

This planning application is open for
public comment until
03 March 2026

Reference no	PLN-26-0014
Site	15 KEPPOCH LANE PERTH
Proposed Development	Single Dwelling & Outbuilding (Shed)
Zone	11.0 Rural Living
Use class	Residential

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



NORTHERN
MIDLANDS
COUNCIL

PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

The Proposal

Description of proposal:

DWELLING & SHED

Driveway construction material:

GRAVEL

The Land

Site address:

15 KEPPOCK LANE
PERTH 7300

Title reference:

C/T: 186410/7

Existing buildings on site:

N/A

Existing use of site:

N/A

Applicant justification of any variation/discretion to the Tasmanian Planning Scheme – Northern Midlands

OVER 400 SQ/M BUILDING AREA

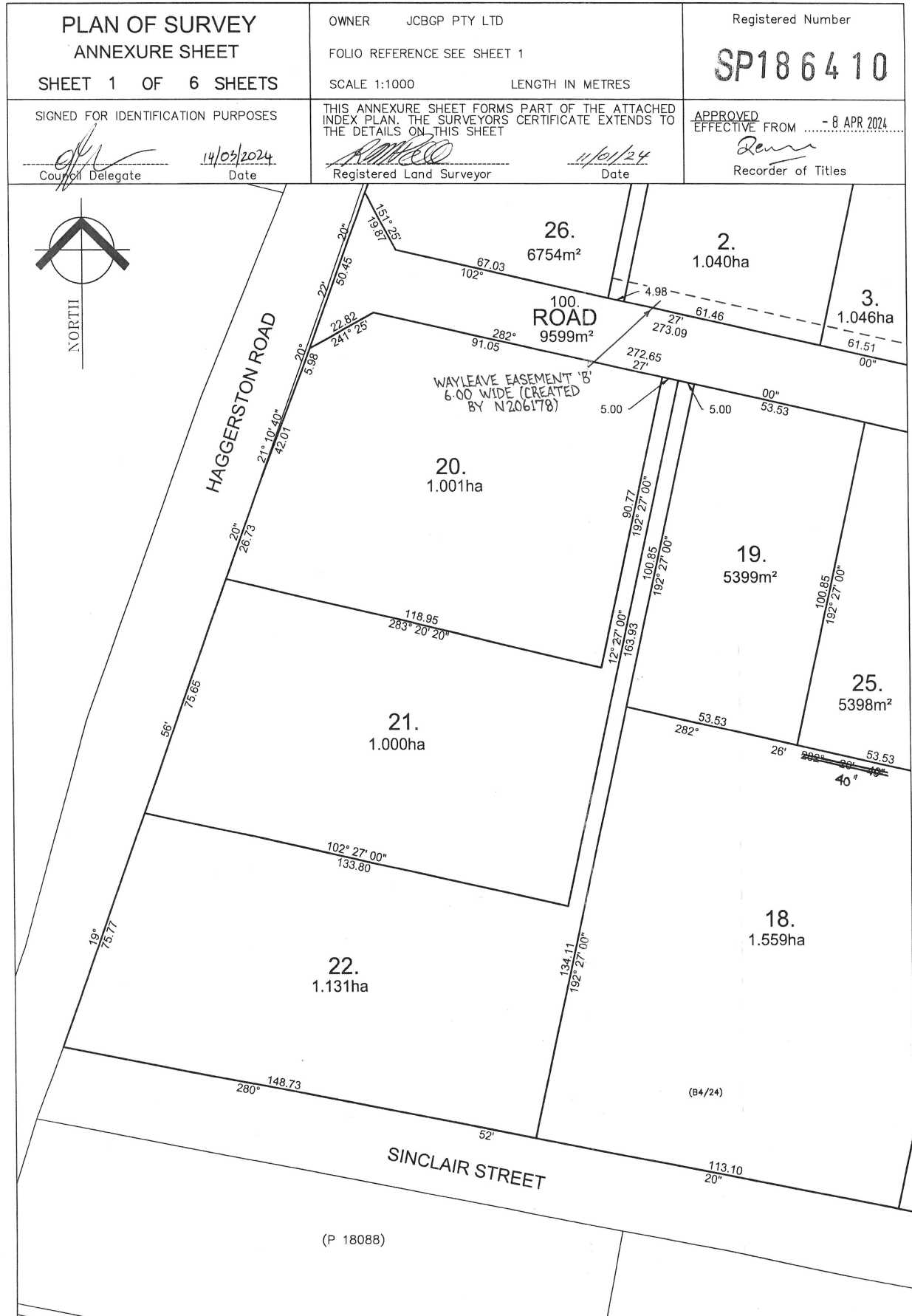
LESS THAN 6% SITE COVERAGE OF BUILDINGS

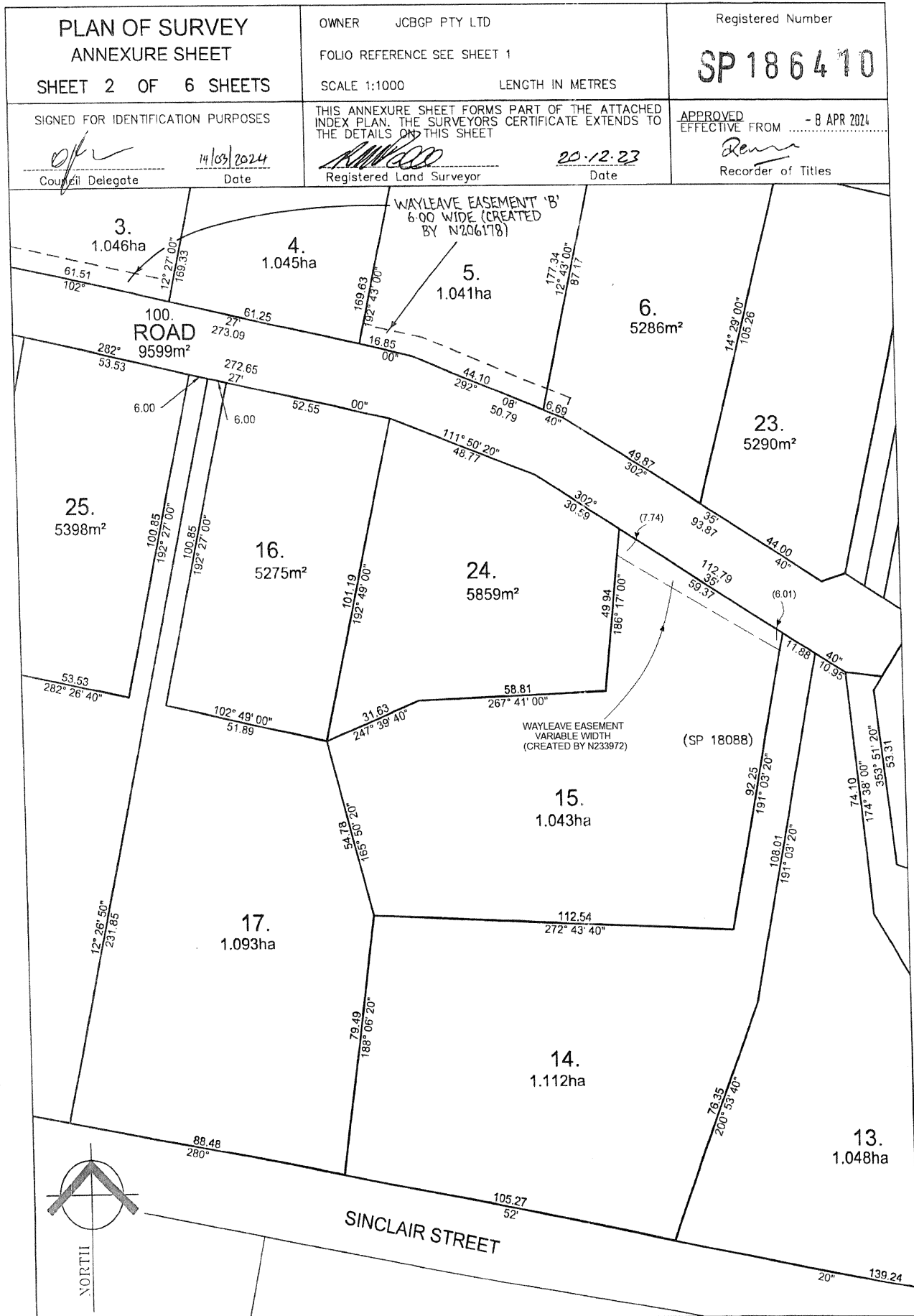
OWNER JCBGP PTY LTD FOLIO REFERENCE C.T. 37065/100 C.T. 18088/7, C.T. 18088/1 GRANTEE PART OF 23°3'33" AND PART OF LOT 1 GRANTED TO FREDRICK JAMES HOUGHTON WHOLE OF 22°2'11.1/2" GRANTED TO GEORGE GRIFFITHS AND WHOLE OF 5°3'34" GRANTED TO WILIAM HOYLE		PLAN OF SURVEY BY SURVEYOR R. M. PECK LOCATION TOWN OF PERTH CORNWALL - PERTH SCALE 1:3000 LENGTHS IN METRES		Registered Number SP186410 APPROVED EFFECTIVE FROM - 8 APR 2024 Recorder of Titles
MAPSHEET MUNICIPAL CODE No (123)	LAST UPI No	LAST PLAN No. D37065 & P18088	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

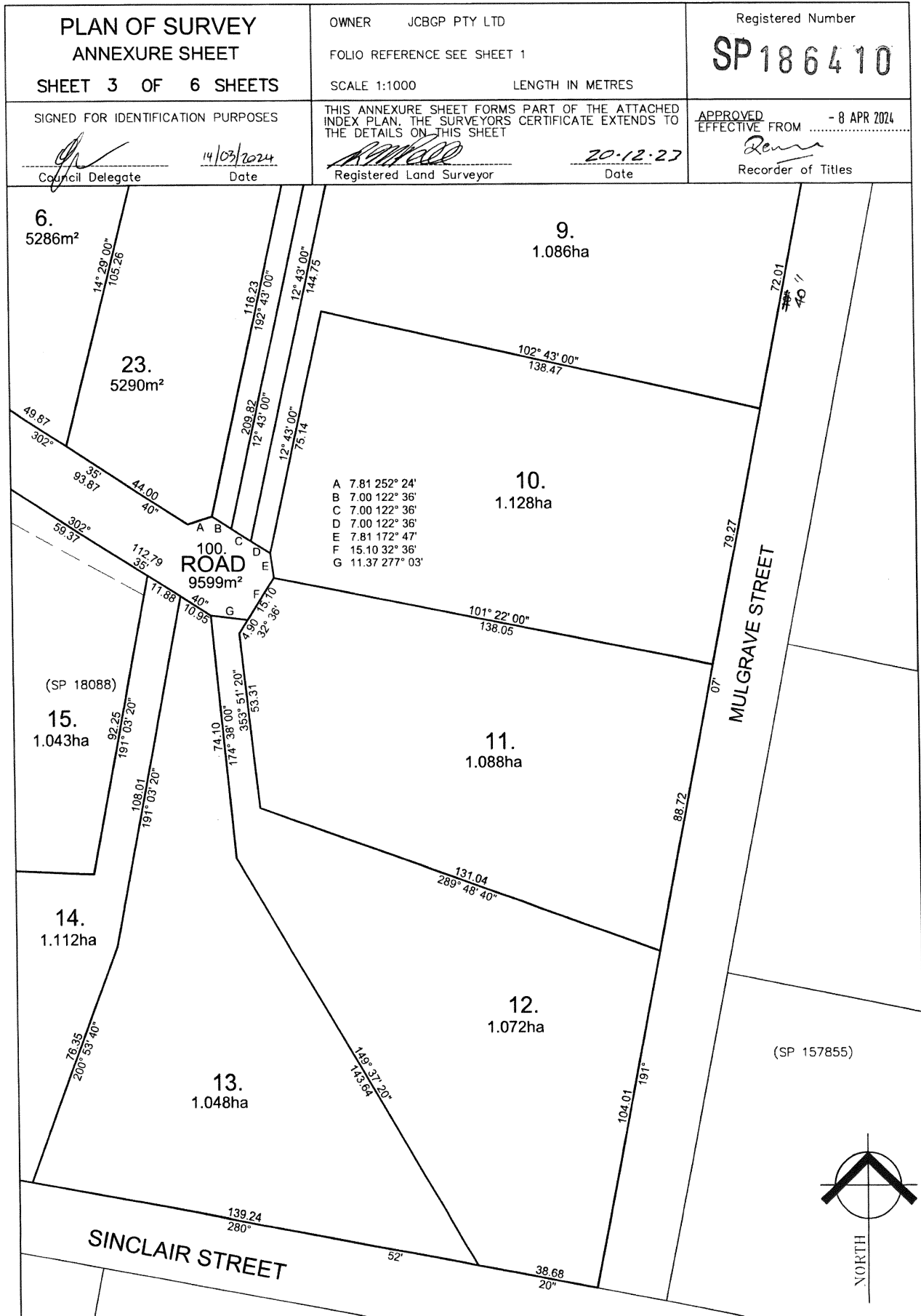
Map Details:

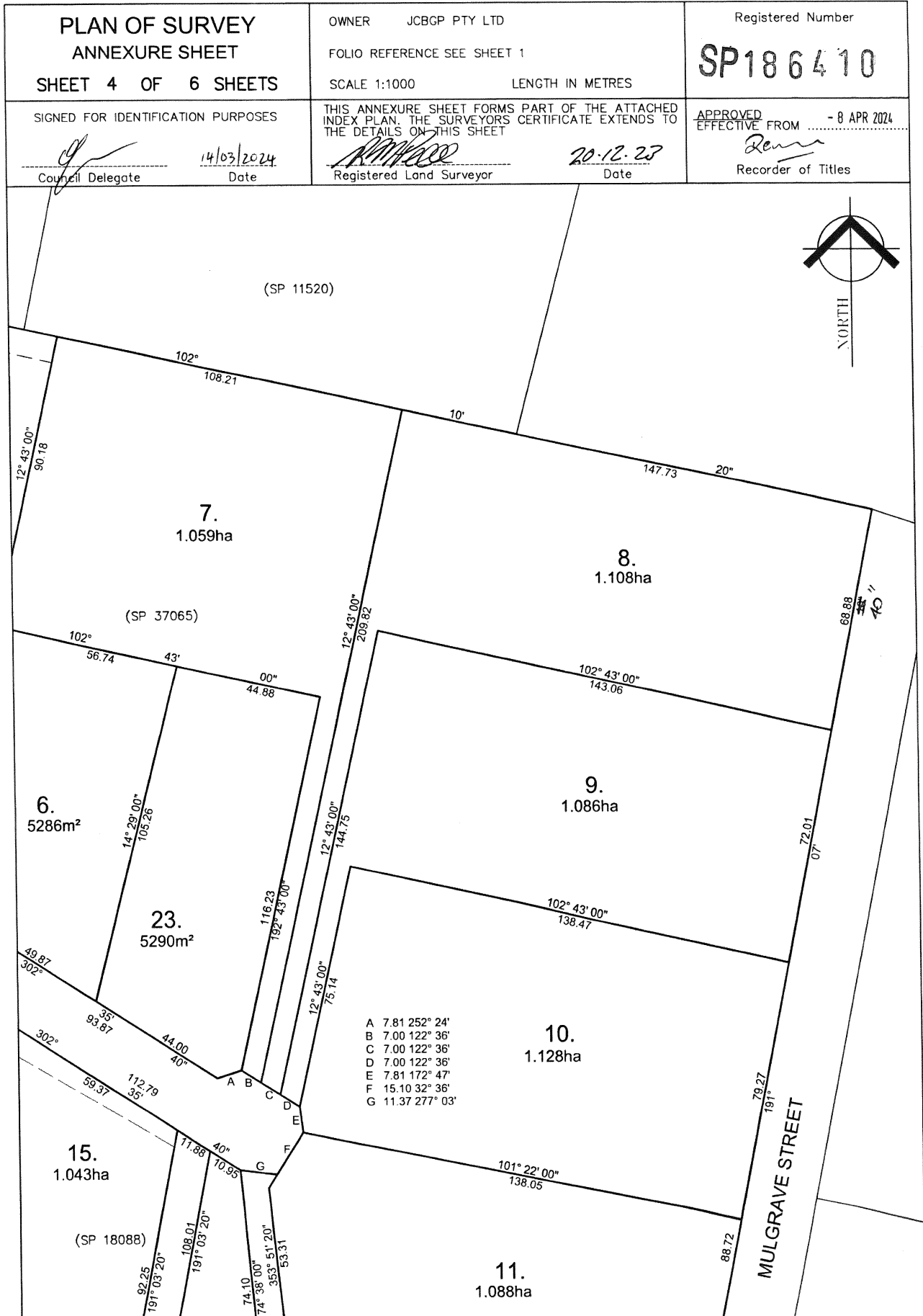
- Roads:** MIDLAND HIGHWAY (P 2602), HAGGERSTON ROAD, 100 ROAD, SINCLAIR STREET, MULGRAVE STREET (P 17456)
- Lot Areas:**
 - 1. 5777m²
 - 2. 1.040ha
 - 3. 1.046ha
 - 4. 1.045ha
 - 5. 1.041ha
 - 6. 5286m²
 - 7. 1.059ha (SP 37065)
 - 8. 1.108ha
 - 9. 1.086ha
 - 10. 1.128ha
 - 11. 1.088ha
 - 12. 1.072ha
 - 13. 1.048ha
 - 14. 1.112ha
 - 15. 1.043ha (SP 18088)
 - 16. 5275m²
 - 17. 1.093ha
 - 18. 1.559ha
 - 19. 5399m²
 - 20. 1.001ha
 - 21. 1.000ha
 - 22. 1.131ha
 - 23. 5290m²
 - 24. 5859m²
 - 25. 5398m²
 - 26. 6754m² PUBLIC OPEN SPACE
- Easements:** DRAINAGE EASEMENT 'A' 8.00 WIDE (SP 11520), WAYLEAVE EASEMENT 'B' 6.00 WIDE (CREATED BY N206178) (SP 11520)
- Other:** PUBLIC OPEN SPACE, (B4/36) (D 37065), (P 18088), (S.P.183432), (SP 143775), (P 18088), (SP.184317), (SP 157855)

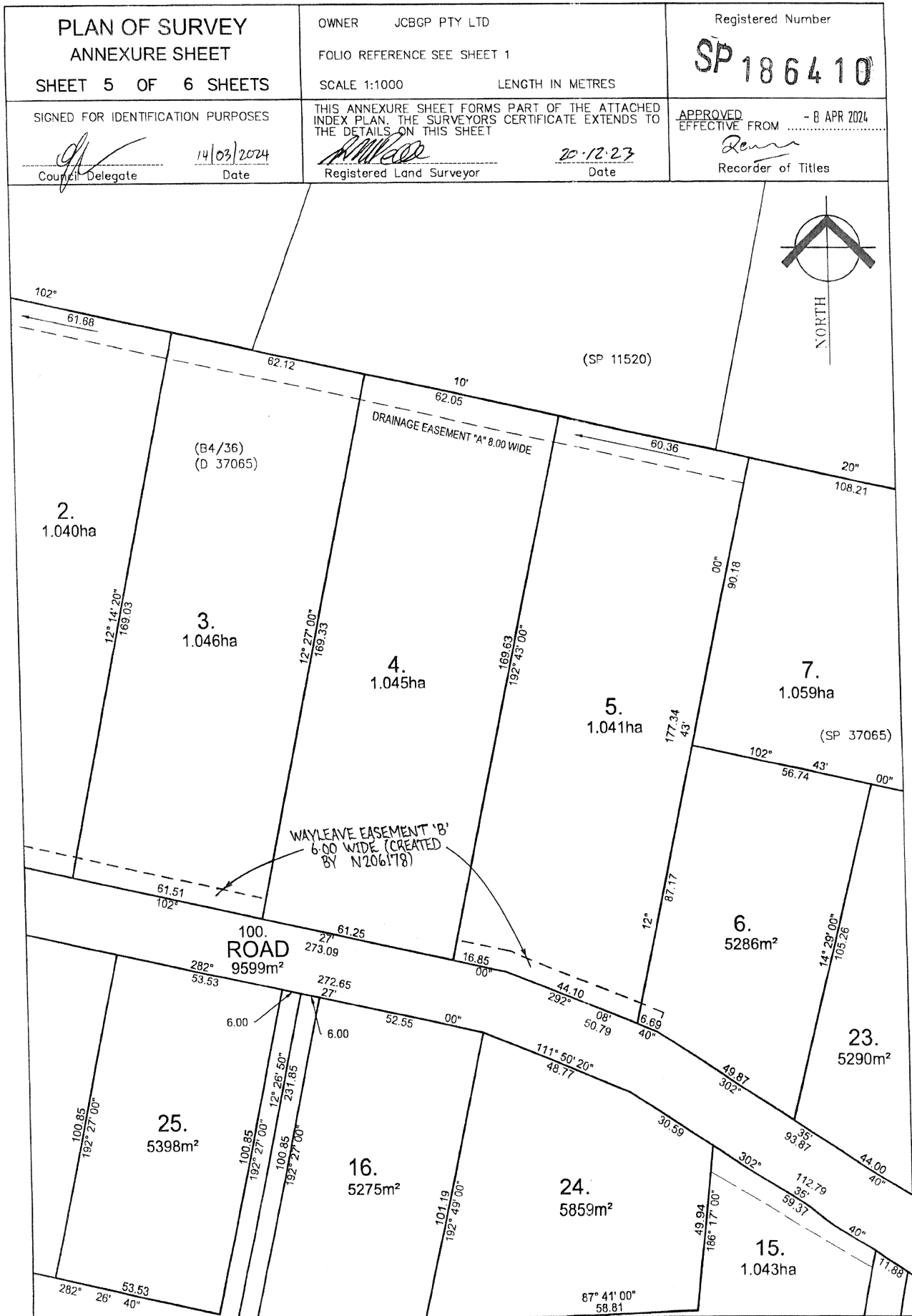
 REGISTERED LAND SURVEYOR	11/01/24 DATE
 COUNCIL DELEGATE	14/3/2024 DATE

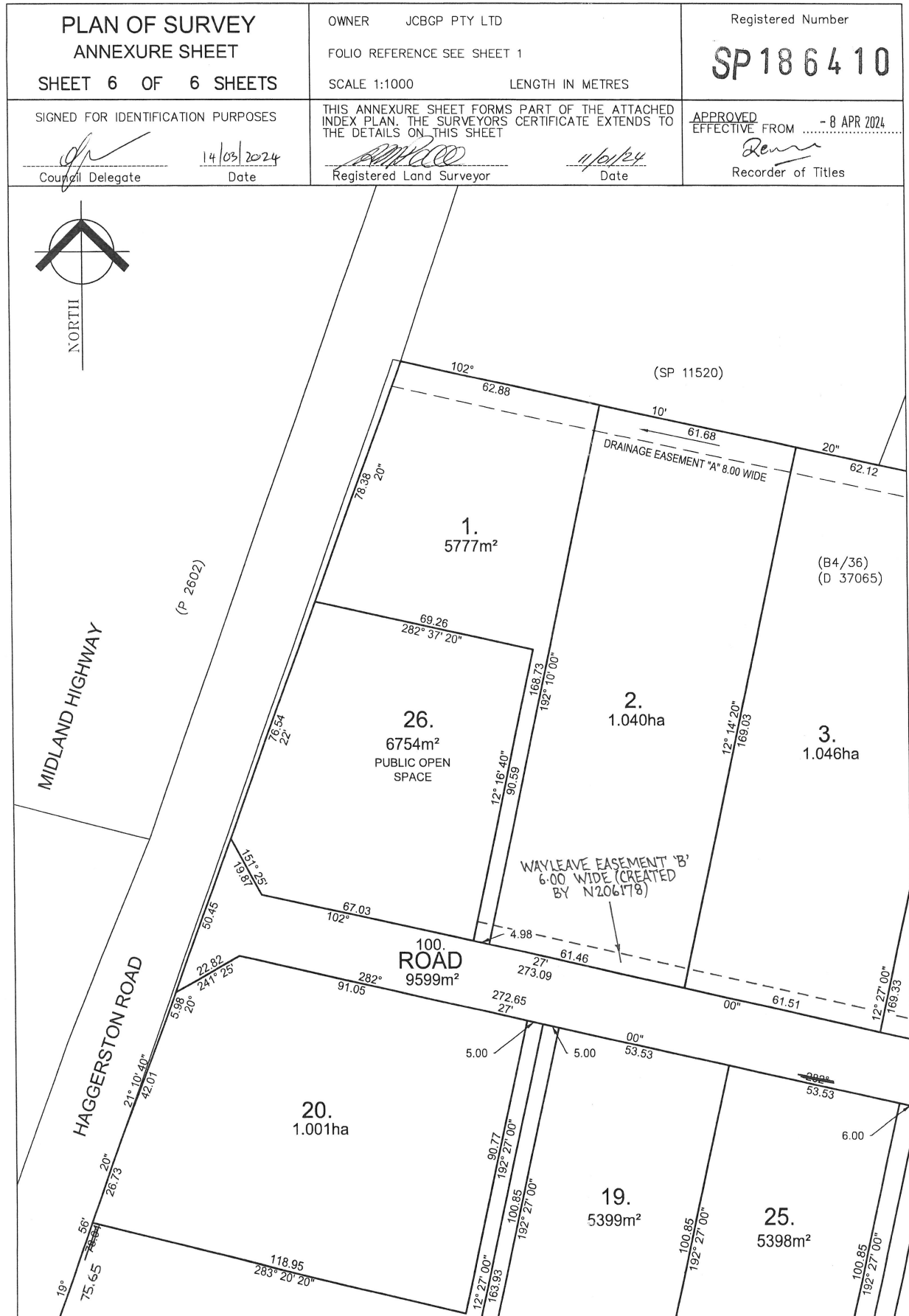












Exhibited

LEGEND
PAGE 1# COVER PAGE
PAGE 2# EXISTING SITE SURVEY PLAN
PAGE 3# SITE PLAN
PAGE 4# BUSHFIRE MANAGEMENT PLAN
PAGE 5# SOIL AND WATER MANAGEMENT PLAN
PAGE 6# SHED PLAN
PAGE 7# SHED ELEVATIONS
PAGE 8# FLOOR PLAN
PAGE 9# FLOOR PLAN WITH DIMENSIONS
PAGE 10# ELEVATIONS
PAGE 11# ELEVATIONS
PAGE 12# ROOF PLAN

COUNCIL – NORTHERN MIDLANDS COUNCIL
ZONE – RURAL LIVING ZONE A
CODE – BUSHFIRE PRONE AREA
SAFEGUARDING OF AIRPORTS – 211m AHD
PERTH SPECIFIC AREA PLAN NOR–S7.0
LANDSLIDE BAND – NIL

TITLE REFERENCE – 186410/7
PROPERTY ID – 9022550

BUSHFIRE–PRONE AREA BAL RATING BAL12.5
AS PER SUBDIVISION BUSHFIRE REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
'APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.

NOTES
(1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN
BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION
AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE
READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED DWELLING
AND SHED FOR
C AND D REDPATH
AT 15 KEPPPOCH LANE
PERTH 7300

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BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

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BVZ

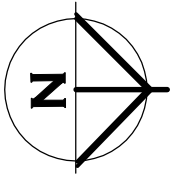
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THIS PAGE FEATURES COLORED LINES AND SHOULD ONLY BE PRINTED IN COLOR. GREEN TEXT IN THE NOTE SECTION SERVES AS A REFERENCE

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EXISTING SITE SURVEY PLAN



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PROJECT: PROPOSED DWELLING AND SHED
FOR C AND D REDPATH
AT 15 KEPPOCH LANE
PERTH 7300

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 03 / 02 / 26
SCALE – A3 – 1:1000.	DRAWING No.: RED1225 – 2/12

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CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA

COMPACTED GRAVEL DRIVEWAY TO FALL TO PERVIOUS GROUND. ENSURE NO CONCENTRATED STORMWATER DISCHARGE ONTO NEIGHBOURING LOTS

WESTERN END OF SHED AND REAR OF HOUSE GARAGE INSTALLED INLINE WESTERN ALIGNMENT OF BOUNDARY POINT

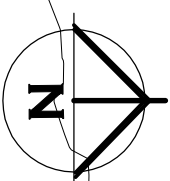
2/20000L WATER TANKS

BOUNDARY POINT OF LOT 6/7/23

PROPOSED SHED
F.L. 183.0m

CUT BATTER UP TO 400mm

Exhibited



PROPOSED DWELLING
F.L. 182.9m

SITE PLAN

DWELLING SETOUT IS PARALLEL TO SOUTH BOUNDARY

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

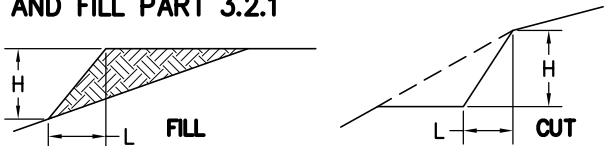


TABLE 3.2.1: SOIL TYPE		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK		3:3	8:1
SAND		1:2	1:2
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

- (1)A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
(A)WITHIN THE ALLOTMENT; AND
(B)NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
(C)NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.
- (2)FILL, USING AN UN-RETAINED EMBANKMENT MUST--
(A)BE PLACED WITHIN THE ALLOTMENT; AND
(B)BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
(C)BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
(D)BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
(E)WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
(F)HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE

	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	10590	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	611	5.8
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	900	8.5
AREA FREE FROM BUILDING AND DRIVEWAY AREA	9079	85.7

ESTIMATE AS PER FUTURE GEOTON REPORT.
SEPTIC, PUMP AND SAND BED
SEWERAGE SYSTEM AS PER GEOTON REPORT



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AT 15 KEPPOCH LANE
PERTH 7300

DRAWING: SITE PLAN

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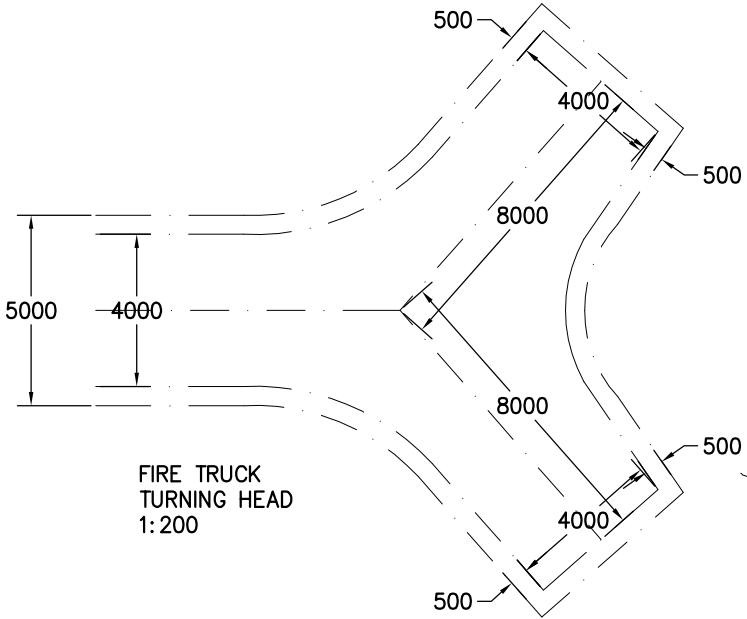
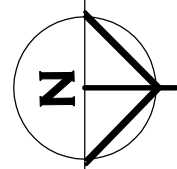
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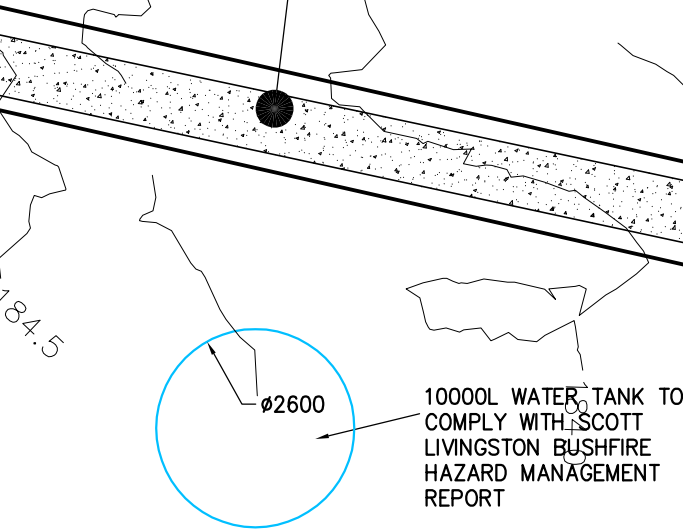
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PROPERTY ACCESS TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT
THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO
PROPERTY ACCESS LENGTH IS 30 METRES OR GREATER OR ACCESS FOR A
FIRE APPLIANCE TO A FIRE FIGHTING WATER POINT:

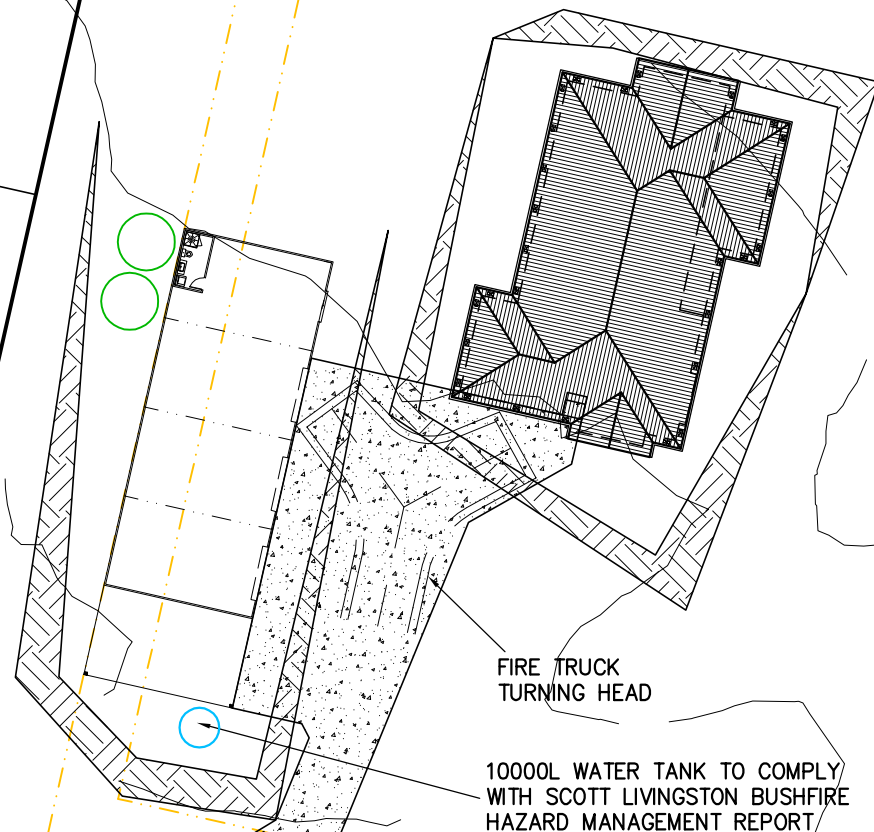
- (i) All weather construction;
 - (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
 - (iii) Minimum carriageway width of 4 metres;
 - (iv) Minimum vertical clearance of 4 metres;
 - (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
 - (vi) Cross falls of less than 3 degrees (1:20 or 5%);
 - (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
 - (viii) Curves with a minimum inner radius of 10 metres;
 - (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
 - (x) Terminate with a turning area for fire appliances provided by one of the following:
 - a) A turning circle with a minimum inner radius of 10 metres;
 - b) A property access encircling the building; or
 - c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
- WHERE PROPERTY ACCESS IS GREATER THAN 200m
- (xi) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres (minimum 1 required).



10000L WATER TANK TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT


- MINIMUM 6m FROM BUILDING
- MAXIMUM 3m FROM HARDSTANDING AREA
- MAXIMUM 90m HOSE LAY TO FURTHEST PART OF BUILDING

SEE REPORT FOR FURTHER TANK REQUIREMENTS DETAILS



BUSHFIRE MANAGEMENT PLAN

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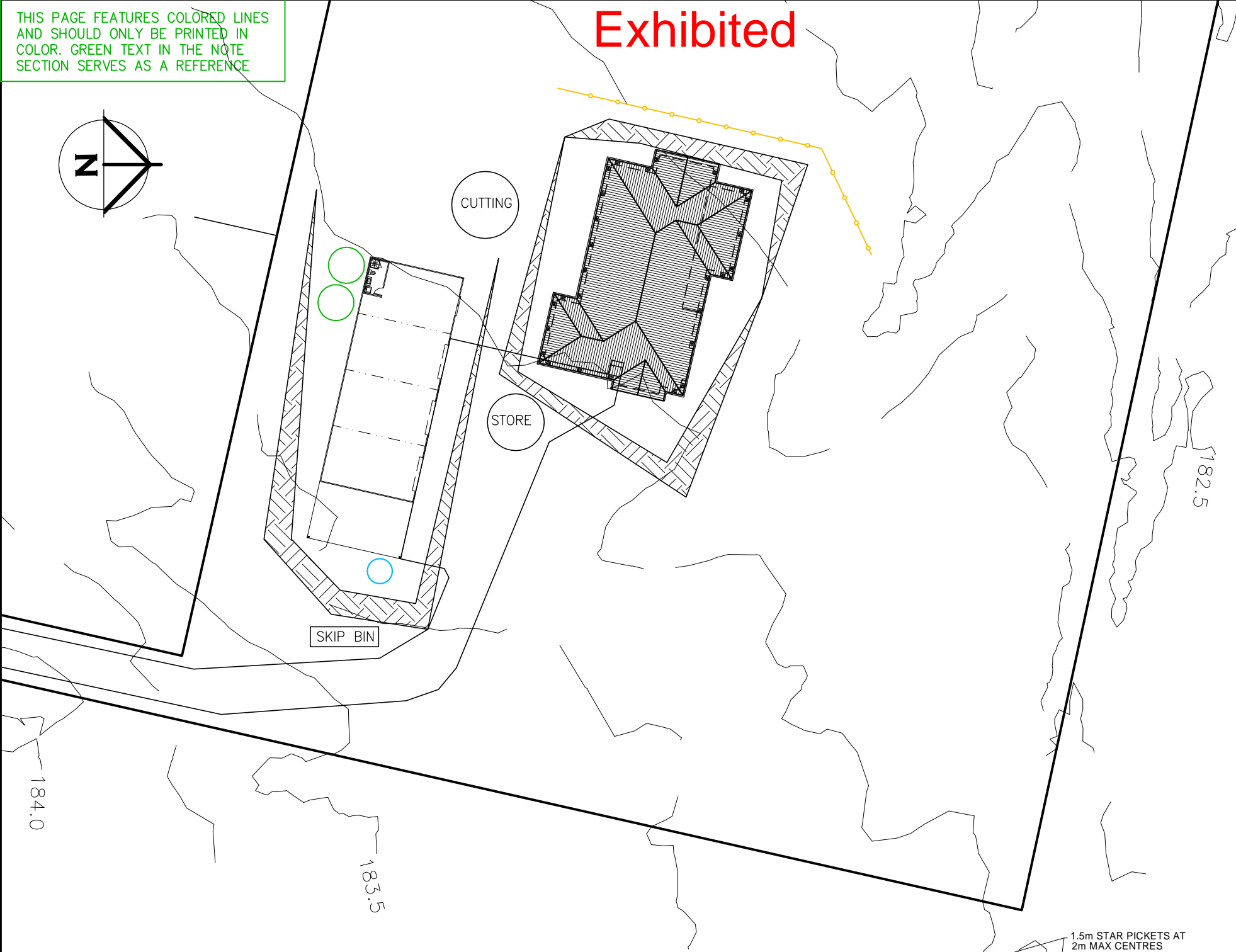
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- BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES
- FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP
- FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.
- FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.
- FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET
- FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET
- FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET
- FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.
- FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.
- FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS
- FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET
- FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.
- FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET
- FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.
- FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS
- FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.
- FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED
- FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS

SOIL AND WATER MANAGEMENT PLAN

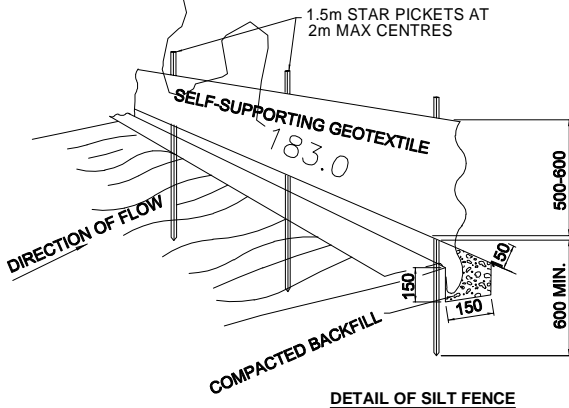
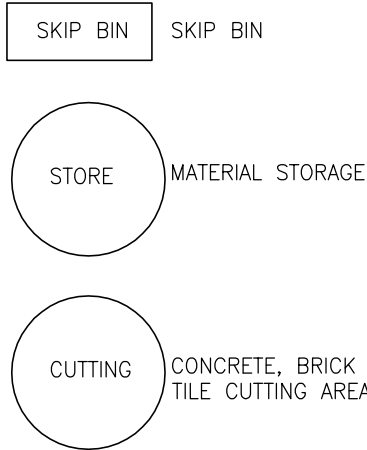
SILT FENCE AS PER DETAIL

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

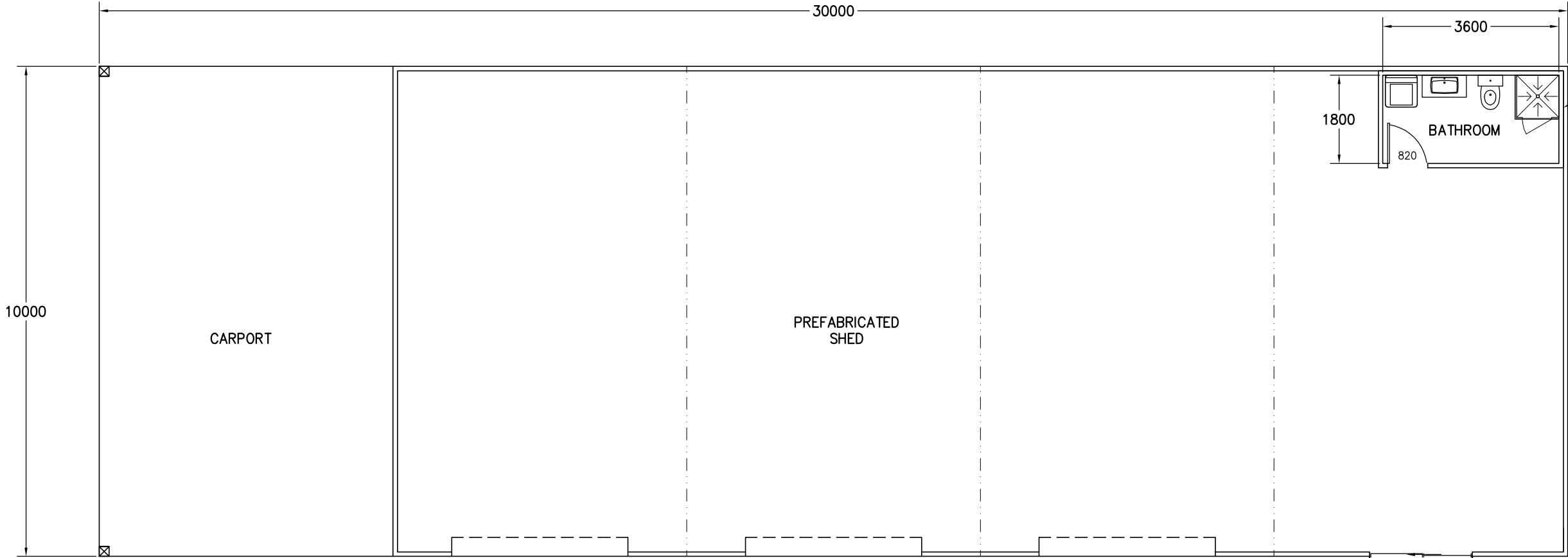
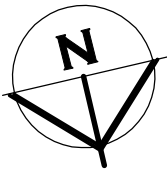
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PROJECT: PROPOSED DWELLING AND SHED FOR C AND D REDPATH AT 15 KEPPOCH LANE PERTH 7300

DRAWING: SOIL AND WATER MANAGEMENT PLAN

DESIGNED: B. v. Z. DRAWN: B. v. Z.	APPROVED. DATE: 03 / 02 / 26
SCALE – A3 – 1:200.	DRAWING No.: RED1225 – 5/12

Exhibited



TIMBER FRAME BUILT INSIDE
SHED FRAME AND WATER
PROOFED AS PER DETAILS
PAGE

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FLOOR PLAN

SHED CONSTRUCTION DETAILS TO BE
PROVIDED BY OTHERS AT BUILDING
APPLICATION. THESE TO INCLUDE
EXACT OPENING LOCATION AND SIZING

AREA TABLE

	SQUARE METER	BUILDING SQUARES
SHED AND CARPORT AREA	300.0	32.3
TOTAL AREA	300.0	32.3



DESIGNS

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PROJECT: PROPOSED DWELLING AND SHED
FOR C AND D REDPATH
AT 15 KEPPOCH LANE
PERTH 7300

DRAWING: SHED PLAN

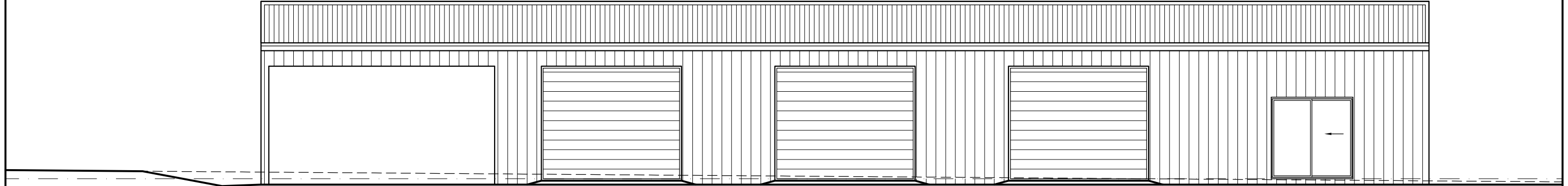
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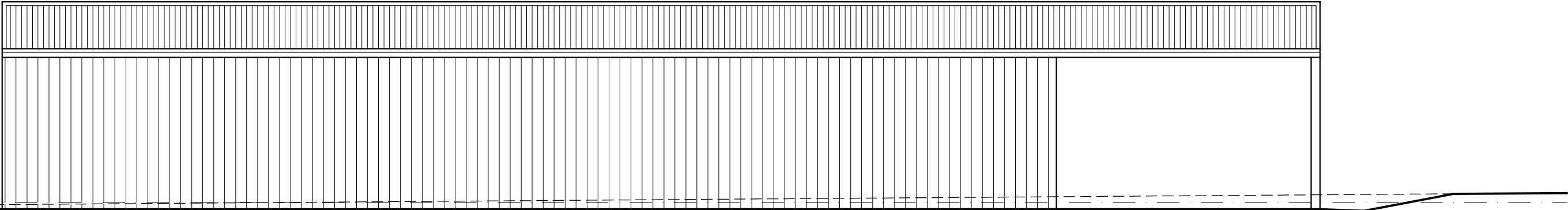
Exhibited



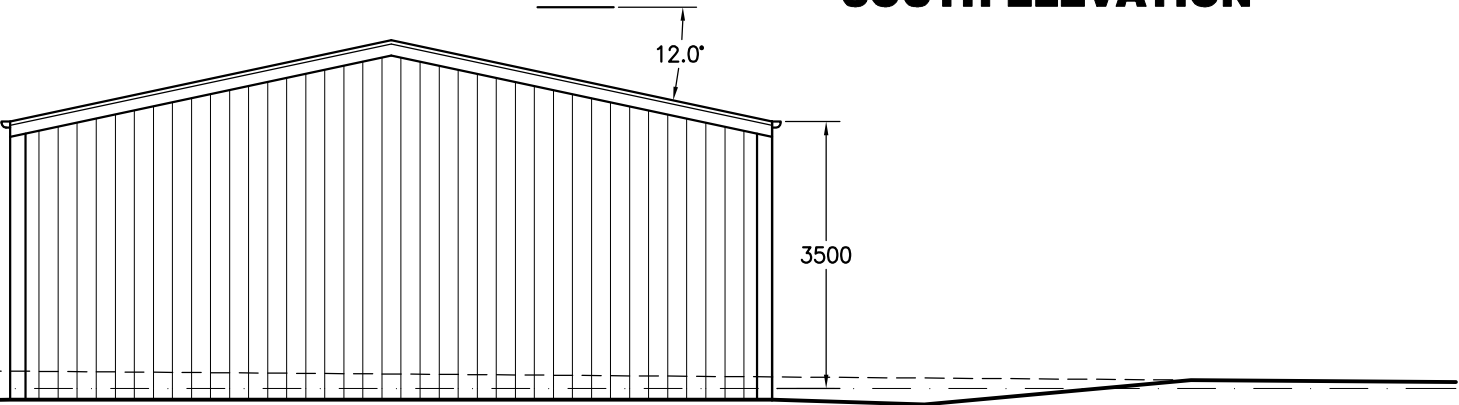
COLORBOND CUSTOM ORB
SHEET ROOFING

NORTH ELEVATION

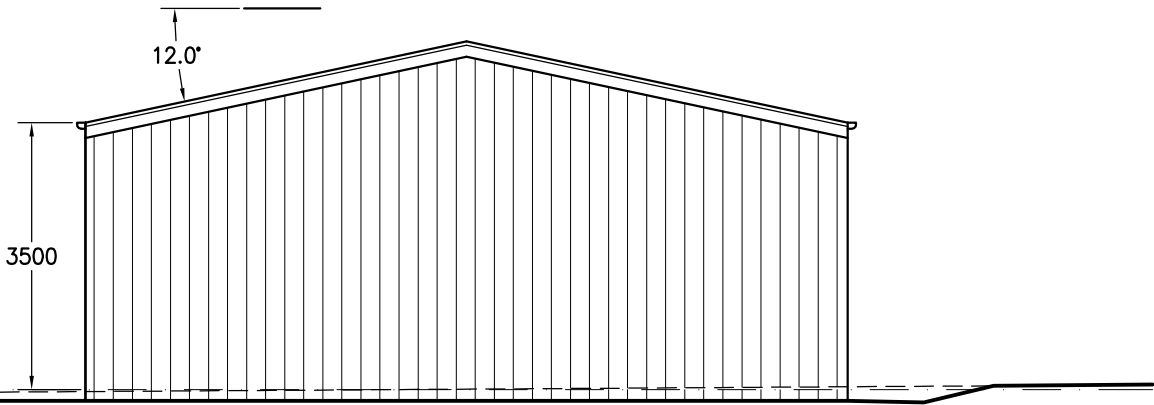
COLORBOND TRIMDEK
SHEET WALLING



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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PERTH 7300

DRAWING: SHED ELEVATIONS

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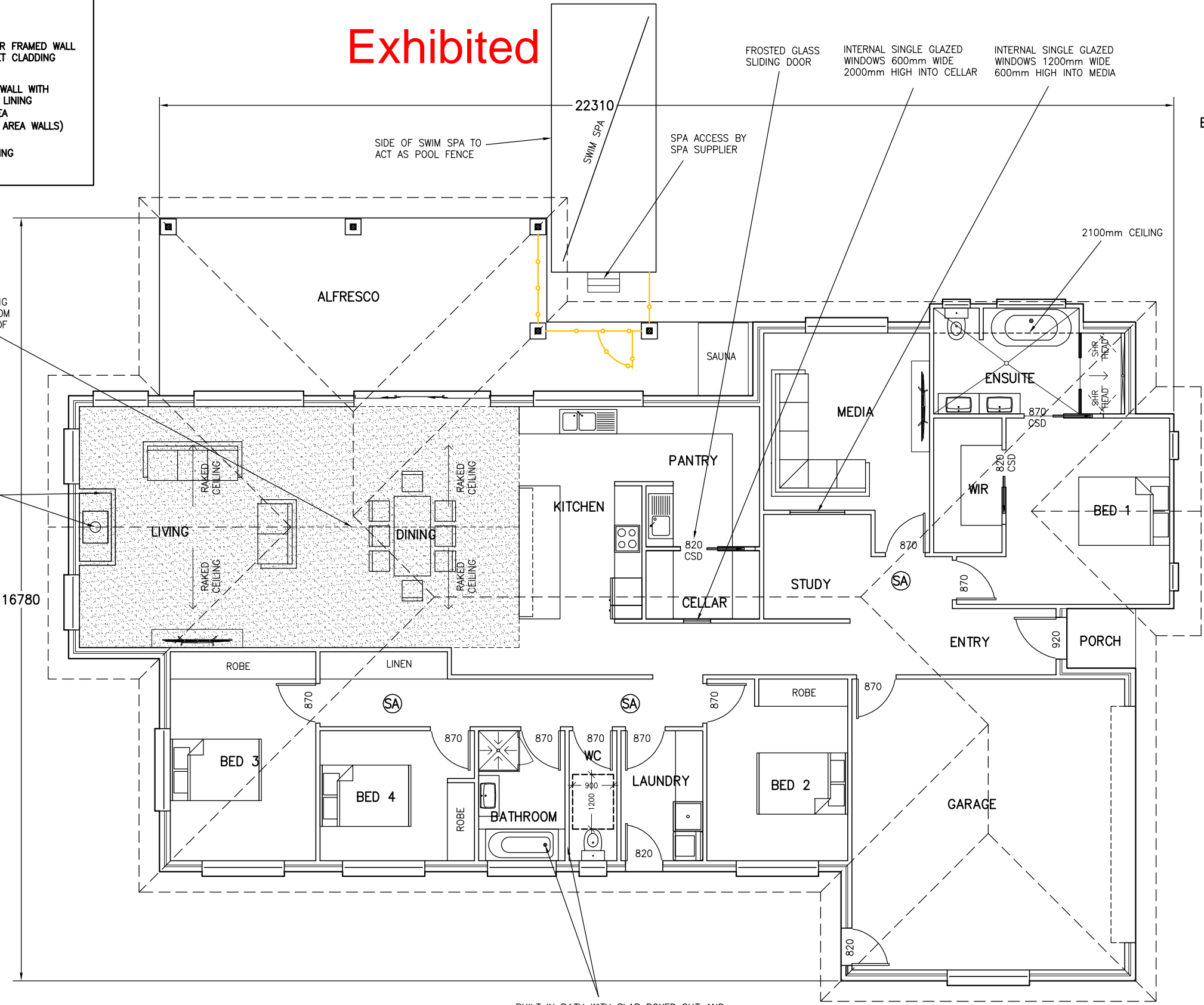
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Exhibited

- BRICK VENEER WALL
- EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING
- INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
- EXTENT OF RAKED CEILING

RIDGE LINE IN RAKED CEILING AREA TO MATCH LIVING ROOM GABLE TO ENTIRE LENGTH OF RAKED AREA. TO TRUSS SUPPLIERS DETAILS.

BUILT IN FIRE PLACE INSIDE TIMBER FRAMED WALL. ALL VENTILATION, CLEARANCE AND CLADDING TO INSIDE OF WALL FOR FIRE RATING AS PER MANUFACTURES SPECIFICATION. DETAILS PROVIDED TO BUILDING SURVEYOR PRIOR TO INSTALLATION OF FIRE PLACE



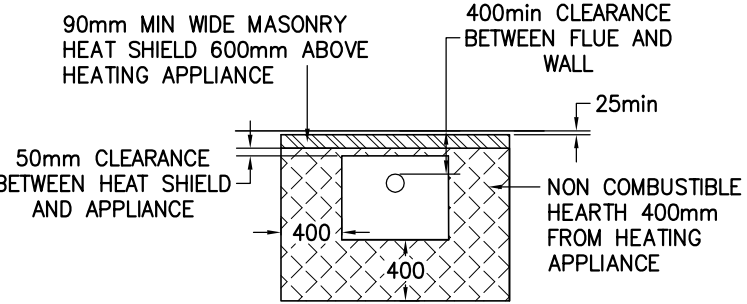
BUILT IN BATH WITH SLAB BOXED OUT AND ACCESS PANEL TO ALLOW ACCESS TO TRAP TO BE REPLACED ABOVE CONCRETE LEVEL

FLOOR PLAN

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

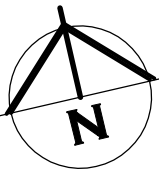
BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN.
WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED



WOOD HEATER AND FLUE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, AS2918 AND BCA 12.4.5

—●— DENOTES POOL FENCING
TYPICAL POOL FENCE CONSTRUCTION
MINIMUM 1200mm HIGH CONSTRUCTED OF GLASS, ALUMINIUM OR STEEL FENCING SPECIALLY DESIGNED FOR POOL FENCING
IF OTHER CONSTRUCTION TYPE IS USED IT MUST COMPLY WITH REQUIREMENTS SET OUT IN AS1926
ALL CONSTRUCTION TO COMPLY WITH AS1926.1 & AS1926.2.
GATE TO SWING OUTWARDS WITH SELF CLOSING LATCHES, MAXIMUM GAP UNDER GATE 100mm. RELEASE LATCHING DEVICE MIN 1500 ABOVE ADJACENT GROUND LEVEL



SA – 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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DRAWING: FLOOR PLAN

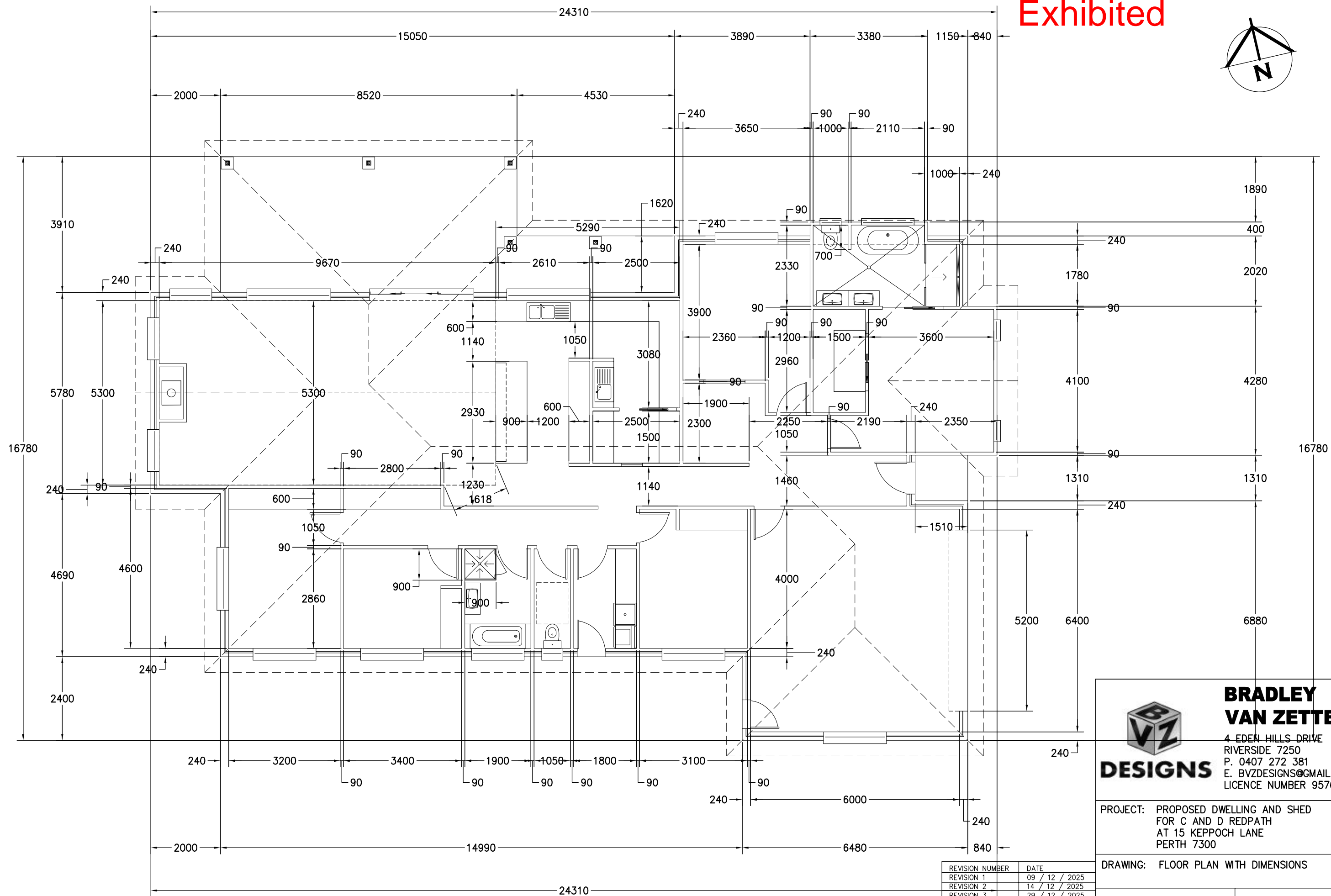
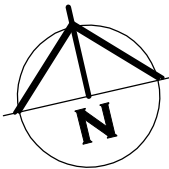
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AREA TABLE


	SQUARE METER	BUILDING SQUARES
FLOOR AREA	268.6	28.9
ALFRESCO AREA	40.6	4.4
PORCH AREA	1.9	0.2
TOTAL AREA	311.1	33.5

Exhibited



FLOOR PLAN WITH DIMENSIONS

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DRAWING: FLOOR PLAN WITH DIMENSIONS

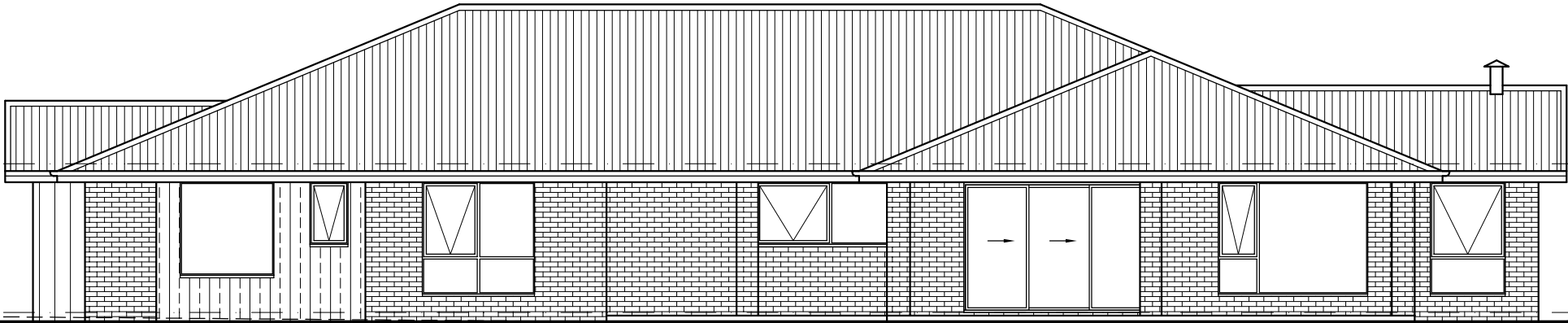
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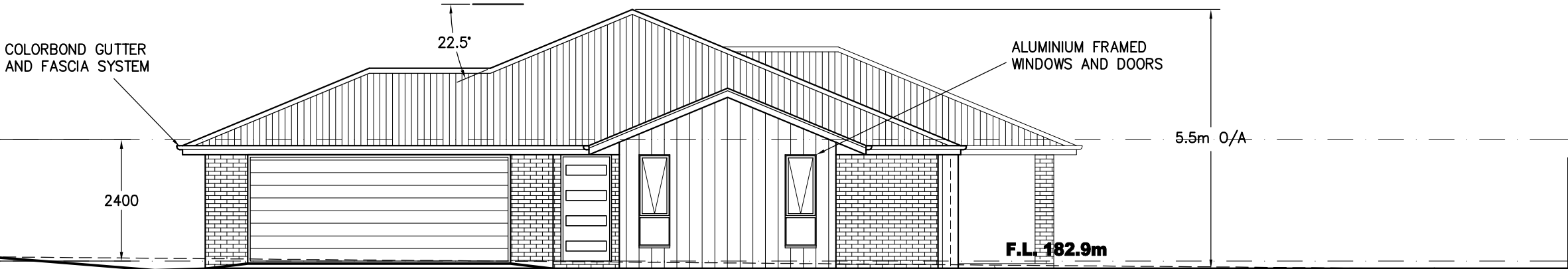
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
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



NORTH ELEVATION




EAST ELEVATION

- 


BRICK VENEER CLADDING
- 

JAMES HARDIES CEMENT SHEET CLADDING (AXON)
INSTALLED AS PER JAMES HARDIES INSTALLATION MANUAL WITH CAVITY FIXING
- 

COLORBOND CUSTOM ORB SHEET ROOFING
- 

COLORBOND NAIL STRIP SHEET WALL CLADDING

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DRAWING: ELEVATIONS

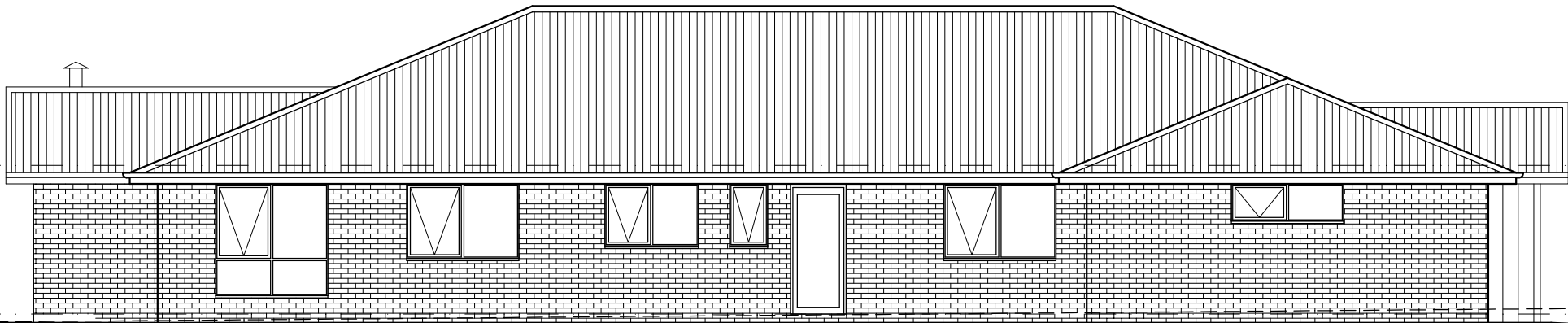
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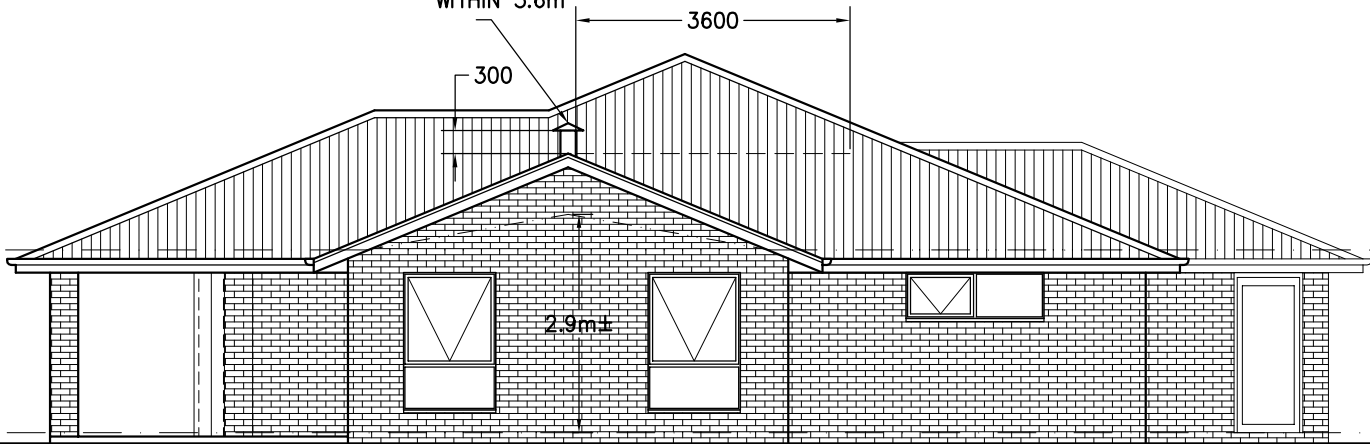
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Exhibited



SOUTH ELEVATION

12.4.4 (d) THE FLUE MUST TERMINATE IN ACCORDANCE WITH FIGURE 12.4.3. TERMINATION HEIGHT 300mm MINIMUM ABOVE THE HIGHEST PAR OF THE BUILDING WITHIN 3.6m



WEST ELEVATION



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ROOF PLAN

SHEET ROOF
75x38mm HARD WOOD OR 70x35mm MGP12
BATTENS AT 900mm MAX 900mm CRS AND SPAN.

RANGEHOOD AND BATHROOM EXTRACTION FANS
DUCTED TO EAVE/WALL VENT

COLORBOND CUSTOM ORB ROOF SHEETING
AT 22.5° ONE AND A HALF CORRUGATION
SIDE LAP (TYPICAL). FIXED AT SIDE LAPS.
3 FIXINGS FOR INTERNAL SPANS AND
5 FOR END SPANS. FIXED WITH ROOFZIPS
M6-11x50mm FOR SOFTWOOD AND STEEL
0.55-1.0mm BMT BATTENS
12-14x35 METAL TEK 1.0-3.0mm BMT
STEEL BATTENS
12-11x50mm FOR HARDWOOD

VALLEY GUTTER IS OVER 12.5 DEGREES
AS PER 7.4.4

COLORBOND GUTTER AND FASCIA SYSTEM

450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED

ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL
FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION
MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF
OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW
MEASURERS OR THE LIKE

DOWNPIPES MUST--

(A)NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH
DOWNPIPE; AND

(B)BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS;
AND

(C)BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES
GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B
AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM
RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED
WITH 90MM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR
1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

(1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF
GUTTER; AND

(a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25
MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.

(2) FOR A CONTROLLED BACK GAP WITH--

(a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE
GUTTER BACK AND THE FASCIA; AND

(b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN
50 MM WIDE; AND

(c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM
BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M,
CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.

(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE
A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED
OFFSET OF
THE GUTTER FROM THE FASCIA.

ROOF OVER 15 DEGREES

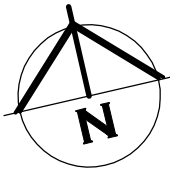
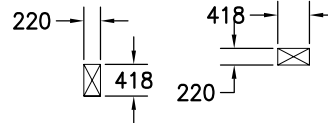
BAL ZONE - BRADFORD 418x220mm METAL VENT WITH 0.035sq/m
OPENING PER VENT - THEREFORE ONE VENT INSTALLED PER 4.8m
LINEAR METER OF WALL

HIP/RIDGE VENTILATION

NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT
MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS
PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL
CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH
SPACING AS PER DETAILS ABOVE

BRADFORD 418x220mm VENTS



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DRAWING: ROOF PLAN

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