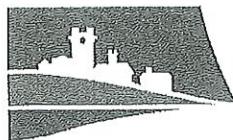


This planning application is open for
public comment until
03 March 2026

Reference no	PLN-26-0014
Site	15 KEPPOCH LANE PERTH
Proposed Development	Single Dwelling & Outbuilding (Shed)
Zone	11.0 Rural Living
Use class	Residential

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



NORTHERN
MIDLANDS
COUNCIL

PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

The Proposal

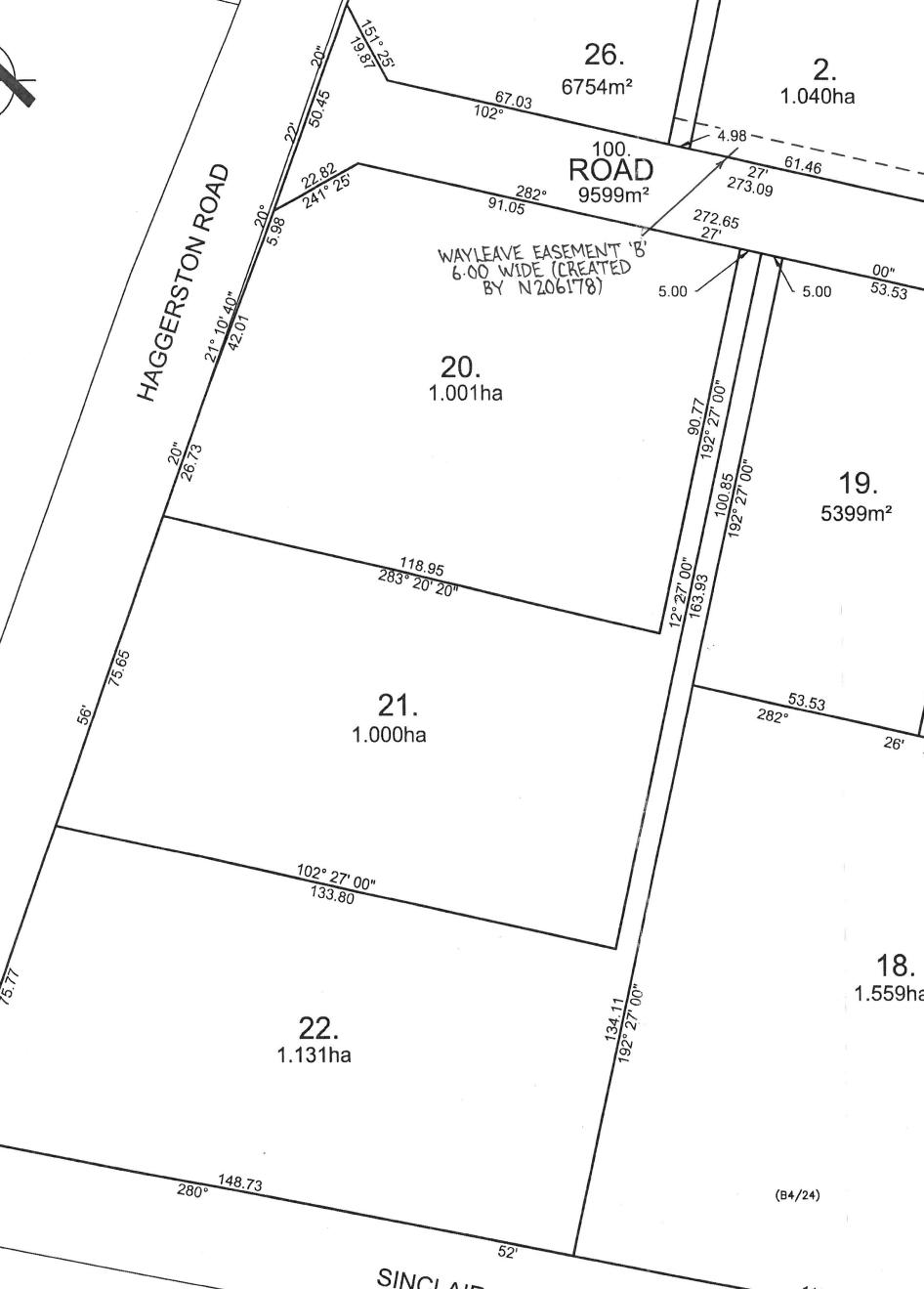
Description of proposal: Dwelling & Shed

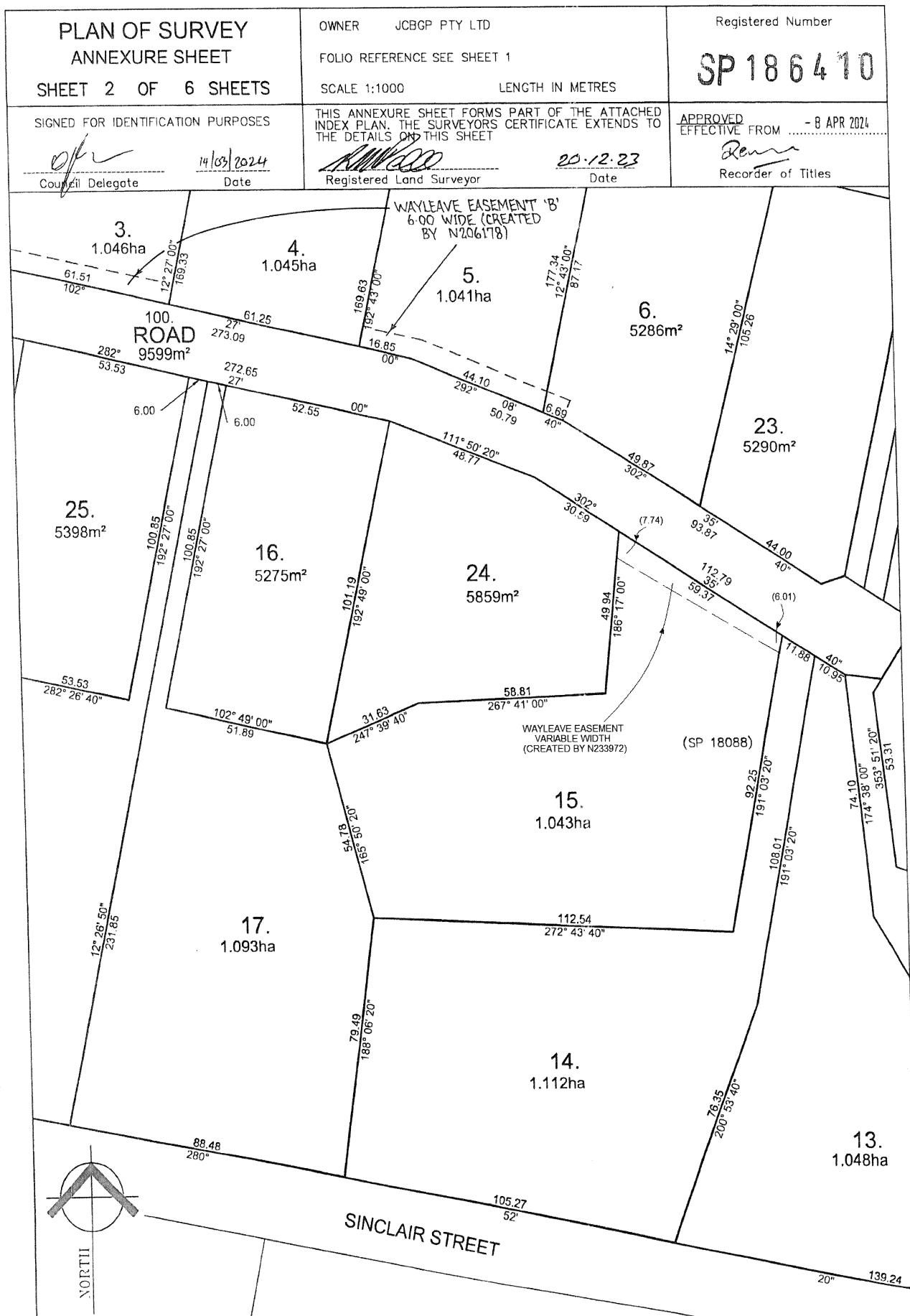
Driveway construction material:	GRAVEL
The Land	
Site address:	15 KEPPOCH LANE PERTH 7300
Title reference:	C/T: 186410/7
Existing buildings on site:	N/A
Existing use of site:	N/A

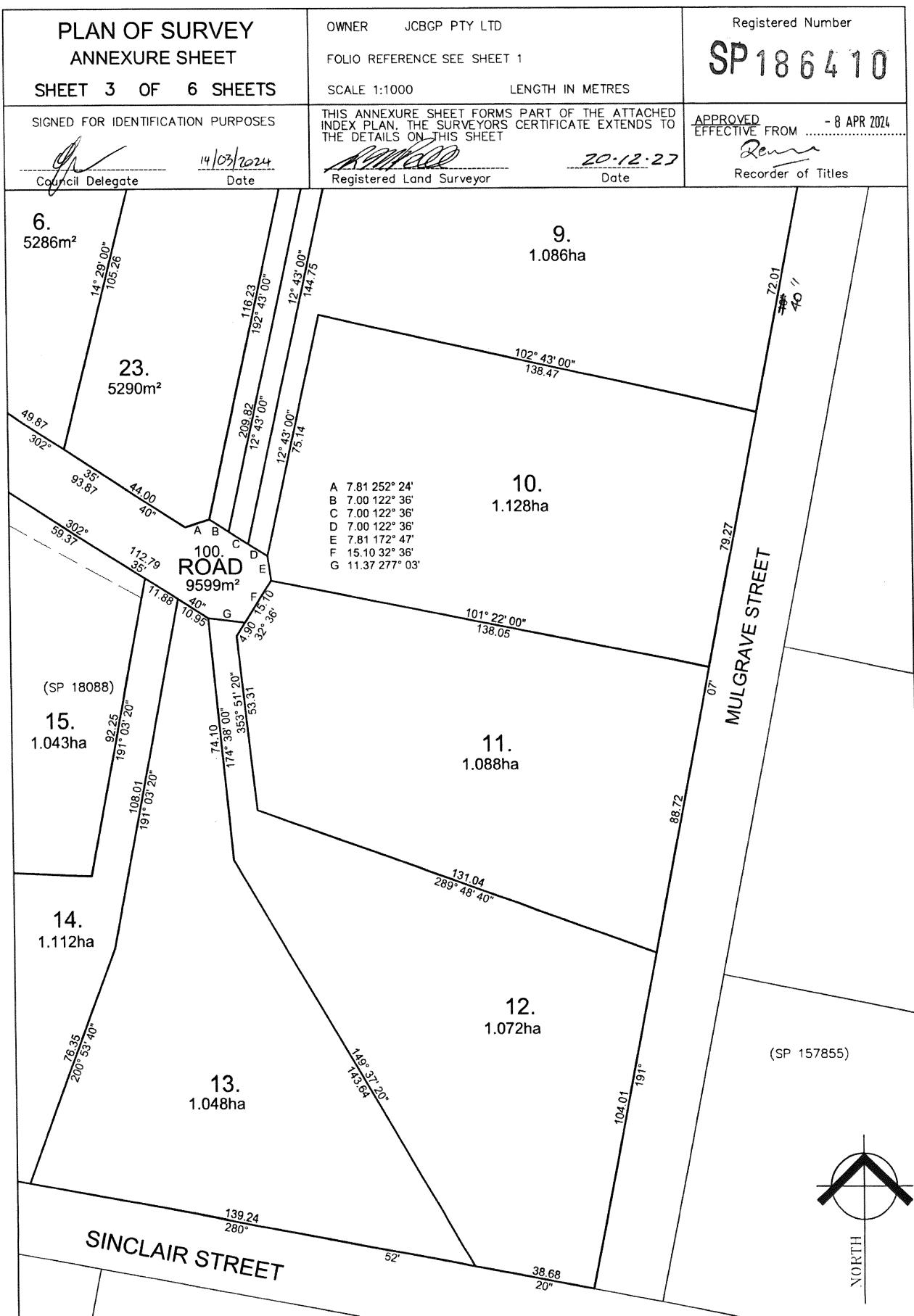
Applicant justification of any variation/discretion to the Tasmanian Planning Scheme – Northern Midlands

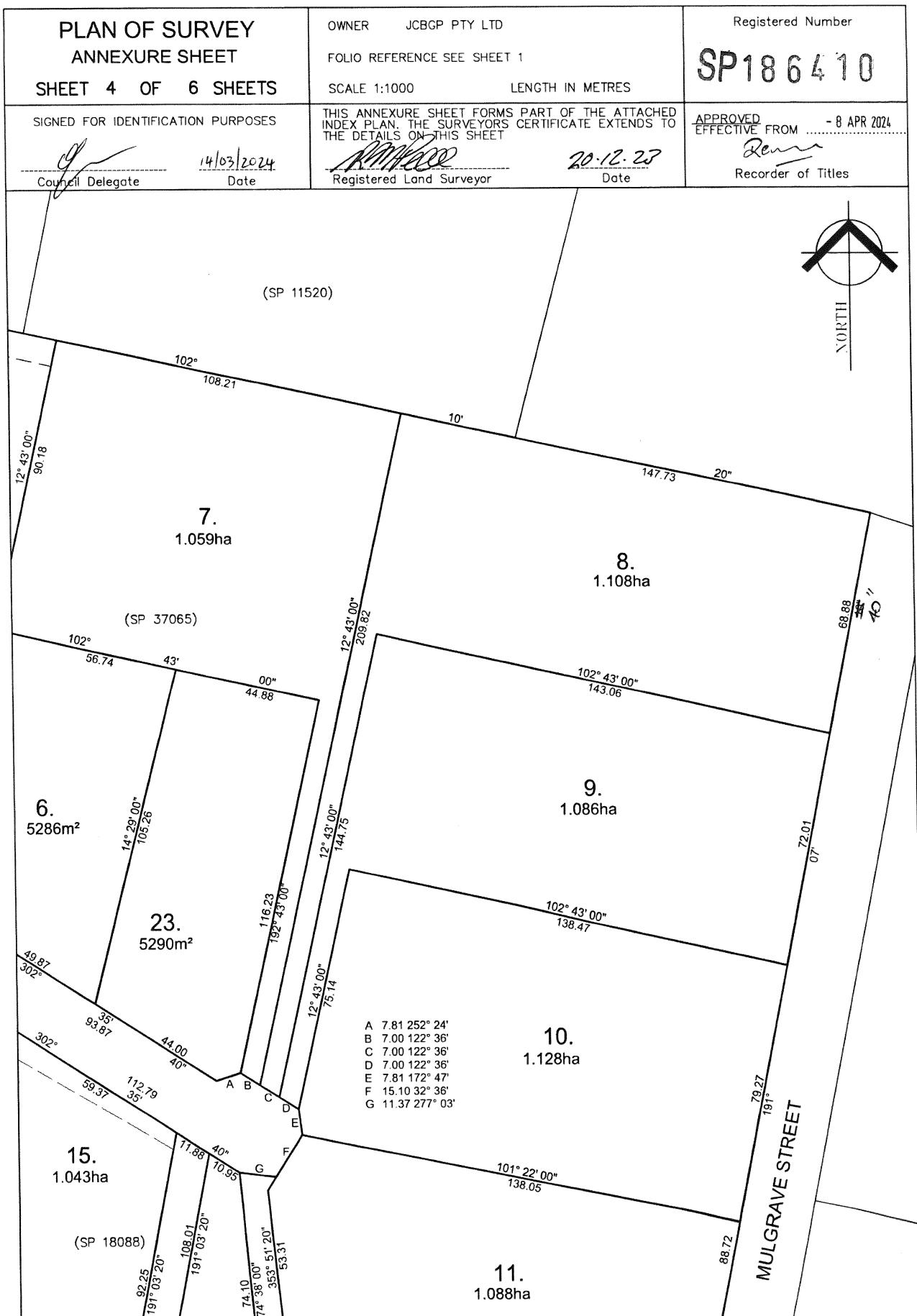
OVER 400 SQM BUILDING AREA
LESS THAN 6% SITE COVERAGE OF BUILDINGS

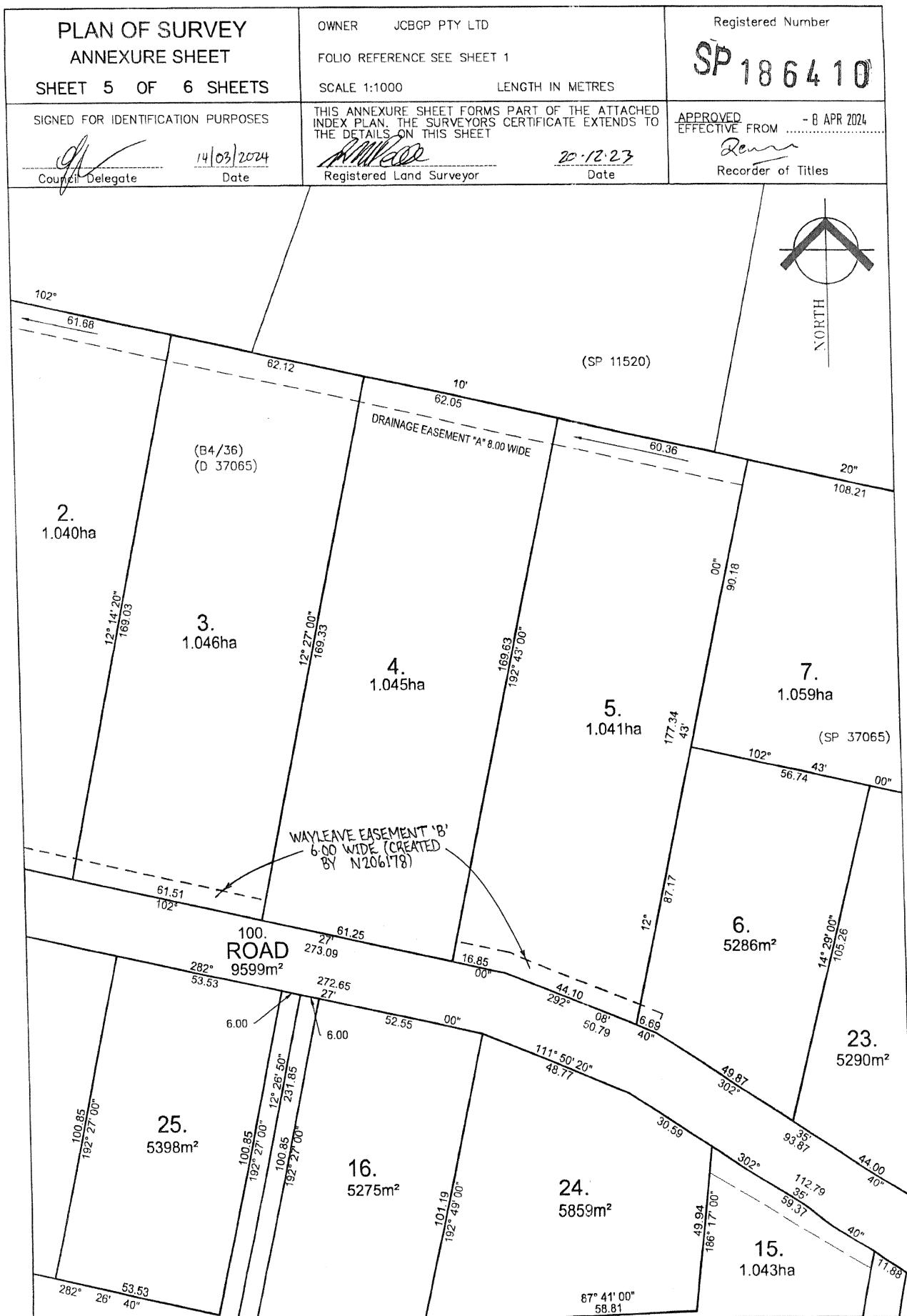
OWNER FOLIO REFERENCE GRANTEE	PLAN OF SURVEY BY SURVEYOR LOCATION SCALE 1:3000	Registered Number SP186410 APPROVED EFFECTIVE FROM - 8 APR 2024 Recorder of Titles
JCBGP PTY LTD C.T. 37065/100 C.T. 18088/7, C.T. 18088/1 PART OF 23° 3' 33" AND PART OF LOT 1 GRANTED TO FREDRICK JAMES HOUGHTON WHOLE OF 22° 2' 11.1/2" P GRANTED TO GEORGE GRIFFITHS AND WHOLE OF 5° 3' 34" GRANTED TO WILLIAM HOYLE	R. M. PECK TOWN OF PERTH CORNWALL - PERTH 23.142 LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No (123)	LAST UPI No	LAST PLAN No. D37065 & P18088 ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
<p>Survey map showing land parcels and roads. Key features include MIDLAND HIGHWAY (P 2602), HAGGERSTON ROAD, 100 ROAD, SINCLAIR STREET, and MULGRAVE STREET. Lots are numbered 1 through 26. Lot 1 is 5777m². Lot 26 is 6754m² and labeled 'PUBLIC OPEN SPACE'. There are drainage easements 'A' and 'B' and wayleave easements 'B'. Surveyor signatures and dates are at the bottom.</p>		

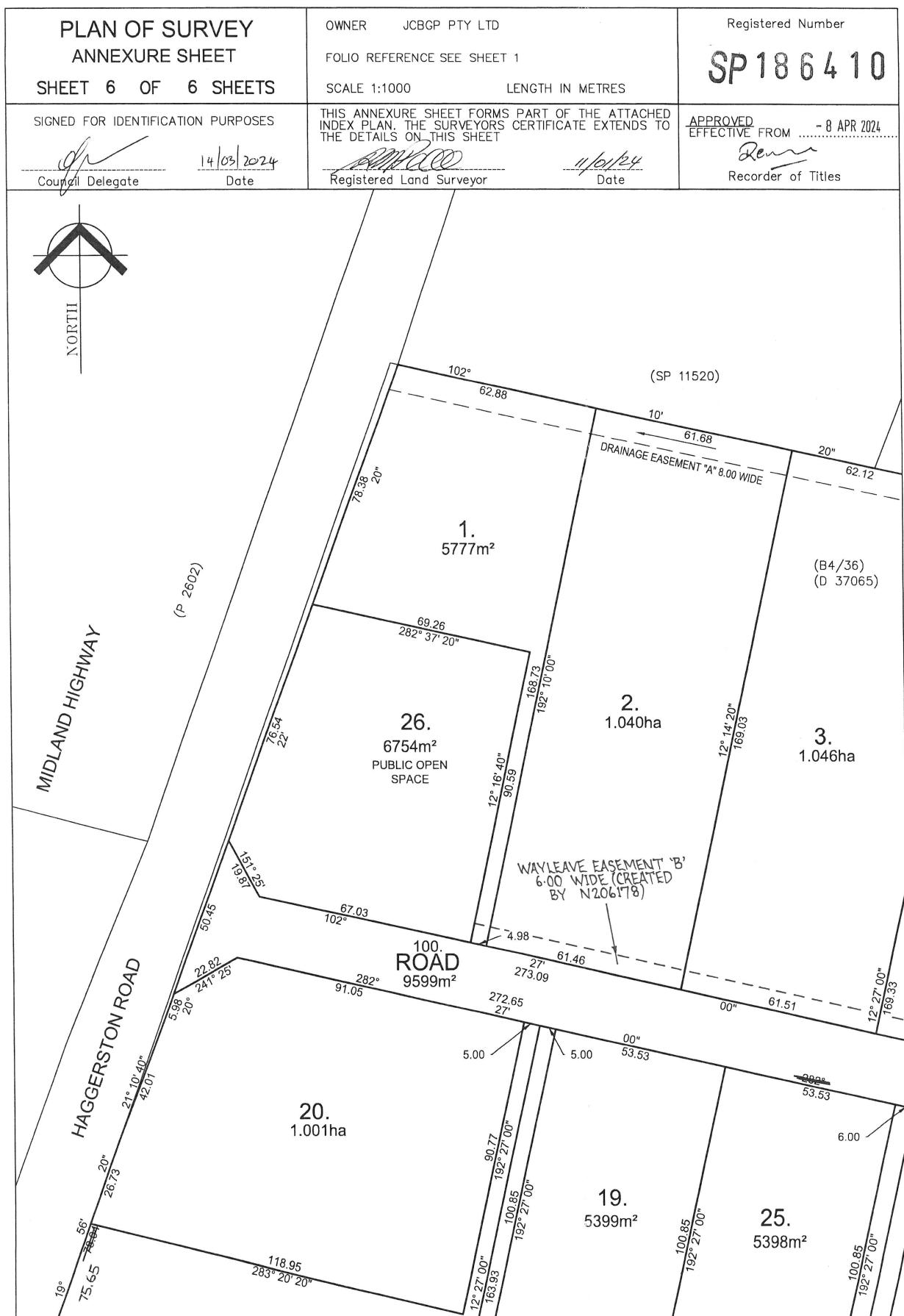
PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 6 SHEETS		OWNER JCBGP PTY LTD FOLIO REFERENCE SEE SHEET 1 SCALE 1:1000	Registered Number SP186410
SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate		THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYOR'S CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET <i>[Signature]</i> Registered Land Surveyor	
14/03/2024 Date		APPROVED EFFECTIVE FROM - 8 APR 2024 <i>[Signature]</i> Recorder of Titles	
 <p>NORTH</p>  <p>HAGGERSTON ROAD</p> <p>ROAD 100. 9599m²</p> <p>WAYLEAVE EASEMENT 'B' 6.00 WIDE (CREATED BY N206178)</p> <p>26. 6754m²</p> <p>2. 1.040ha</p> <p>3. 1.046ha</p> <p>20. 1.001ha</p> <p>21. 1.000ha</p> <p>19. 5399m²</p> <p>25. 5398m²</p> <p>22. 1.131ha</p> <p>18. 1.559ha</p> <p>SINCLAIR STREET</p> <p>(P 18088)</p> <p>(B4/24)</p>			











LEGEND
PAGE 1# COVER PAGE
PAGE 2# EXISTING SITE SURVEY PLAN
PAGE 3# SITE PLAN
PAGE 4# BUSHFIRE MANAGEMENT PLAN
PAGE 5# SOIL AND WATER MANAGEMENT PLAN
PAGE 6# SHED PLAN
PAGE 7# SHED ELEVATIONS
PAGE 8# FLOOR PLAN
PAGE 9# FLOOR PLAN WITH DIMENSIONS
PAGE 10# ELEVATIONS
PAGE 11# ELEVATIONS
PAGE 12# ROOF PLAN

COUNCIL – NORTHERN MIDLANDS COUNCIL
ZONE – RURAL LIVING ZONE A
CODE – BUSHFIRE PRONE AREA
SAFEGUARDING OF AIRPORTS – 211m AHD
PERTH SPECIFIC AREA PLAN NOR-S7.0
LANDSLIDE BAND – NIL

TITLE REFERENCE - 186410/7
PROPERTY ID - 9022550

BUSHFIRE-PRONE AREA BAL RATING BAL12.5
AS PER SUBDIVISION BUSHFIRE REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
REFER TO ENERGY REPORT BY 2DR

Exhibited

ALPINE AREA - N/A LESS THAN 900m AHD

OTHER HAZARDS - N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF
BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD
HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE
PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES
THEN THESE MUST BE CONFIRMED ONSITE BY A
SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED
APPROVED' PLANS BY BUILDING SURVEYOR AND
PERMIT AUTHORITY

**H4D9 CONDENSATION MANAGEMENT TO BE
COMPLIANT WITH NCC PART 10.8 CONDENSATION
MANAGEMENT.**

(1) REFER TO THE GUIDANCE IN THE "CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ IN CONJUNCTION WITH THE NCC.

IF ANY DISCREPANCIES, APPARENT ERROR,
ANOMALY OR AMBIGUITY WITHIN THE
DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE
CONTACTED PRIOR TO ANY MORE CONSTRUCTION
CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND
THAT THE NOTED DIMENSIONS ARE USED FOR
ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED DWELLING AND SHED FOR C AND D REDPATH AT 15 KEPPPOCH LANE PERTH 7300



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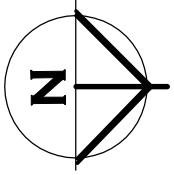
C

BRADLEY VAN ZETTEN 2025

THE DESIGN, DETAILS AND SPECIFICATIONS ON THIS PLAN ARE PROJECT SPECIFIC AND MUST NOT BE USED ON ANY OTHER WITHOUT EXPRESS PERMISSION OF THE AUTHOR.

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REVISION 5	03 / 02 / 2026

Exhibited



EXISTING SITE SURVEY PLAN

(C) BRADLEY VAN ZETTEN 2025

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PERTH 7300

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 03 / 02 / 26
SCALE - A3 - 1:1000.	DRAWING No.: RED1225 - 2/12

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COLOR. GREEN TEXT IN THE NOTE
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CUT/FILL BATTER MAX GRADE OF 1:10 IN
PRIVATE OPEN SPACE
1:10 DRIVEWAY TURNING AREA
1:4 DRIVEWAY NON-TURNING AREA

COMPACTED GRAVEL DRIVEWAY TO FALL TO PEROUS GROUND. ENSURE NO CONCENTRATED STORMWATER DISCHARGE ONTO NEIGHBOURING LOTS

WESTERN END OF SHED AND REAR
OF HOUSE GARAGE INSTALLED INLINE
WESTERN ALIGNMENT OF BOUNDARY
POINT

2/20000L
WATER TANK

PROPOSED SHED

Exhibited

SITE PLAN

DWELLING SETOUT IS PARALLEL
TO SOUTH BOUNDARY

**ESTIMATE AS PER FUTURE GEOTON
REPORT.**



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DRAWING: SITE PLAN

REVISION NUMBER
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REVISION 2
REVISION 3
REVISION 4
REVISION 5

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 03 / 02 / 26

SCALE - A3 - 1:50

DRAWING No.:
RED1225 - 3/12

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1

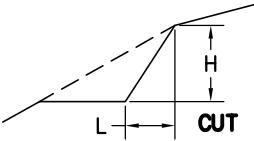
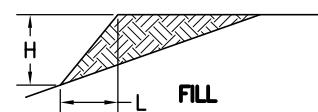


TABLE 3.2.1: SOIL TYPE

EMBANKMENT SLOPES H:L

		COMPACTED FILL	CUT
STABLE ROCK		3: 3	8: 1
SAND		1: 2	1: 2
CLAY	FIRM CLAY	1: 2	1: 1
	SOFT CLAY	NOT SUITABLE	2: 3
SOFT SOILS		NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

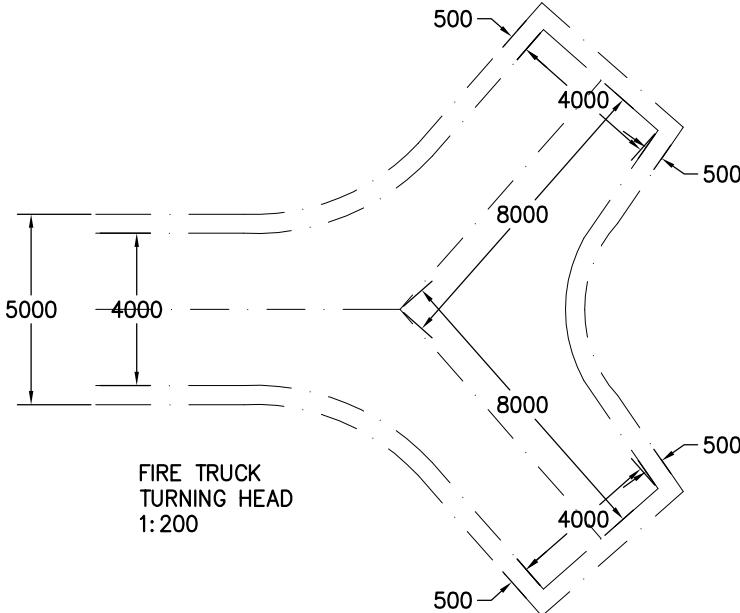
(1)A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
(A)WITHIN THE ALLOTMENT; AND
(B)NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
(C)NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2)FILL, USING AN UN-RETAINED EMBANKMENT MUST--
(A)BE PLACED WITHIN THE ALLOTMENT; AND
(B)BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
(C)BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
(D)BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
(E)WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
(F)HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

SITE AREA TABLE

	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	10590	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	611	5.8
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	900	8.5
AREA FREE FROM BUILDING AND DRIVEWAY AREA	9079	85.7

Exhibited



PROPERTY ACCESS TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT

THE FOLLOWING DESIGN AND CONSTRUCTION REQUIREMENTS APPLY TO PROPERTY ACCESS LENGTH IS 30 METRES OR GREATER OR ACCESS FOR A FIRE APPLIANCE TO A FIRE FIGHTING WATER POINT:

- (i) All weather construction;
- (ii) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (iii) Minimum carriageway width of 4 metres;
- (iv) Minimum vertical clearance of 4 metres;
- (v) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (vi) Cross falls of less than 3 degrees (1:20 or 5%);
- (vii) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (viii) Curves with a minimum inner radius of 10 metres;
- (ix) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5 or 18%) for unsealed roads; and
- (x) Terminate with turning area for fire appliances provided by one of the following:
 - a) A turning circle with a minimum inner radius of 10 metres;
 - b) A property access encircling the building; or
 - c) A hammerhead ^T or ^Y turning head 4 metres wide and 8 metres long.

WHERE PROPERTY ACCESS IS GREATER THAN 200m

Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres (minimum 1 required).

BUSHFIRE MANAGEMENT PLAN

10000L WATER TANK TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT

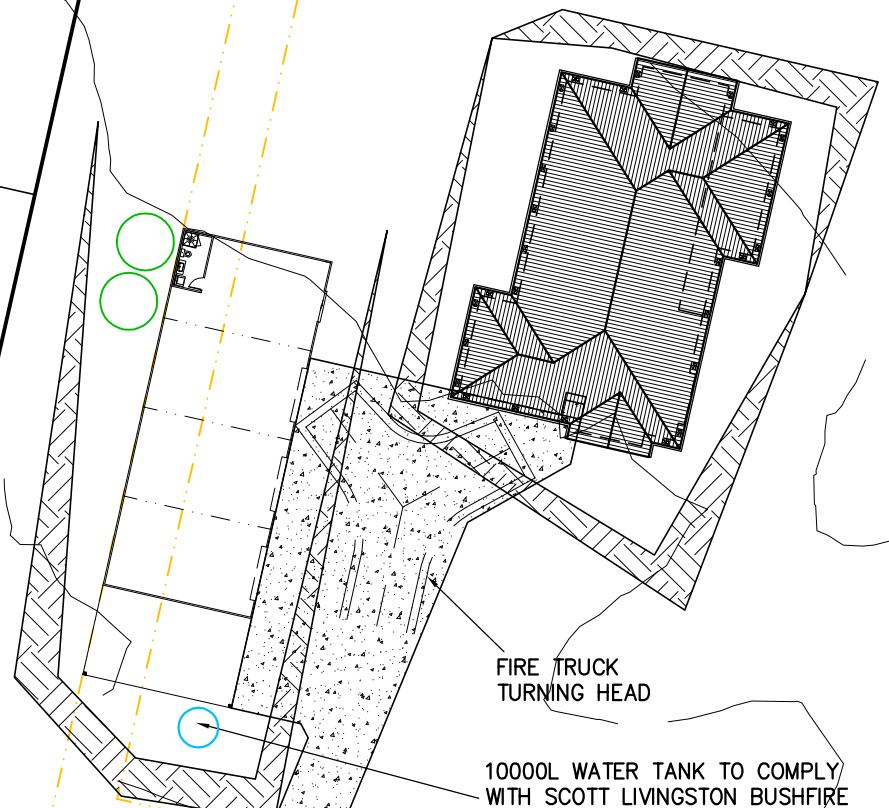
- MINIMUM 6m FROM BUILDING
- MAXIMUM 3m FROM HARDSTANDING AREA
- MAXIMUM 90m HOSE LAY TO FURTHEST PART OF BUILDING

SEE REPORT FOR FURTHER TANK REQUIREMENTS DETAILS

10000L WATER TANK TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT

- MINIMUM 6m FROM BUILDING
- MAXIMUM 3m FROM HARDSTANDING AREA
- MAXIMUM 90m HOSE LAY TO FURTHEST PART OF BUILDING

SEE REPORT FOR FURTHER TANK REQUIREMENTS DETAILS



10000L WATER TANK TO COMPLY WITH SCOTT LIVINGSTON BUSHFIRE HAZARD MANAGEMENT REPORT

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PROJECT: PROPOSED DWELLING AND SHED
FOR C AND D REDPATH
AT 15 KEPPOCH LANE
PERTH 7300

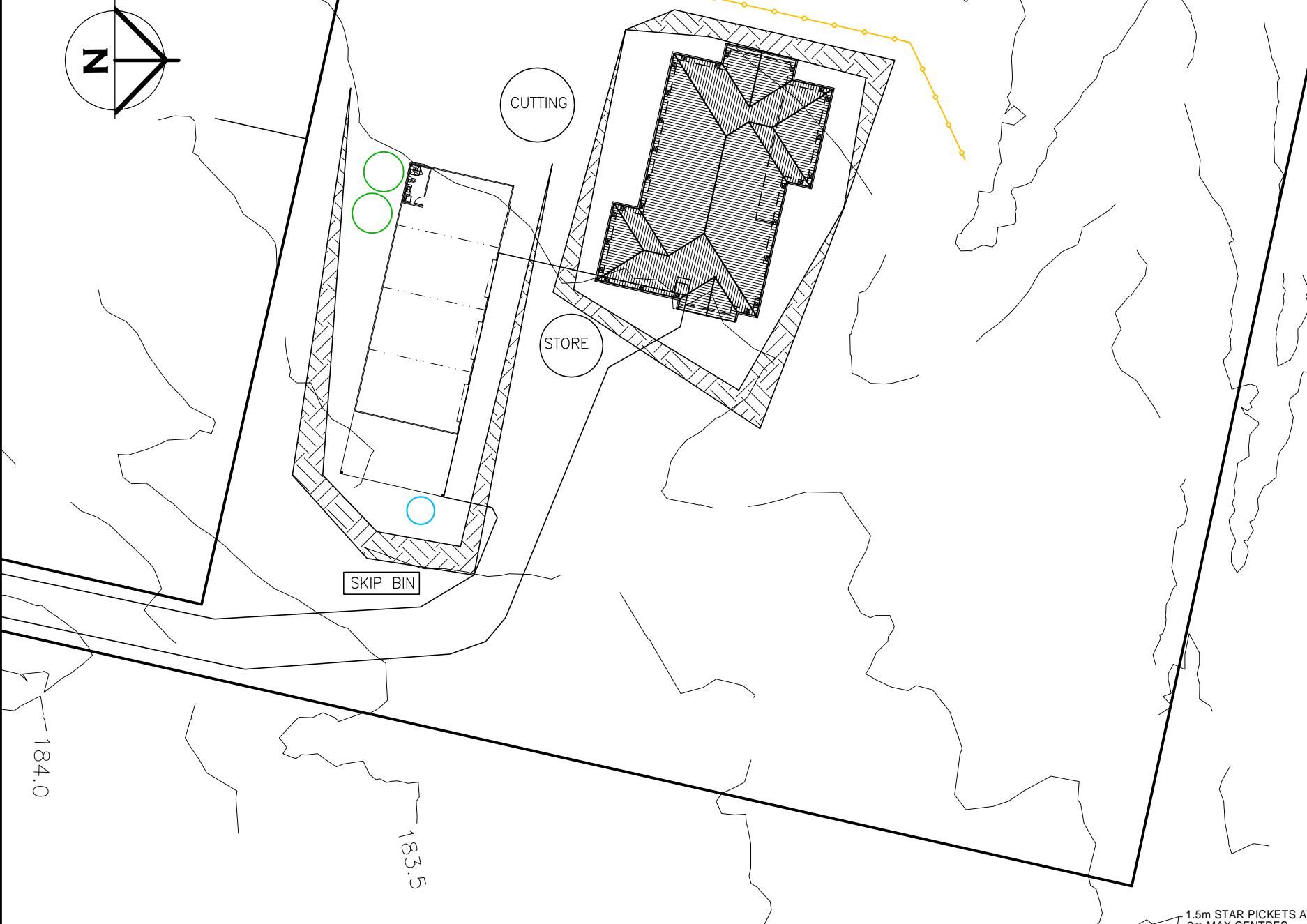
DRAWING: BUSHFIRE MANAGEMENT PLAN

DESIGNED: B. v. Z. DRAWN: B. v. Z. APPROVED.
DATE: 03 / 02 / 26

SCALE - A3 - 1:500. DRAWING No.:
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SOIL AND WATER MANAGEMENT PLAN

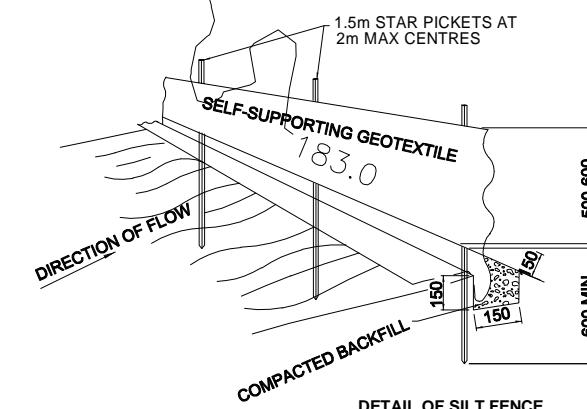
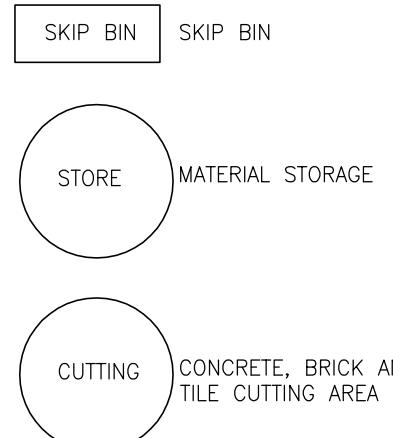
SILT FENCE AS PER DETAIL

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS
SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN.
TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND
USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A
SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL



DETAIL OF SILT FENCE

SEDIMENT FENCE NOTES:

1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION.
2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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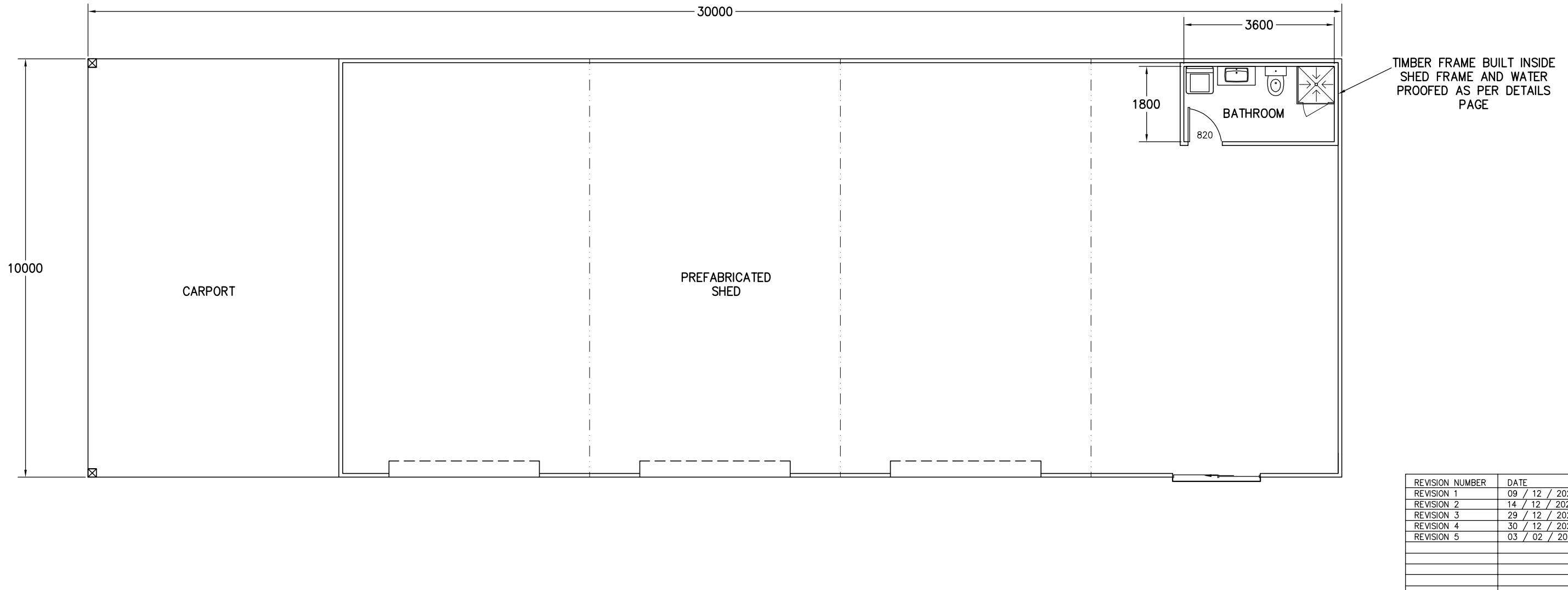
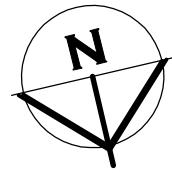
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DRAWING: SOIL AND WATER MANAGEMENT PLAN

DESIGNED: B. v. Z. APPROVED.
DRAWN: B. v. Z. DATE: 03 / 02 / 26

SCALE - A3 - 1:200. DRAWING No.:
RED1225 - 5/12

Exhibited



FLOOR PLAN

SHED CONSTRUCTION DETAILS TO BE PROVIDED BY OTHERS AT BUILDING APPLICATION. THESE TO INCLUDE EXACT OPENING LOCATION AND SIZING

AREA TABLE		
	SQUARE METER	BUILDING SQUARES
SHED AND CARPORT AREA	300.0	32.3
TOTAL AREA	300.0	32.3

BRADLEY VAN ZETTEN

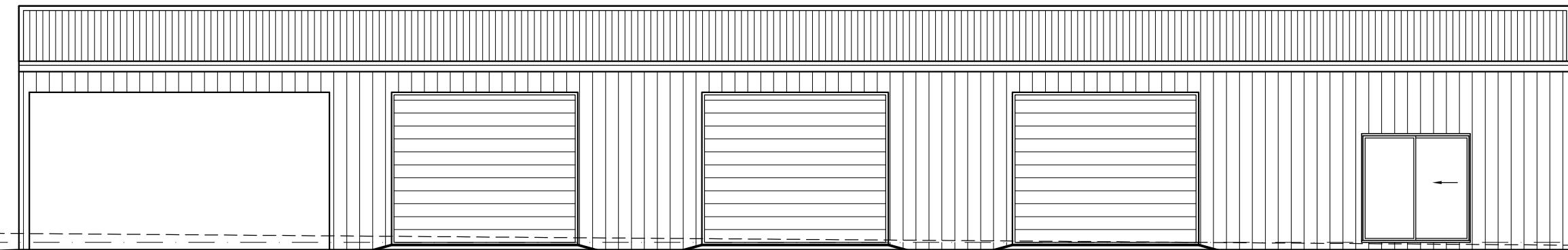
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DRAWING: SHED PLAN

APPROVED.
DATE: 03 / 02 / 26
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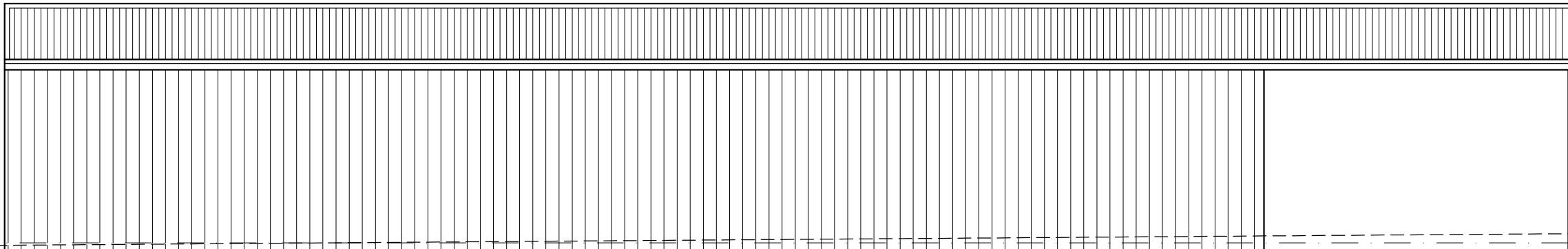
Exhibited



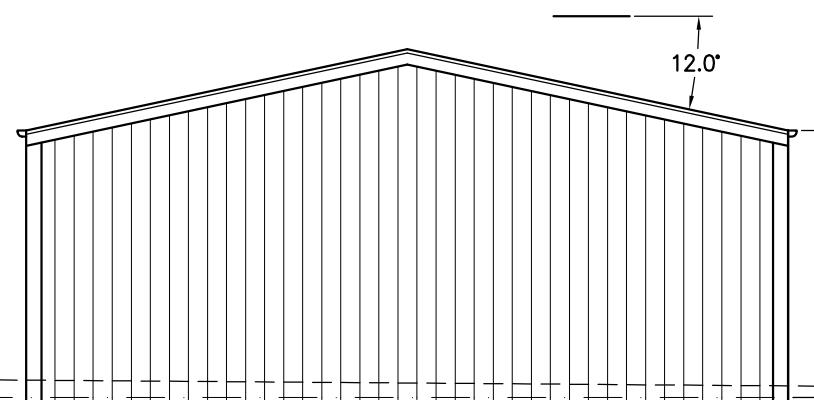
NORTH ELEVATION

||||| COLORBOND CUSTOM ORB
SHEET ROOFING

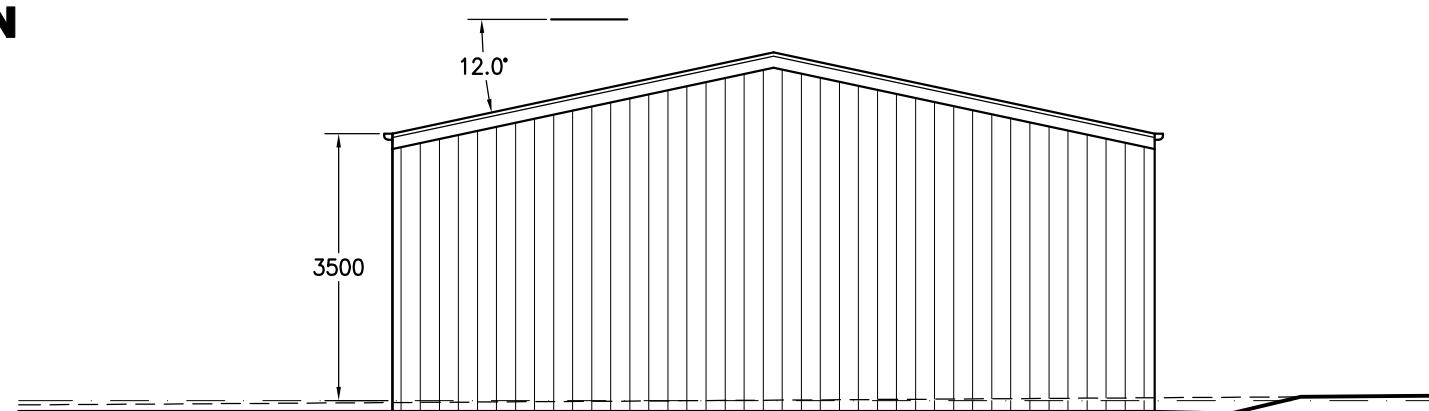
||| COLORBOND TRIMDEK
SHEET WALLING



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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DRAWING: SHED ELEVATIONS

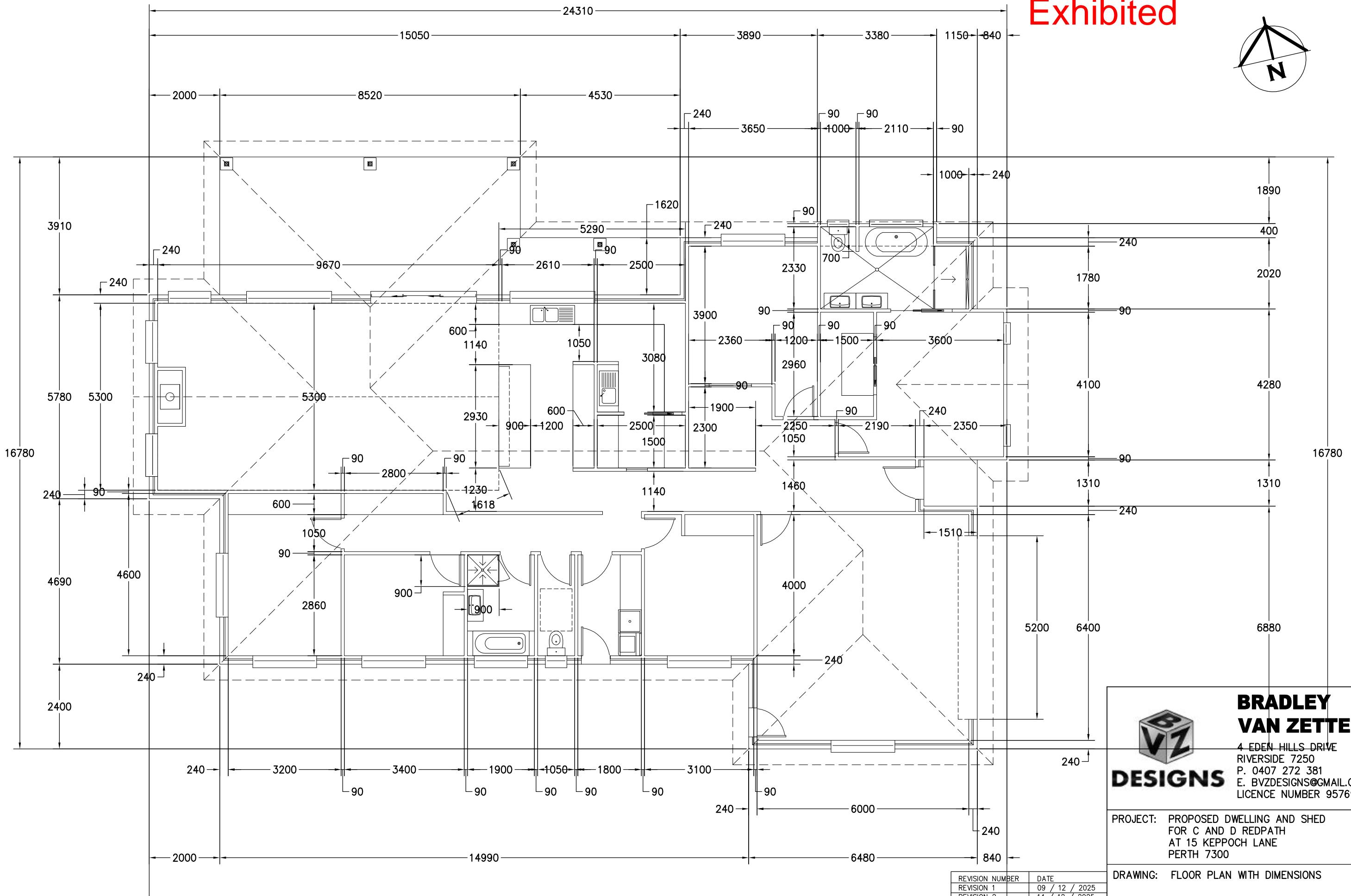
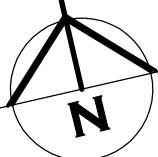
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DATE: 03 / 02 / 26

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DRAWING No.:
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Exhibited



FLOOR PLAN WITH DIMENSIONS

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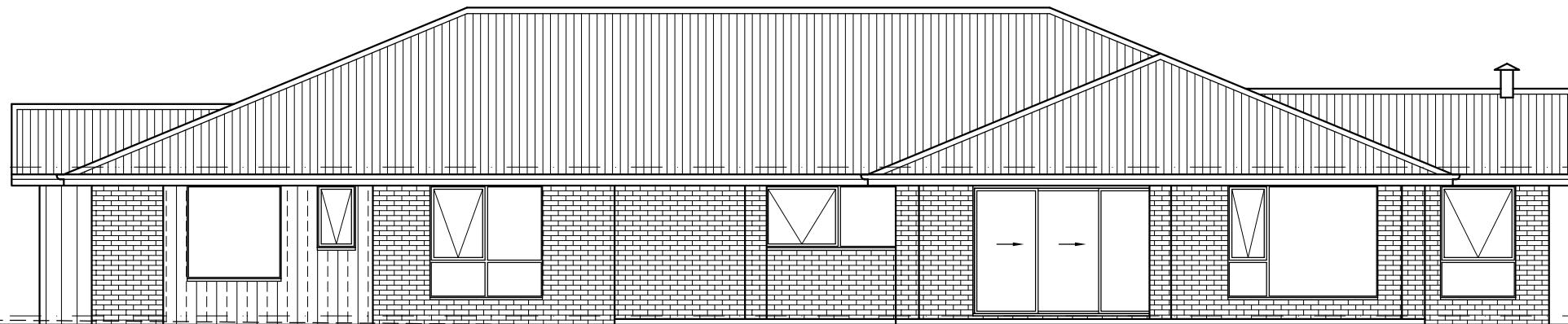
DRAWING: FLOOR PLAN WITH DIMENSIONS

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Exhibited



NORTH ELEVATION



EAST ELEVATION



BRICK VENEER CLADDING



JAMES HARDIES CEMENT SHEET
CLADDING (AXON)
INSTALLED AS PER JAMES HARDIES INSTALLATION
MANUAL WITH CAVITY FIXING



COLORBOND CUSTOM ORB
SHEET ROOFING



COLORBOND NAIL STRIP
SHEET WALL CLADDING

NATURAL GROUND
LEVEL

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REVISION 1	09 / 12 / 2025
REVISION 2	14 / 12 / 2025
REVISION 3	29 / 12 / 2025
REVISION 4	30 / 12 / 2025
REVISION 5	03 / 02 / 2026



**BRADLEY
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PROJECT: PROPOSED DWELLING AND SHED
FOR C AND D REDPATH
AT 15 KEPPOCH LANE
PERTH 7300

DRAWING: ELEVATIONS

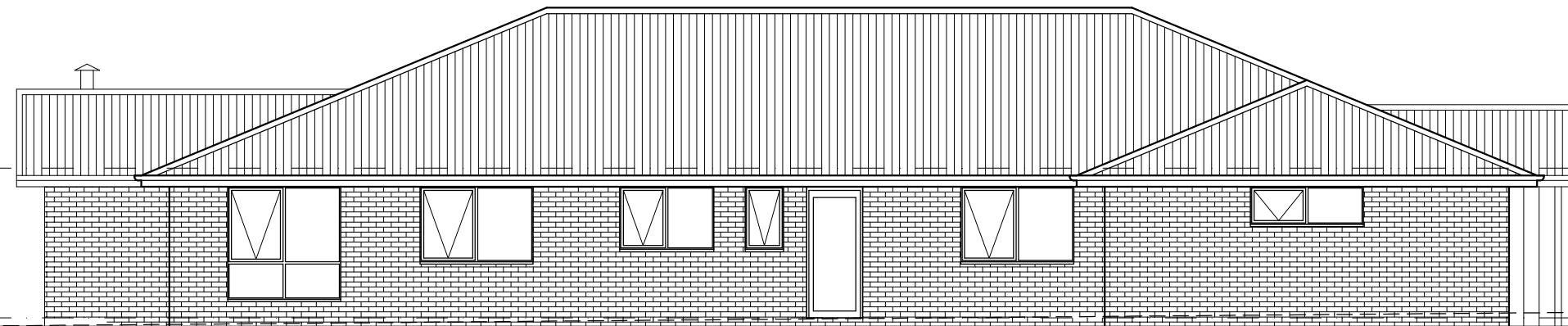
DESIGNED: B. v. Z.
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APPROVED.
DATE: 03 / 02 / 26

SCALE - A3 - 1:100.

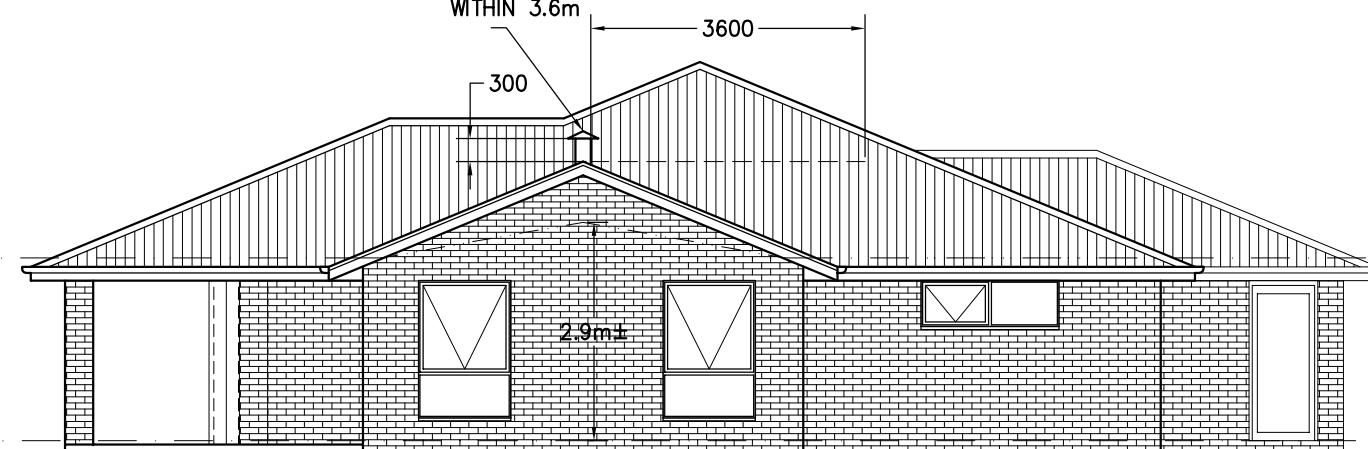
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SOUTH ELEVATION

12.4.4 (d) THE FLUE MUST TERMINATE IN
ACCORDANCE WITH FIGURE 12.4.3.
TERMINATION HEIGHT 300mm MINIMUM
ABOVE THE HIGHEST PART OF THE BUILDING
WITHIN 3.6m



WEST ELEVATION

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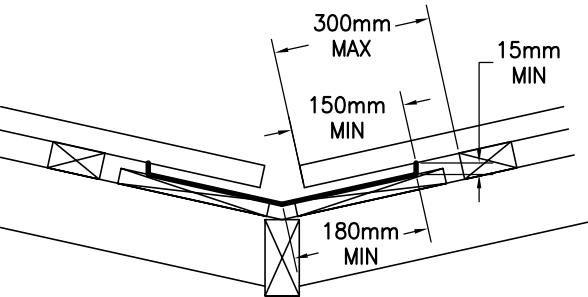
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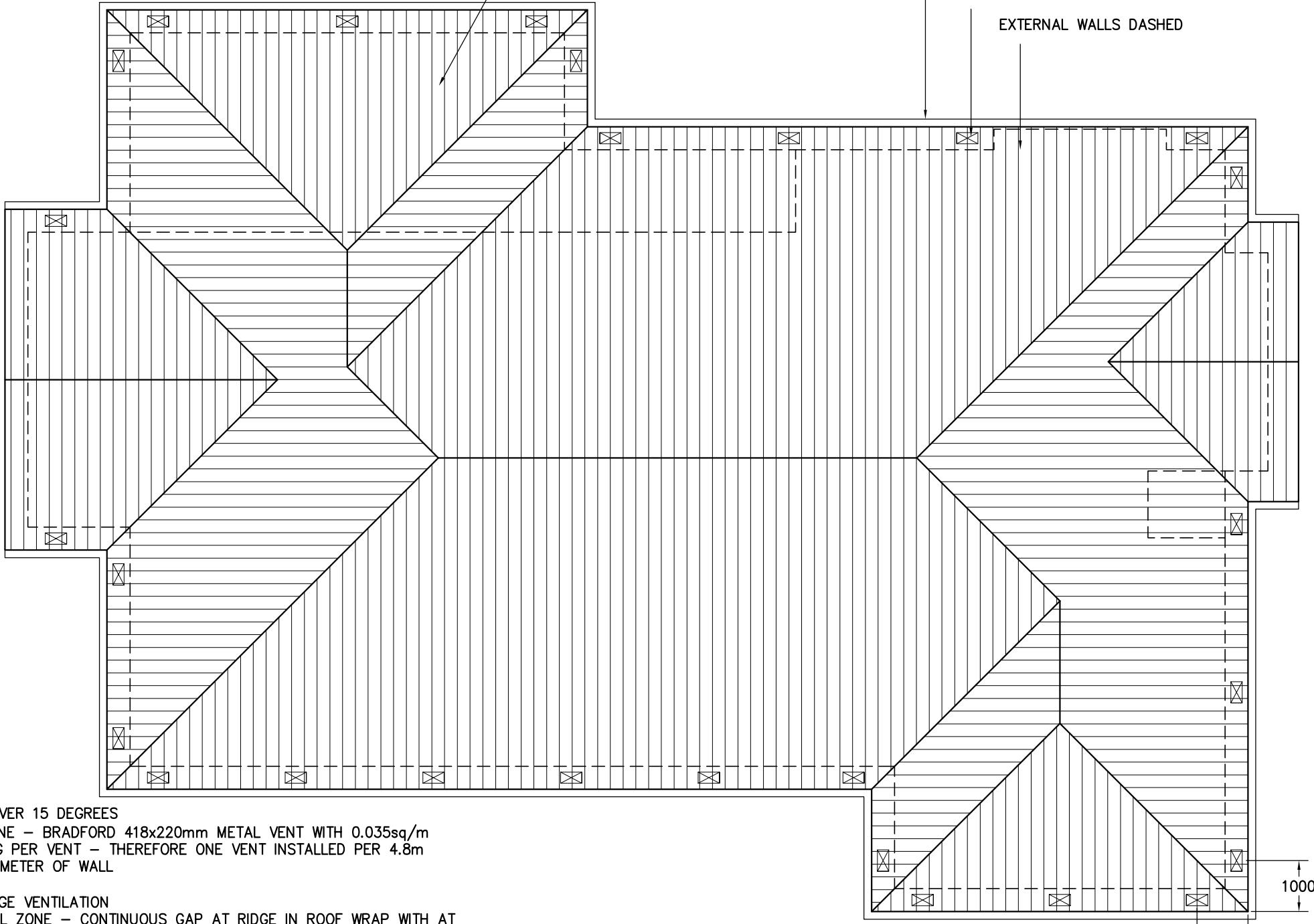
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ROOF PLAN



VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4

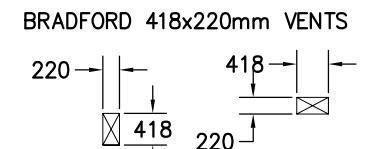
COLORBOND CUSTOM ORB ROOF SHEETING AT 22.5°. ONE AND A HALF CORRUGATION SIDE LAP (TYPICAL). FIXED AT SIDE LAPS. 3 FIXINGS FOR INTERNAL SPANS AND 5 FOR END SPANS. FIXED WITH ROOFZIPS M6-11x50mm FOR SOFTWOOD AND STEEL 0.55-1.0mm BMT BATTENS 12-14x35 METAL TEK 1.0-3.0mm BMT STEEL BATTENS 12-11x50mm FOR HARDWOOD



ROOF OVER 15 DEGREES
BAL ZONE - BRADFORD 418x220mm METAL VENT WITH 0.035sq/m OPENING PER VENT - THEREFORE ONE VENT INSTALLED PER 4.8m LINEAR METER OF WALL

HIP/RIDGE VENTILATION
NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPipes INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
• 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURES OR THE LIKE

DOWNPipes MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPipe; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

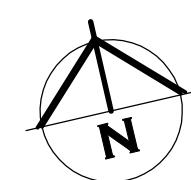
FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPipe MEDIUM RECTANGULAR CUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPipes

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH—
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
 - (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH—
 - (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 - (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
 - (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.



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