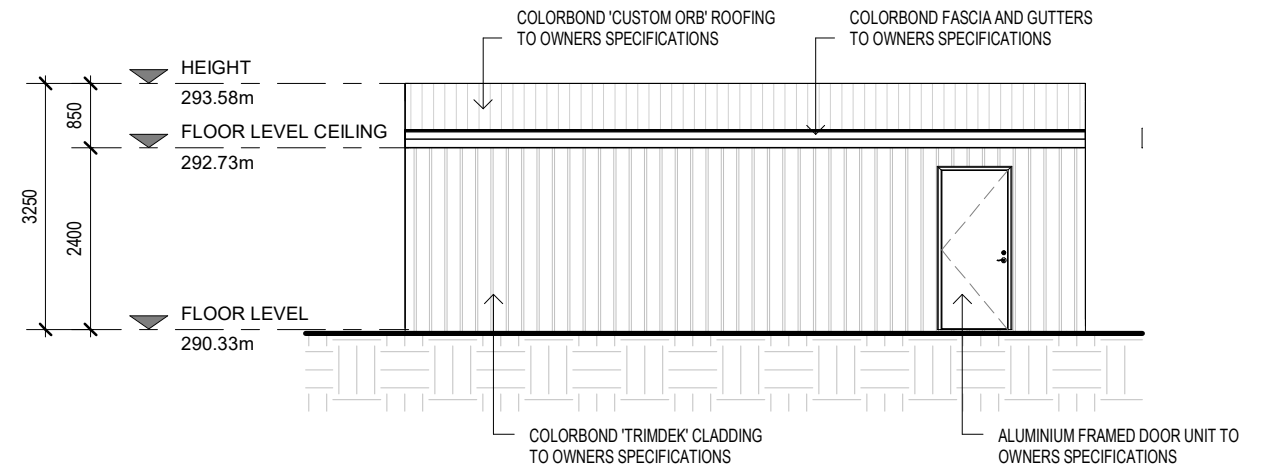
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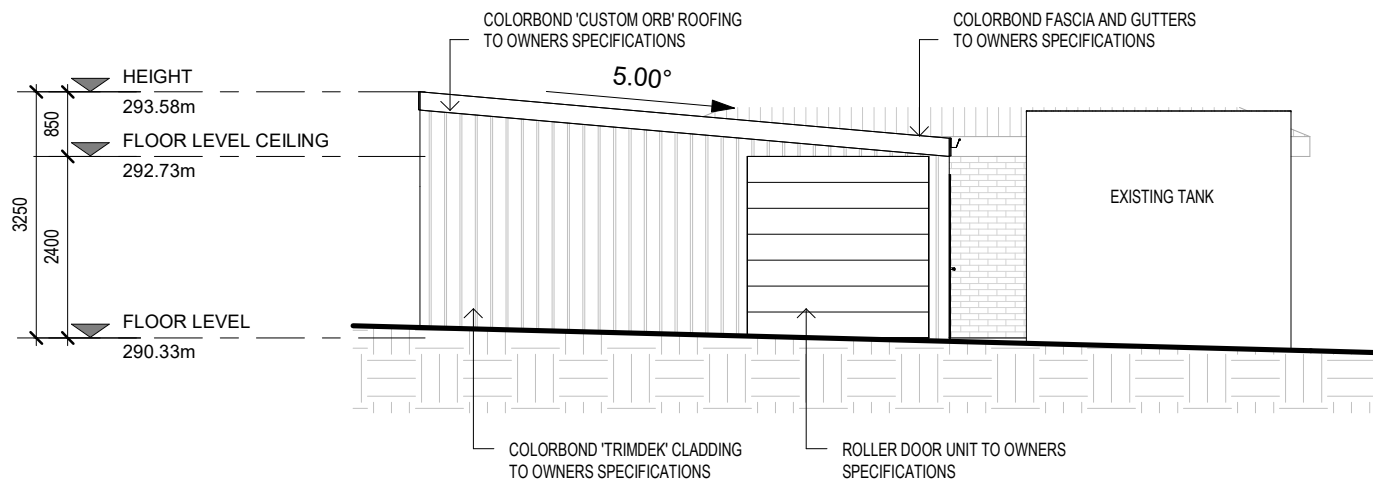
**AS CONSTRUCTED SHED - EAST ELEVATION**  
 SCALE 1 : 100



**AS CONSTRUCTED SHED - NORTH ELEVATION**  
 SCALE 1 : 100



**AS CONSTRUCTED SHED - SOUTH ELEVATION**  
 SCALE 1 : 100

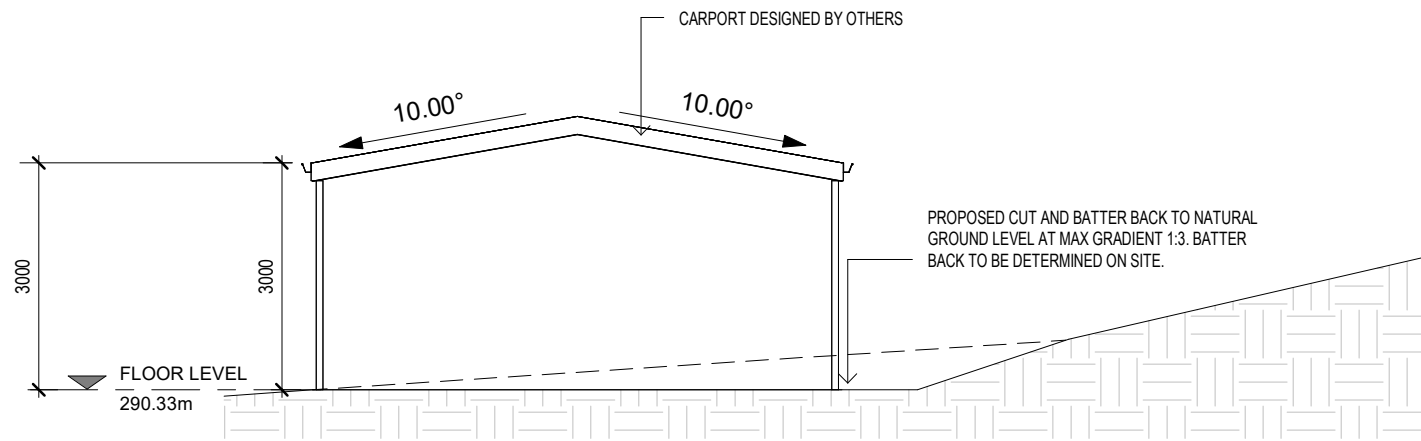


**AS CONSTRUCTED SHED - WEST ELEVATION**  
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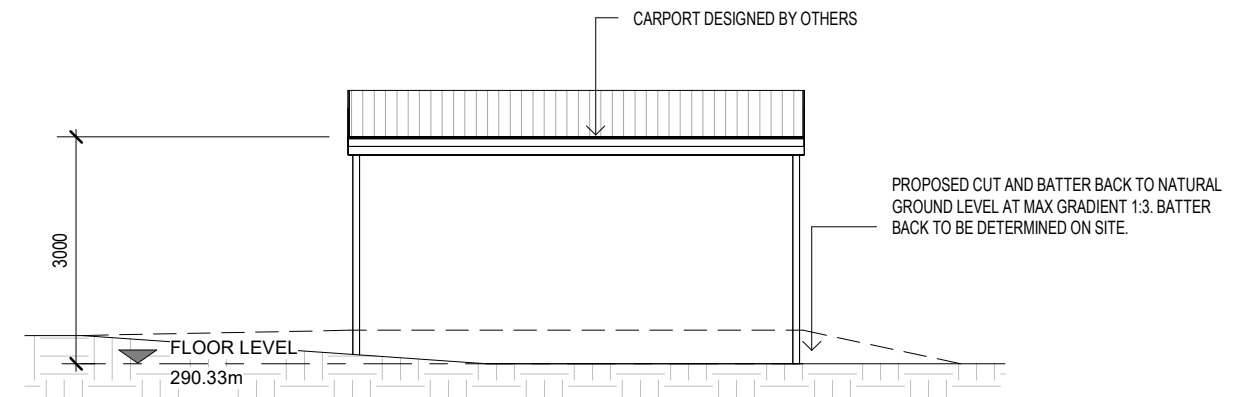
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13/04/2026

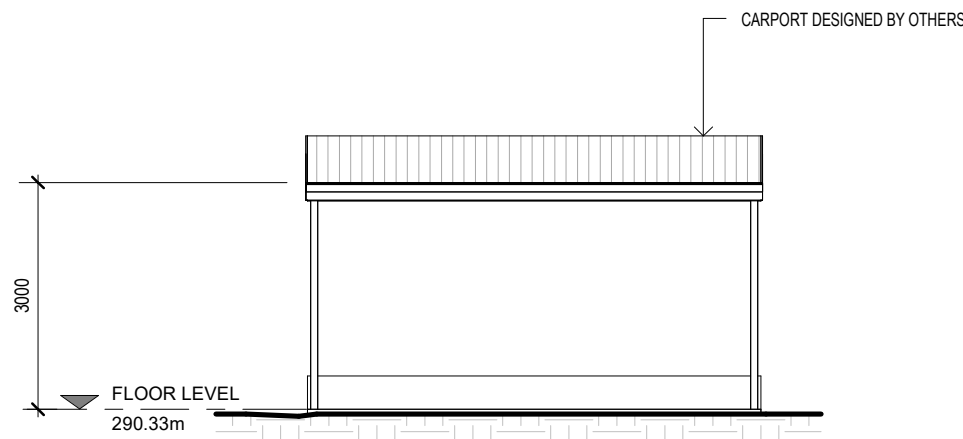
Accredited Building Designer Designer Name : G. Pfeiffer Accreditation No : CC2211T Revision Number : B Revision Description : AMENDMENT Revision Date : 14.04.26 Revision Issued By : C.L.	Date Drawn: 27.02.26 Drawn: Designer Checked: Checker Approved: J. Pfeiffer Scale: As Shown @ A3	Client: R. & R. BAKER Project: AS CONSTRUCTED SHED, PROPOSED CARPORT & SHED Address: 879 BRYANTS LANE DEDDINGTON TAS 7212
<b>DEVELOPMENT APPROVAL</b>		<b>EP2026-011 A301</b>



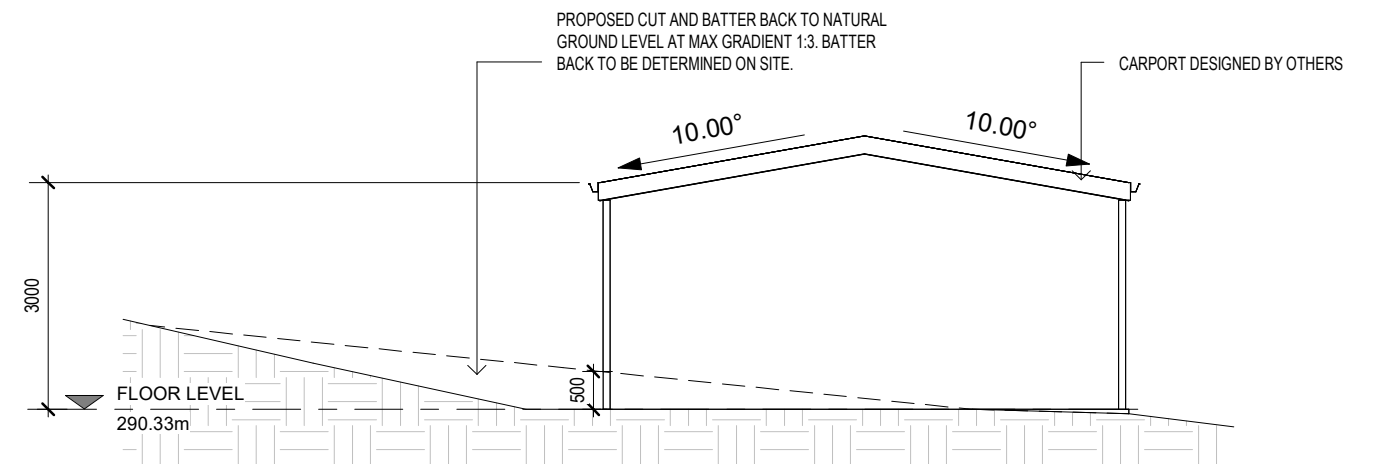
**PROPOSED CARPORT - EAST ELEVATION**  
 SCALE 1 : 100



**PROPOSED CARPORT - NORTH ELEVATION**  
 SCALE 1 : 100



**PROPOSED CARPORT - SOUTH ELEVATION**  
 SCALE 1 : 100



**PROPOSED CARPORT - WEST ELEVATION**  
 SCALE 1 : 100

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**DEVELOPMENT APPROVAL**

**EP2026-011**

**A303**