

Exhibited

This planning application is open for
public comment until
01 June 2026

| | |
|----------------------|---|
| Reference no | PLN-26-0012 |
| Site | 18 PULTNEY STREET (AND PULTNEY STREET ROAD RESERVATION) LONGFORD |
| Proposed Development | Multiple Dwellings (1 Existing & 7new), Stormwater works, & Additional Crossover |
| Zone | 8.0 General Residential |
| Use class | Residential |

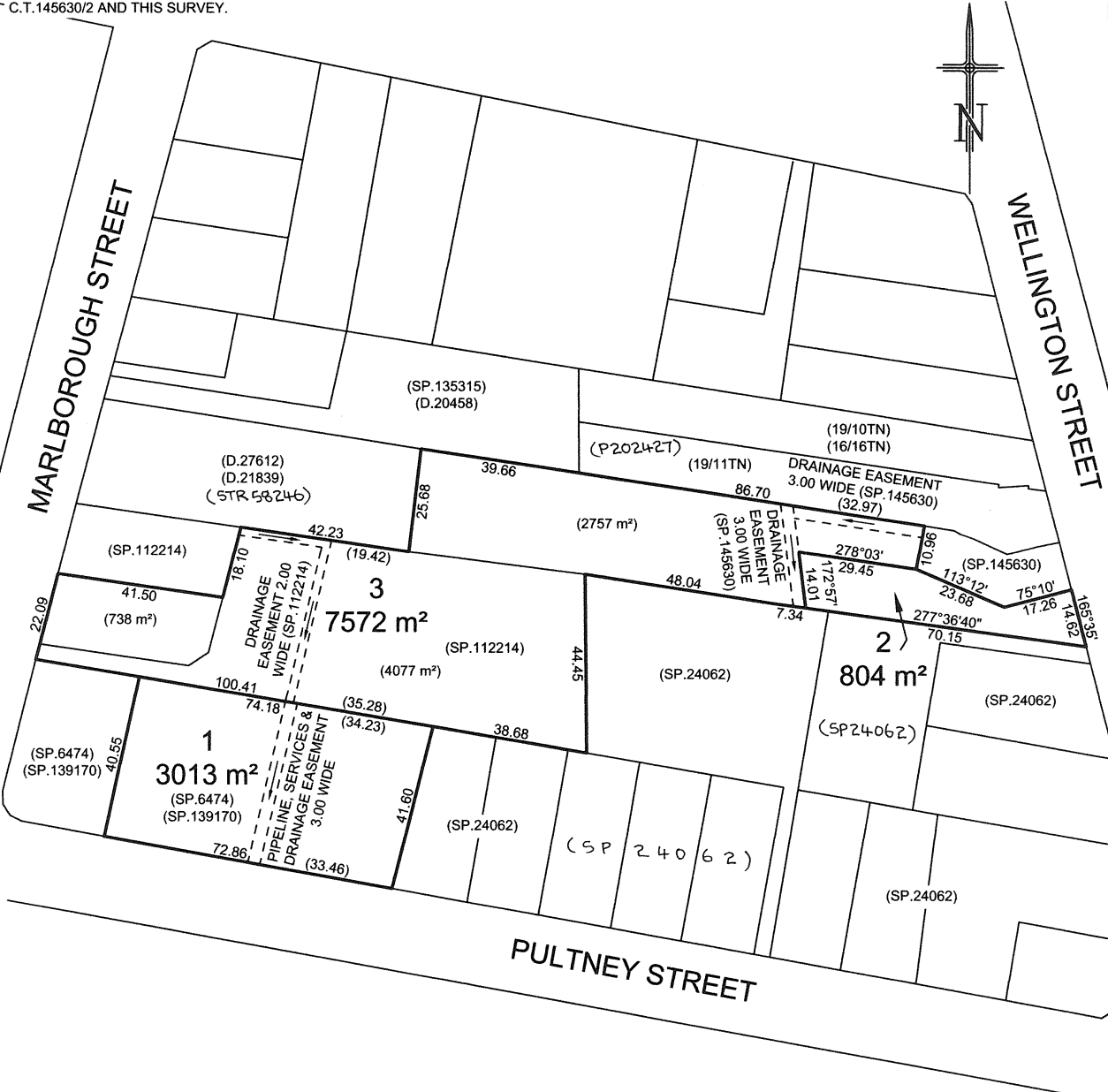
Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

| | | |
|---|--|--|
| OWNER: J.M. & J.F. DIXON & JAFFA INTERNATIONAL PTY LTD | PLAN OF SURVEY | Registered Number |
| FOLIO REFERENCE: C.T.112214/2, C.T.112214/3, C.T.139170/1 & C.T.145630/2 3-0-10 | | BY SURVEYOR: NICHOLAS GRIGGS of Nick Griggs & Co. 295 Elizabeth Street, North Hobart, 7000 Ph. 6234 5022 Fax 6231 2412 |
| GRANTEE: Part of 2-3-12 Granted to F. J. Houghton, Part of Lot 3 Sec. R/ Gtd. to F.F. Whitfield, Part of Lot 1, 3 Acres, Section R. Gtd to William Mason. | LOCATION: Parish of LONGFORD Land District of WESTMORLAND TOWN OF LONGFORD | APPROVED EFFECTIVE FROM 22 MAR 2019 |
| SCALE 1:1000 LENGTHS IN METRES | | Deputy Recorder of Titles |

LOT 1 IS COMPILED FROM C.T.139170/1 AND THIS SURVEY.
LOT 3 IS COMPILED FROM C.T.112214/2, C.T.112214/3, C.T.145630/2 AND THIS SURVEY.

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Registered Land Surveyor *[Signature]* 19/2/19 Date

Council Delegate *[Signature]* 19/2/19 Date

Exhibited



December 2025

PLANNING REPORT

MULTIPLE DWELLINGS - 8 UNITS

18 Pultney Street LONGFORD



Prepared by
Woolcott Land Services Pty Ltd
ABN 63 677 435 924

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| Rev.no | Description | Date |
|--------|-------------|------------------|
| 1 | Review | 11 December 2025 |
| 2 | Draft | |
| 3 | Final draft | 19 December 2025 |
| 4 | Review | 22 April 2026 |
| 5 | Final | 8 May 2026 |

Annexures

- Annexure 1 Copy of Title plan and Folio text
- Annexure 2 Site and building plans
- Annexure 3 Site Specific Study for permit application

References

Land Tasmania. 2021. *Land Information System Tasmania*. Accessed 2025.

<https://www.thelist.tas.gov.au/app/content/home/>.

Strategic Transport Planning Branch, Transport for NSW. 2024. *Guide to Transport Impact Assessment version 1.1*. NSW Government.

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1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

| Proposed development |
|--|
| Development - multiple dwellings (8)(7 proposed) |
| Demolition of outbuildings |

This application is to be read in conjunction with the following supporting documentation:

| Document | Consultant |
|--------------------------|-----------------------------|
| Site and building design | AREI (Abode Designer Homes) |
| Servicing plan | NTCADS |

2. Subject site and proposal

2.1 Site details

| | |
|----------------------|--|
| Address | 18 Pultney Street, Longford TAS 7301 |
| Property ID | 2231670 |
| Title | 176679/1 |
| Land area | 3013m ² |
| Planning Authority | Northern Midlands Council |
| Planning Scheme | Tasmanian Planning Scheme - Northern Midlands LPS (Scheme) |
| Easements | Pipeline easement |
| Application status | Discretionary application |
| Existing Access | Single access from Pultney Street to existing dwelling |
| Zone | GRZ |
| General Overlay | Longford Specific Area Plan |
| Overlays | Attenuation area Local heritage precinct (Part) Airport obstacle limitation area |
| Existing development | Single dwelling and outbuildings |

| Existing services and infrastructure | |
|--------------------------------------|----------|
| Water | Serviced |
| Sewer | Serviced |
| Stormwater | Serviced |

2.2 Proposal

The proposal is for seven additional dwellings to be constructed on the site, resulting in 8 dwellings on the site.

The existing dwelling has three bedrooms and vehicle access from Pultney Street with a single car garage.

The seven proposed dwellings will each have 2 bedrooms. Each proposed unit has 2 parking spaces and an area for private open space. Two visitor parking spaces are included to the site.

Several outbuildings on the lot will be removed or demolished.

2.3 Subject site

The site is located at 18 Pultney Street, Longford. It is a single lot, and identified as CT. 176679/1. The lot is generally rectangular with a frontage measuring 72.86m. The site has an existing dwelling and several outbuildings. The site also has a mature hedge for the majority of the frontage.

The surrounding area is predominantly residential.

2.4 Images



Figure 1 Aerial view of the subject site (Land Tasmania 2021)



Figure 2 Looking north east to west end frontage of subject site from Pultney Street



Figure 3 Existing vehicle access and dwelling



Figure 4 Looking west along subject site frontage to Pultney Street.

3. Zoning and overlays

3.1 Zoning

The site is zoned General Residential under the Scheme.

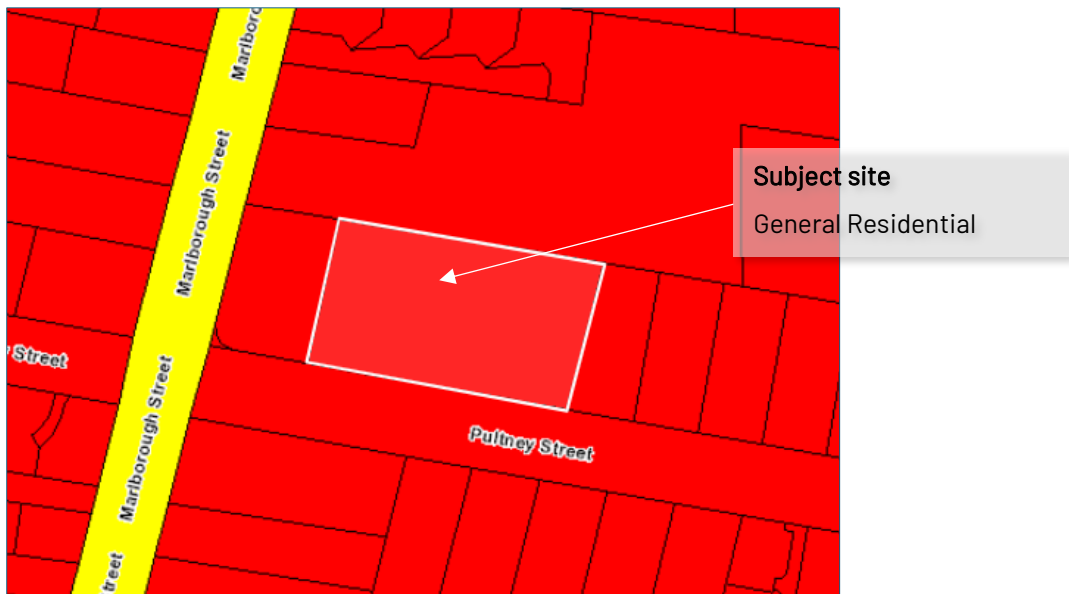


Figure 5 Zoning of the subject site and surrounding area (Land Tasmania 2021)

3.2 Overlays

The subject site is affected by the illustrated overlays.



Figure 6 Overlays affecting the subject site (Land Tasmania 2021)

The subject site is included to the Longford Specific Area Plan.

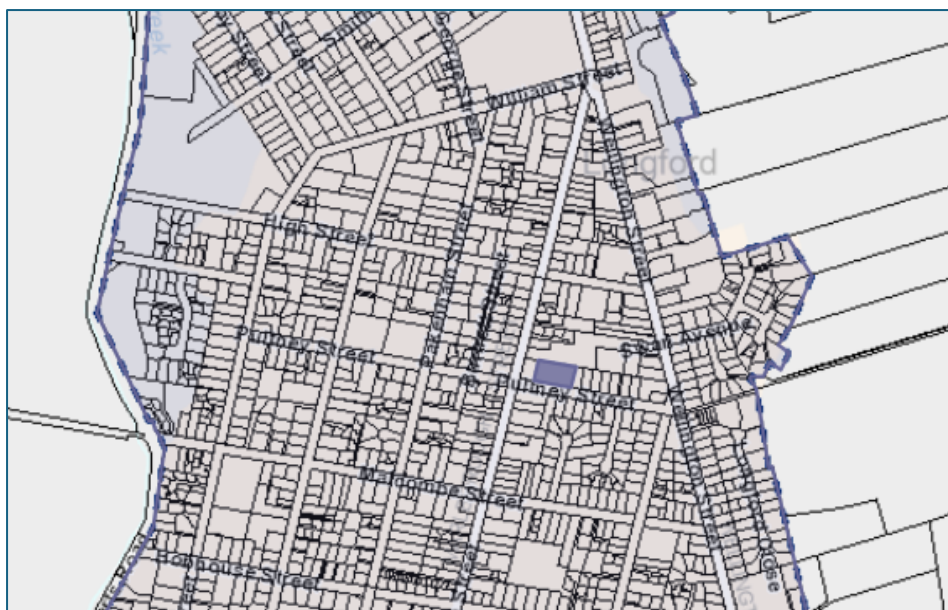


Figure 7 Indication of the Longford SAP coverage (Land Tasmania 2021)

4. Planning Scheme Assessment

4.1 Zone assessment

NOR-S6.0 Longford Specific Area Plan

NOR-S6.1 Plan Purpose

| | |
|------------|---|
| NOR-S6.1.1 | To protect and enhance the unique and intact history and character of the village. |
| NOR-S6.1.2 | To provide for development that is compatible with the existing streetscape settings, building forms and the rural village character. |
| NOR-S6.1.3 | To provide for the subdivision of key development sites and provide for appropriately located public open space. |
| NOR-S6.1.4 | To encourage subdivision that provides for large lots and minimises internal lots. |
| NOR-S6.1.5 | To maintain existing character and land use conflict. |
| NOR-S6.1.6 | That as part of any new subdivision, new trees are provided to increase the township's tree canopy cover. |

Response

The plan purpose includes protection and enhancement of the village character. A Village is a small urban settlement and Longford has a typical residential form of building that is modest in scale and form, generally single storey and mixed in era and design. The proposed dwellings are designed to have

a low profile, fitting to the typical style, and they will be set behind an established hedge within the lot. The development aims to blend with the village character, while making best use of the land.

NOR-S6.7 Development Standards for Buildings and Works

NOR-S6.7.1 Residential density for multiple dwellings

This clause is in substitution for General Residential Zone - clause 8.4.1 Residential density for multiple dwellings.

| Objective | |
|--|--|
| <p>That the density of multiple dwellings:</p> <ul style="list-style-type: none"> a) makes efficient use of land for housing; b) maintains the historic and rural character of Longford; and c) optimises the use of infrastructure and community services. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 Multiple dwellings must have a site area per dwelling of not less than 400m².</p> | <p>P1 Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> a) is compatible with the density of existing development on established properties in the area; or b) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> i. wholly or partly within 400m walking distance of a public transport stop; or ii. wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone. |

Response

- P1 The performance criteria are addressed. The site area per dwelling is 376m².
- a. The surrounding area exhibits a range in density where multiple dwellings are existing, from 204m² to 529m². The proposed is within that range.



Figure 8 Indicative density in surrounding area. Subject site is shown and radii of 200m for context of surrounding area. Multiple dwelling density estimates are listed where applicable on various sites. (Land Tasmania 2021)

NOR-S6.7.2 Roof form and materials

This clause is in addition to General Residential Zone - clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| | |
|--|--|
| Objective | |
| That roof forms are designed to be compatible with, and not detract from, the existing streetscape or rural village character. | |
| Acceptable Solutions | Performance Criteria |
| A1 Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be as per the roof forms shown in Figure NOR-S6.7.2, with the roof pitch being within a range of 22.5 – 40 degrees. | P1 Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from, the existing streetscape or rural village character, having regard to: <ul style="list-style-type: none"> a) the design and period of construction of the existing buildings in the street; b) the design and period of construction of the existing buildings or rural village character; and c) (c) visibility from any road or public |

| | |
|--|-------------|
| | open space. |
|--|-------------|

Response

A1 The acceptable solution is achieved. The building design incorporates a traditional hip roof shape and the roof pitch is shown as 25°.

NOR-S6.7.3 Wall materials

| Objective | |
|--|--|
| That wall materials used are compatible with the existing streetscape or rural village character. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 Wall materials, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.</p> | <p>P1 Wall materials of buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings on the site and in the street, and be compatible with the design and period of construction of the existing buildings or rural village character, having regard to:</p> <ul style="list-style-type: none"> a) use of bull-nosed timber weatherboards, or materials that have the appearance of bull-nosed timber weatherboards; or b) use of brickwork with mortar of a neutral earth colour and struck flush with the brickwork; or c) use of concrete blocks specifically chosen to: <ul style="list-style-type: none"> i. blend with dressed sandstone; or ii. rendered with coloured finishes in neutral earth tones. |

Response

A1 The acceptable solution is achieved. The proposed units are indicated to be brick, which matches the existing building on the site in material and tone. The Walls to Unit 1 will include contrast cladding, but this will not be visible from the road.

Further, due to the hedge, the building development will not be highly visible from the road.

NOR-S6.7.4 Windows

This clause is in addition to General Residential Zone - clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non-dwellings.

| Objective | |
|--|----------------------|
| That window form and details are compatible with the streetscape or rural village character. | |
| Acceptable Solutions | Performance Criteria |

| | | | |
|----|--|----|---|
| A1 | Window heads in all buildings, excluding places listed in Table C6.1, sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be a minimum of 300mm below the eaves line, or match the level of the window heads in the existing building. | P1 | No Performance Criterion. |
| A2 | Windows in a façade facing a frontage, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must have no greater than 30% of the total surface area consisting of windows. | P2 | Windows in the front façade of a building, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street. |
| A3 | Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must not be visible from public spaces. | P3 | <p>Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Longford Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street, having regard to:</p> <ul style="list-style-type: none"> a) the period and style of the building; b) the use of multi-pane sashes conforming to the patterns per sash with size and profile glazing bars as shown in Figure NOR-S6.7.4 (b); c) the use of projecting brick or stone sills that match the existing if in a brick or masonry building; d) the use clear glass; and e) the division of large areas of glass panelling with vertical mullions to achieve a vertical orientation of glazing. |

Response

- A1 The acceptable solution is achieved. Please refer to the plans provided.
- A2 The acceptable solution is achieved.
Units 5, 6 and 7 have a window coverage of 23 percent facing Pultney Street.
- A3 All windows for the proposed new buildings will be shielded from the road by the existing hedge which will be retained. Windows will be multi pane sashes, and will have brick sills and clear glass. This is in keeping with others in the street.

8.0 General Residential Zone

8.1 Zone Purpose

| | |
|-------|--|
| 8.1.1 | To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided. |
| 8.1.2 | To provide for the efficient utilisation of available social, transport and other service infrastructure. |

| | |
|-------|---|
| 8.1.3 | To provide for non-residential use that: <ul style="list-style-type: none"> a. primarily serves the local community; and b. does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts. |
| 8.1.4 | To provide for Visitor Accommodation that is compatible with residential character. |

Response

The proposed residential use and development is in accord with the purpose of the zone. Multiple dwellings is a permitted Use under the Use Table at 8.2.

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

| Objective | |
|---|---|
| That the density of multiple dwellings: <ul style="list-style-type: none"> a. makes efficient use of land for housing; and b. optimises the use of infrastructure and community services. | |
| Acceptable Solutions | Performance Criteria |
| A1 Multiple dwellings must have a site area per dwelling of not less than 325m ² . | P1 Multiple dwellings must only have a site area per dwelling that is less than 325m ² , if the development will not exceed the capacity of infrastructure services and: <ul style="list-style-type: none"> c) is compatible with the density of existing development on established properties in the area; or d) provides for a significant social or community benefit and is: <ul style="list-style-type: none"> i. wholly or partly within 400m walking distance of a public transport stop; or ii. (ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone. |

Response

This standard is replaced by NOR-S6.7.1.

8.4.2 Setbacks and building envelope for all dwellings

| Objective |
|---|
| The siting and scale of dwellings: <ul style="list-style-type: none"> a. provides reasonably consistent separation between dwellings and their frontage within a |

| <p>street;</p> <ul style="list-style-type: none"> b. provides consistency in the apparent scale, bulk, massing and proportion of dwellings; c. provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and d. provides reasonable access to sunlight for existing solar energy installations. | |
|--|---|
| Acceptable Solutions | Performance Criteria |
| <p>A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level. | <p>P1 A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p> |

Response

P1 The performance criteria are addressed.

The reduction in setback is minor within the streetscape. The buildings facing the frontage will be a minimum of 3.2m from the frontage, with the main body of the buildings for Unit 5, 6 and 7 being setback more than 6m. Any effect of a reduced setback will be staggered back from the front boundary.

Although it is not the primary frontage, the dwelling at 51 Marlborough Street has a reduced setback to Pultney Street, and dwellings at 60 and 58 Marlborough Street also have reduced frontage setbacks.

The hedge at the frontage is proposed to be retained (civil works will necessitate trimming which will be minimised), mitigating any effect to the streetscape and maintaining compatibility with the streetscape.

| | |
|---|--|
| <p>A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <ul style="list-style-type: none"> a) 5.5m, or alternatively 1m behind the building line; b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage. | <p>P2 A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p> |
|---|--|

Response

A1 The acceptable solution is achieved. No carport or garage structures are proposed within 5.5m of the frontage. Only Unit 1 will include under cover parking.

| | |
|---|---|
| <p>A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <ul style="list-style-type: none"> a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: <ul style="list-style-type: none"> i. a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and ii. projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: <ul style="list-style-type: none"> i. does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or ii. (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser). | <p>P3 The siting and scale of a dwelling must:</p> <ul style="list-style-type: none"> a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: <ul style="list-style-type: none"> i. reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; ii. overshadowing the private open space of a dwelling on an adjoining property; iii. overshadowing of an adjoining vacant property; and iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on: <ul style="list-style-type: none"> i. an adjoining property; or ii. another dwelling on the same site. |
|---|---|

Response

P3 The performance criteria are addressed. The built form is all within the side and rear setback requirements and no proposed building is greater than 4.7m in height. The existing dwelling is

single storey and low in profile with a side setback of 5.6m. The encroachment to the building envelope is only due to the reduced front setback, which will not cause any effect to adjoining properties. Side and rear boundary setbacks are compliant and the buildings are well compliant to the overall site building envelope. A shadow plan is included to the plans.

8.4.3 Site coverage and private open space for all dwellings

| Objective | |
|---|---|
| That dwellings are compatible with the amenity and character of the area and provide: <ul style="list-style-type: none"> a. for outdoor recreation and the operational needs of the residents; b. opportunities for the planting of gardens and landscaping; and c. private open space that is conveniently located and has access to sunlight. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 Dwellings must have:</p> <ul style="list-style-type: none"> a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer). | <p>P1 Dwellings must have:</p> <ul style="list-style-type: none"> a) site coverage consistent with that existing on established properties in the area; b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate: <ul style="list-style-type: none"> i. outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and ii. operational needs, such as clothes drying and storage; and c) reasonable space for the planting of gardens and landscaping. |

Response

- A1 The acceptable solution is achieved.
- a. Site coverage is equivalent to 29.5 percent of the site.
 - b. Each dwelling has an area of at least 60m² available for private open space. Please refer to Landscape Plan included to the building plans.

| | |
|--|---|
| <p>A2 A dwelling must have private open space that:</p> <ul style="list-style-type: none"> a) is in one location and is not less than: <ul style="list-style-type: none"> i. 24m²; or ii. 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level | <p>P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:</p> <ul style="list-style-type: none"> a) conveniently located in relation to a living area of the dwelling; and b) orientated to take advantage of |
|--|---|

| | |
|---|-----------------|
| <p>(excluding a garage, carport or entry foyer);</p> <p>b) has a minimum horizontal dimension of not less than:</p> <ul style="list-style-type: none"> i. 4m; or ii. 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); <p>c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</p> <p>d) has a gradient not steeper than 1 in 10.</p> | <p>sunlight</p> |
|---|-----------------|

Response

A1 The acceptable solution is achieved. Each dwelling can demonstrate at least 24m² in one space that is suitable private open space.

8.4.4 Sunlight to private open space of multiple dwellings

| Objective | |
|--|---|
| That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):</p> <ul style="list-style-type: none"> a) the multiple dwelling is contained within a line projecting (see Figure 8.4): <ul style="list-style-type: none"> i. at a distance of 3m from the northern edge of the private open space; and ii. vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal; b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: <ul style="list-style-type: none"> i. an outbuilding with a building | <p>P1 A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 8.4.3 of this planning scheme.</p> |

| | |
|---|--|
| <p>height not more than 2.4m; or</p> <p>ii. protrusions that extend not more than 0.9m horizontally from the multiple dwelling.</p> | |
|---|--|

Response

A1 The acceptable solution is achieved. A dwelling that is north of another private open space has a distance of at least 3m.

8.4.5 Width of openings for garages and carports for all dwellings

| Objective | |
|---|---|
| To reduce the potential for garage or carport openings to dominate the primary frontage. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p> | <p>P1 A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.</p> |

Response

A1 The acceptable solution is achieved. The existing is compliant.

8.4.6 Privacy for all dwellings

| Objective | |
|--|--|
| To provide a reasonable opportunity for privacy for dwellings. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p> <p>a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>c) dwelling on the same site, unless the balcony, deck, roof terrace, parking</p> | <p>P1 A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p> <p>a) a dwelling on an adjoining property or its private open space; or</p> <p>b) another dwelling on the same site or its private open space.</p> |

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| <p>space, or carport is not less than 6m:</p> <ul style="list-style-type: none"> i. from a window or glazed door, to a habitable room of the other dwelling on the same site; or ii. from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site. | |
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Response

A1 The acceptable solution is achieved.

No dwelling has a deck or other that is more than 1m from ground level.

| | |
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| <p>A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>a) the window or glazed door:</p> <ul style="list-style-type: none"> i. is to have a setback of not less than 3m from a side boundary; ii. is to have a setback of not less than 4m from a rear boundary; iii. if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and iv. if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. <p>b) the window or glazed door:</p> <ul style="list-style-type: none"> i. is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; ii. is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or iii. is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%. | <p>P2 A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <ul style="list-style-type: none"> a) a window or glazed door, to a habitable room of another dwelling; and b) the private open space of another dwelling. |
|---|--|

Response

A1 The acceptable solution is achieved. The dwellings do not have a floor level of more than 1m and there is more than 6m separation between the dwellings.

| | |
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| <p>A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <ul style="list-style-type: none"> a) 2.5m; or b) 1m if: <ul style="list-style-type: none"> i. it is separated by a screen of not less than 1.7m in height; or ii. the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level. | <p>P3 A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling</p> |
|--|---|

Response

A1 The acceptable solution is achieved. There is separation of the driveway to any window of at least 3m, and windows facing common areas will have screening applied, as shown within the plans. The existing dwelling will have sufficient separation from the common driveway.

8.4.7 Frontage fences for all dwellings

| Objective | |
|---|--|
| <p>The height and transparency of frontage fences:</p> <ul style="list-style-type: none"> a. provides adequate privacy and security for residents; b. allows the potential for mutual passive surveillance between the road and the dwelling; and c. is reasonably consistent with that on adjoining properties. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 No Acceptable Solution.</p> | <p>P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:</p> <ul style="list-style-type: none"> a) provide for security and privacy while allowing for passive surveillance of the road; and b) be compatible with the height and transparency of fences in the street, having regard to: <ul style="list-style-type: none"> i. the topography of the site; and ii. traffic volumes on the adjoining road. |

Response

Not applicable, no front fences are proposed. The fence as notated to the centre of the hedge is existing. The hedge is proposed to be retained (noting there will be some trimming to allow works. This will be minimised and the hedge will be allowed to re-grow).

8.4.8 Waste storage for multiple dwellings

| Objective | |
|--|--|
| To reduce the potential for garage or carport openings to dominate the primary frontage. | |
| Acceptable Solutions | Performance Criteria |
| <p>A1 A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is within one of the following locations:</p> <ul style="list-style-type: none"> a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or b) a common storage area with an impervious surface that: <ul style="list-style-type: none"> i. has a setback of not less than 4.5m from a frontage; ii. is not less than 5.5m from any dwelling; and iii. is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area. | <p>P1 A multiple dwelling must have storage for waste and recycling bins that is:</p> <ul style="list-style-type: none"> a) capable of storing the number of bins required for the site; b) screened from the frontage and any dwellings; and c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise. |

Response

A1 The acceptable solution is achieved. Waste storage is allocated to each dwelling – specified on plan to be behind the building line where dwellings face the frontage.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Response

A1 The acceptable solution is achieved.

C2.6 Development Standards for Buildings and Works

Please refer to plans provided.

C3.0 Road and Railway Assets Code

C3.5 Use Standards

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

- P1 The performance criteria apply as written consent for a new vehicle crossing is required.
- a. The increase to traffic caused by the use is estimated to be 3.67 daily trips per unit based on medium density residential use in a regional area (Strategic Transport Planning Branch, Transport for NSW 2024). This equates to 26 (rounded up) trips to the site using the proposed vehicle crossover. If the existing dwelling is included, the number is 30 daily trips. This is below the threshold listed in Table C3.1 (40 vehicle movements increase) but higher than a 20% increase based on 1 existing dwelling.
 - b. The traffic generated will be residential in nature.
 - c. The road is a local road; it is sealed and Council is the road authority.
 - d. The road has a speed limit of 50km/h being a local road.
 - e. No practical alternatives exist.
 - f. Residential use requires vehicle access.
 - g. No traffic impact assessment has been prepared. Although there is an increase, the number is not significant within the context of the road network.
 - h. No advice from the road authority has been sought.

C3.6 Development Standards for Buildings or Works

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

The site is not within a road or railway attenuation area. The standard does not apply.

C6.0 Local Historic Heritage Code

C7.6 Development Standards for Buildings and Works

C6.7 Development Standards for Local Heritage Precincts and Local Historic Landscape Precincts

C6.7.1 Demolition within a local heritage precinct

Response

Demolition of outbuildings is not within the overlay area.

C6.7.3 Buildings and works, excluding demolition

- P1.1 The performance criteria apply. The buildings as proposed will be significantly shielded from view due to the existing hedge, however, elements of buildings will be visible within the overlay area, noting that only a small section of the site is affected by the overlay, see Figure 9.
- a. The values described in the LPS concentrate on the core of the townscape and the passage to the rural farmland. Heritage residential buildings are tucked in behind the main street with mid-nineteenth to early twentieth century styles. The existing dwelling has a mid to late twentieth century style, with a flat roof and a multi-peaked rear addition to the building. The LPS values do not mention hedges, but do mention street trees and cottage gardens. The site is somewhat characterised by the existing hedge.

- b. The character of the houses on Pultney Street are generally mid to late 20thC era. The adjoining lot at 49 Marlborough Street is within the Precinct and is a single storey weatherboard dwelling; this lot also has a hedge. Many surrounding buildings have reduced front setbacks and front verandahs, promoting a closer interaction between private dwellings and the public realm, contributing to the village character of the place.
- c. Most buildings in the area are single storey with some variation in height, based on roof type and form. No particular building in the surrounding area exhibits a bulky form but some frontage setbacks effectuate visual prominence of buildings.
- d. The surrounding buildings in the heritage precinct generally exhibit reduced setbacks. The proposed, where it is in the overlay, is comparable at a minimum 3.2m setback and the bulk of the building having a greater setback from the frontage.
- e. As mentioned, there is no particular reference to hedges in the LPS but hedges are known to be favoured by communities as a part of heritage development, and may be considered a part of the garden. The hedge will be retained and this will assist in blending the proposed development, which is sensitively designed, to the expectations of the precinct.

P1.2 Not applicable.

P1.3 Not applicable.



Figure 9 Illustrating the extent of Longford Heritage Precinct overlay on the site and proposed buildings. Only Units 4 and 5 are affected.

C9.0 Attenuation Code

Please see the Form provided.

C16.0 Safeguarding of Airports Code

C16.4 Use or Development Exempt from this Code

C16.4.1 The following use or development is exempt from this code:

- (a) development that is not more than the AHD height specified for the site of the development in the relevant airport obstacle limitation area.

Response

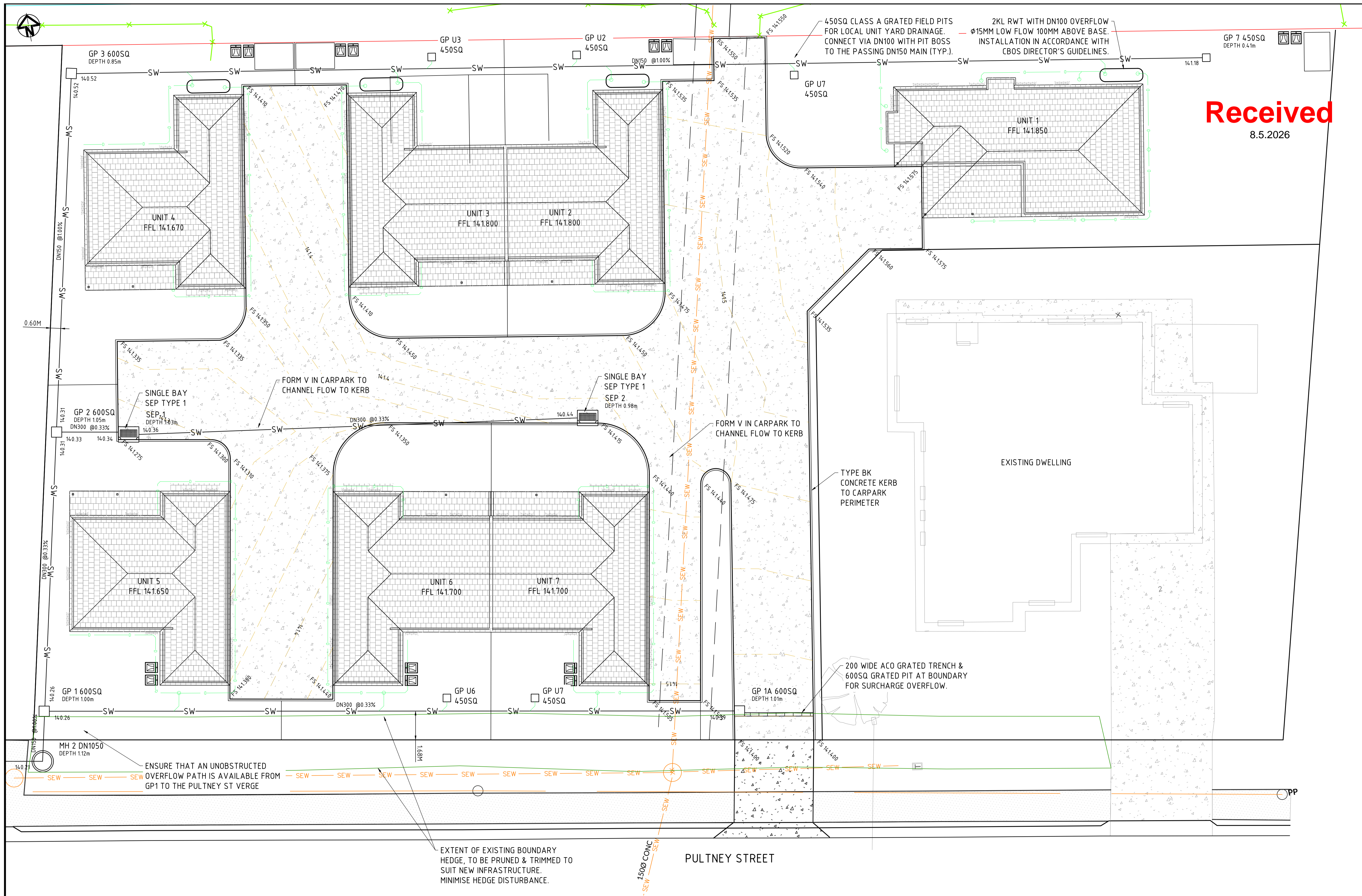
The proposed is exempt. The AHD height listed is 316m.

3. Conclusion

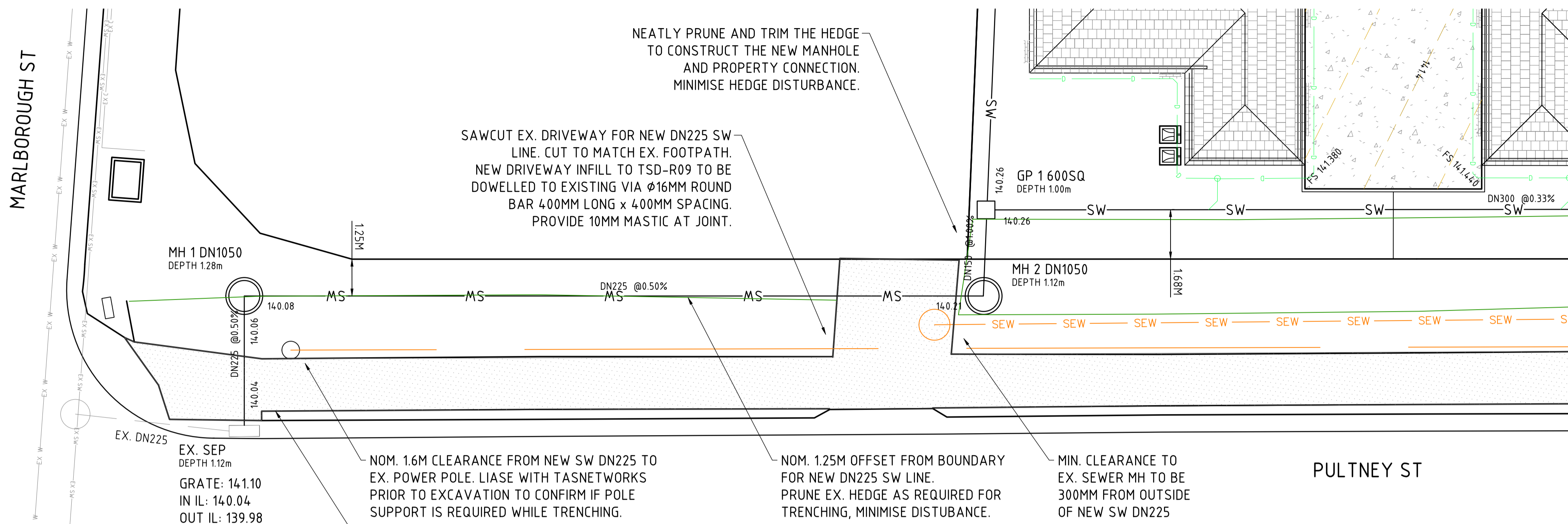
This application is for the development of 7 dwellings on the site, to make the site have a total of 8 dwellings.

Each (new) unit proposed will have 2 bedrooms, being adaptable for smaller household types, with well-proportioned and easy to maintain private open space areas. As such, the proposal contributes to housing diversity in an established residential area.

The proposal is in accord with the provisions of the zone and a permit for use and development of multiple dwellings is sought from Council.



| <p>1 RWT REMOVED UNITS 5-7, HEDGE PRUNING NOTED</p> | | GA | GA | GA | 07.05.26 | <p>DRAWING CHECK</p> <table border="1"> <tr> <th>SIGNATURE</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table> | SIGNATURE | DATE | | | | | <p>DO NOT SCALE THIS DRAWING. Use the dimensions shown. All dimensions and setout should be checked on site. Drawing is to be read in conjunction with the associated notes and specifications. Drawing is to be read in conjunction with all other engineering and architectural drawings. These designs, drawings and specifications are copyright © and must not be altered, reproduced or copied wholly or in any part without the written permission of NTCADS. All rights reserved.</p> | <p>PREPARED BY NTCADS TAS. ACCREDITATION No. CC7077 m: 0431 965 740 e: glenn@ntcads.com.au a: 21 DIGNEY ST, DYNMYRNE TAS. 7005</p> | <p>CLIENT JAFFA INTERNATIONAL PTY LTD PO BOX 1983 HOBART, TASMANIA 7000</p> | <p>PROJECT NEW 7 UNIT DEVELOPMENT 18 PULTNEY ST LONGFORD 7301</p> | <p>TITLE STORMWATER & ON-SITE DETENTION CARPARK & UNIT FFL</p> | <p>SCALE @ A1: 1:100 DIMENSIONS IN METRES</p> | <p>DRAWING No: 377.25-C01</p> | <p>REV. 1</p> |
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| <p>0 ISSUED FOR CONSTRUCTION APPROVAL</p> | | GA | GA | GA | 08.04.26 | | | | | | | | | | | | | | | |
| REV. | DESCRIPTION | DRN | CHK | APP. | DATE | | | | | | | | | | | | | | | |



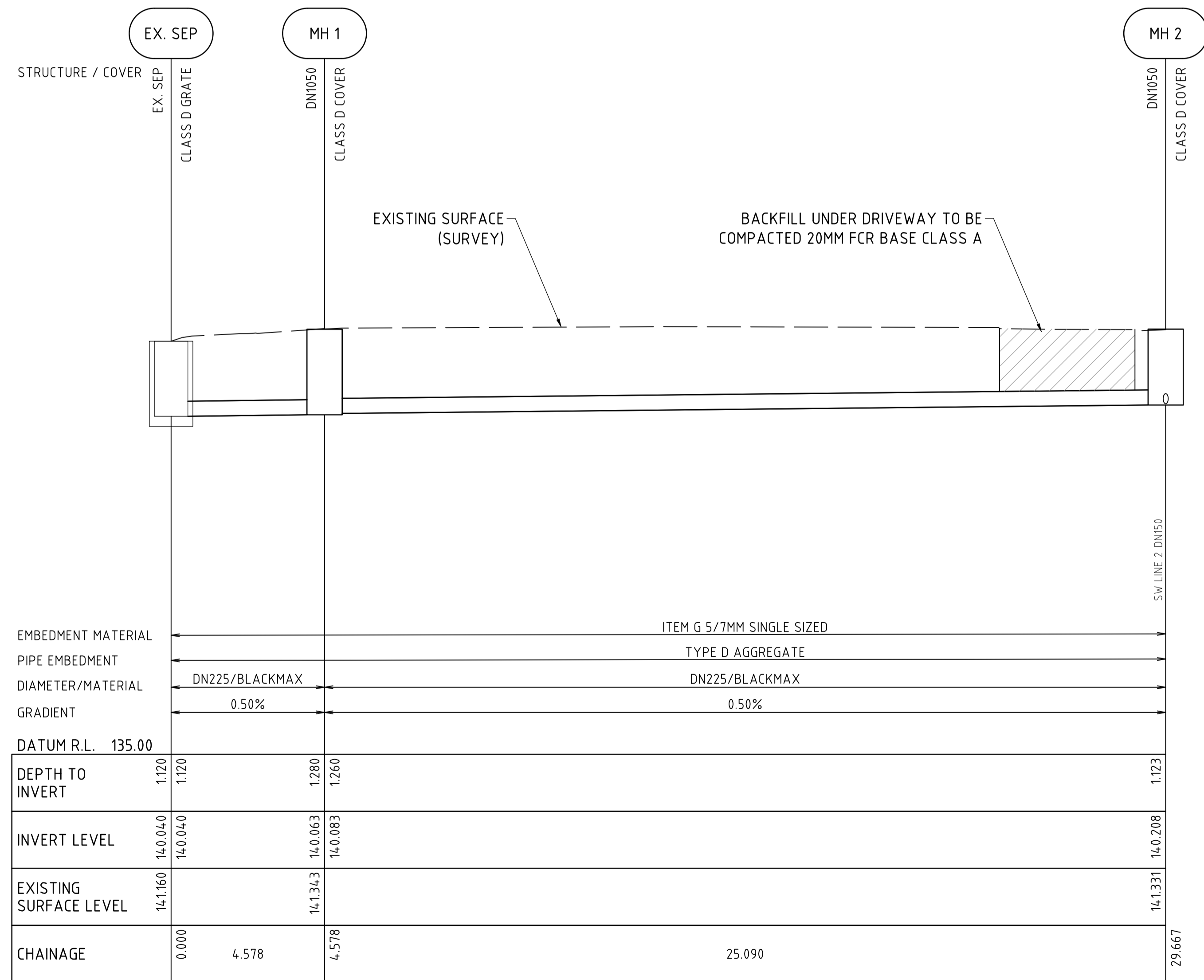
NEW STORMWATER CONNECTION DETAIL
SCALE: 1:100 @ A1

STORMWATER NOTES

- ALL STORMWATER PLUMBING & DRAINAGE TO BE IN ACCORDANCE WITH AS3500.3.
- PROPERTY SERVICE CONNECTION TO PULTNEY ST TO BE 1 No. DN100 FROM 600SQ GRATED SURCHARGE PIT AT THE BOUNDARY TO THE NEW DN1050 MANHOLE AND DN225 PIPE IN PULTNEY ST.
- ALL MANHOLE COVERS AND PIT GRATES WITHIN THE ROAD RESERVE SHALL BE CLASS D.
- PIPES TO BE BLACKMAX FOR DIAMETER 225 AND GREATER, PVC STANDARD SWJ TO AS1254 FOR DIAMETER 150 & 100MM.
- GRATES AND COVERS WITHIN THE CARPARK AREA ARE TO BE CLASS D, CLASS A ELSEWHERE WITHIN YARDS (NON-TRAFFICABLE).
- YARD DRAINAGE GRATED PITS SHALL BE 450SQ PLASTIC (EVERHARD SERIES 450 x 450 DEEP OR SIMILAR). PROVIDE DN100 PVC CONNECTION VIA PIT BOSS TO PASSING STORMWATER LINE.
- 600SQ PITS TO BE CONCRETE PRECAST UNITS.
- CONNECTIONS TO THE BLACKMAX PIPES FOR UNIT YARD PITS, DOWNPIPES & RAINTANKS SHALL BE MADE VIA STANDARD SADDLE FITTING.
- CONNECTIONS MAY BE MADE TO THE BLACKMAX VIA SADDLE TAPPING AT ANY ANGLE RANGING FROM HORIZONTAL AT PIPE MID-HEIGHT TO 90 DEGREES VERTICAL DROP IN, TO SUIT MINIMUM CONNECTION COVER REQUIREMENTS.
- REFER TO THE PREVIOUS PLANNING SUBMISSION PLN-25-0009 FOR THE NEW DN225 STORMWATER MAIN IN PULTNEY ST.

ON SITE DETENTION

- OSD VOLUME REQUIREMENTS LIMIT THE MAXIMUM DISCHARGE FROM THE DEVELOPED LOT TO NO MORE THAN 19.4 LITRES/SEC UNDER THE RANGE OF AEP 5% EVENTS.
- AN OVERLAND FLOW PATH FOR THE SURCHARGING SYSTEM UNDER AEP 1% EVENTS IS PROVIDED AT THE BOUNDARY GRATED PIT, WHICH CAN DISCHARGE TO PULTNEY ST.
- UNITS 1-4 ROOF COLLECTION TO BE CONNECTED TO INDIVIDUAL 2,000 LITRE RAINTANKS, DISCHARGING VIA ϕ 15MM ORIFICE TO THE SITE DRAINAGE LINES.
- UNITS 5-7, CARPARK AND DRIVEWAY OSD NOM. 5M² PROVIDED BY 2 SETS OF DN300 BLACKMAX PIPES AS PART OF THE DRAINAGE SYSTEM.
- INTERNAL DRIVEWAY AND PARKING TO BE CONCRETE SURFACE.
- OSD CALCULATIONS ARE BASED ON AUSTRALIAN RAINFALL & RUNOFF 2019 METHODS, UTILISING THE ENSEMBLE OF STORM PATTERNS AND RURAL PERVIOUS LOSSES REDUCED BY 70% FOR URBAN APPLICATION.



LINE 1
SCALE: H 1:100 V 1:50

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|---------------|-------------|-----------|-----|----------|--|---|--|---|---|---|
| DRAWING CHECK | | SIGNATURE | | DATE | DO NOT SCALE THIS DRAWING. Use the dimensions shown. All dimensions and setout should be checked on site. Drawing is to be read in conjunction with the associated notes and specifications. Drawing is to be read in conjunction with all other engineering and architectural drawings. These designs, drawings and specifications are copyright © and must not be altered, reproduced or copied wholly or in any part without the written permission of NTCADS. All rights reserved. | PREPARED BY NTCADS TAS. ACCREDITATION No. CC7077 m: 0431 965 740 e: glenn@ntcads.com.au a: 21 DIGNEY ST, DYNMYRNE TAS. 7005 | CLIENT JAFFA INTERNATIONAL PTY LTD PO BOX 1983 HOBART, TASMANIA 7000 | PROJECT NEW 7 UNIT DEVELOPMENT 18 PULTNEY ST LONGFORD 7301 | TITLE STORMWATER CONNECTION TO EXISTING NMC SERVICE | SCALE @ A1: 1:100 DIMENSIONS IN METRES DRAWING No: 377.25-C02 REV: 1 |
| DRAWN | GA | GA | GA | 07.05.26 | | | | | | |
| DESIGNED | GA | GA | GA | 08.04.26 | | | | | | |
| CHECKED | GA | GA | GA | 08.04.26 | | | | | | |
| REV. | DESCRIPTION | DRN | CHK | APP. | DATE | | | | | |

Exhibited

Received

22.4.2026

DA ISSUE REVISION D

PROPOSED RESIDENCE FOR ABODE DESIGNER HOMES

AT 18 PULTNEY STREET LONGFORD TAS 7301



UNIT 4



UNIT 2, 3, 6 & 7



UNIT 1



UNIT 5

Table with 3 columns: PAGE LIST, PAGE LIST, PAGE LIST. Each column has sub-columns for PAGE NO and PAGE TITLE. Rows include COVER, SITE PLAN, LANDSCAPE PLAN, SITE OVERSHADOWING PLAN, U1 - FLOOR PLAN, U1 - 3D VIEWS, U1 - ELEVATIONS A & B, A-04, B-01, B-02, B-03, B-04, C-01, C-02, C-03, C-04, D-01, D-02, D-03, D-04, U2, 3, 6, 7 - ELEVATIONS A & B, U2, 3, 6, 7 - ELEVATIONS C & D, U5 - FLOOR PLAN, U5 - 3D VIEWS, U5 - ELEVATIONS A & B, U5 - ELEVATIONS C & D.

GENERAL NOTES:

- 1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH: THE CURRENT NATIONAL CONSTRUCTION CODES (NCC), THE STATE DEVELOPMENT CODE, BUILDING REGULATIONS, CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED. 2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. 3. SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING. 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS. 4. ALL DIMENSIONS IN MILLIMETERS. 5. DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED. 6. ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES. 7. MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE THESE DRAWINGS ARE AVAILABLE DIGITALLY, IF REQUIRED. 8. ANY DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA. 9. OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING. STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS. 10. ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

SITE WORKS NOTES:

- 1. POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS. ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH THE CURRENT ABCB HOUSING PROVISIONS PART 3.3 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS. 2. BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION. 3. BUILDER TO DETERMINE APPROPRIATE PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH THE CURRENT ABCB HOUSING PROVISIONS PART 3.3.3. 4. FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT ABCB HOUSING PROVISIONS PART 4.2.2, AS 3798, AS4200 & AS 4678. 5. THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM. 6. STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE - STORMWATER KERB ADAPTERS TO STREET (2 MAX.) ROOFWATER/STORMWATER PIPE BUBBLERS TO COUNCIL SPECIFICATION. RAINWATER TANK, OVERFLOW MUST CONNECT TO STORMWATER SYSTEM. 7. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES. 8. ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER. 9. THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL UNLESS INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL. 10. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

PATH/DRIVEWAY NOTES:

- 1. DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB. 2. PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELED. 3. SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

3D VIEW NOTES:

- 1. GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS. 2. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. 3. 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

ELECTRICAL NOTES:

- 1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ABCB HOUSING PROVISIONS PART 9.5. SMOKE ALARMS MUST COMPLY WITH AS 3786. ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS ALL SMOKE ALARMS TO BE INTERCONNECTED INSTALL LOCATIONS: ON EACH LEVEL OF LIVING SPACE OUTSIDE EACH BEDROOM AREA IN EVERY BEDROOM (QLD). 2. THIS PLAN IS INDICATIVE ONLY AND IS TO BE USED ONLY AS AN EXAMPLE. OWNERS TO NOMINATE FINAL POSITIONS OF ELECTRICAL APPLIANCES, LIGHTING AND ELECTRICAL FITTINGS.

ELEVATION NOTES:

- 1. WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS. 2. GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE. 3. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. 4. ELEVATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

SECTION NOTES:

- 1. TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS. 2. ALL PINE TO BE JD4 MIN. 3. ALL HWD. TO BE F14 MIN. 4. GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

FOUNDATION NOTES:

- 1. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF FOOTING EXCAVATIONS. 2. PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED. 3. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE. 4. REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm, AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN. 5. ACCORDING TO MANUF' SPEC. OR BUILDERS DIRECTIONS. 6. MINIMUM COVER TO GROUND - 50mm. 7. TOP COVER TO SLAB REINFORCEMENT - 30mm. 8. GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING. 9. WATERPROOF MEMBRANE IS 0.2mm POLYETHYLENE. JOINTS ARE TO BE LAPPED 300mm AND TAPED. 10. REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS. 11. ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING. 12. FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY. 13. FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

SITE INFORMATION:

LAND TITLE REFERENCE: 176679/1 SUBURB: LONGFORD LOCALITY: LONGFORD LOCAL AUTHORITY: NORTHERN MIDLANDS ZONING: GENERAL RESIDENTIAL LAND SIZE: 3013m² DWELLING FLOOR AREA: 888.2m² SITE COVERAGE: 29.5%

OVERLAYS:

LOCAL HERITAGE PRECINCT AIRPORT OBSTACLE LIMITATION AREA ATTENUATION AREA WIND CLASSIFICATION: N2 TERRAIN CATEGORY: TC 2 SHIELDING: F5 TOPOGRAPHIC: T1 CLIMATE ZONE: 7 SOIL TYPE: CLASS H1

FLOOR PLAN NOTES:

- 1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ABCB HOUSING PROVISIONS PART 9.5. SMOKE ALARMS MUST COMPLY WITH AS3786. ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS ALL SMOKE ALARMS TO BE INTERCONNECTED INSTALL LOCATIONS: ON EACH LEVEL OF LIVING SPACE OUTSIDE EACH BEDROOM AREA IN EVERY BEDROOM (QLD ONLY). 2. WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. 3. ALL GLAZING TO BE IN ACCORDANCE WITH AS1288. WINDOWS SIZES MAY VARY DUE TO MANUFACTURER'S SPECIFICATIONS. 4. BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO). 5. S.S. BALUSTRADING TO COMPLY WITH THE CURRENT ABCB HOUSING PROVISIONS PART 11.3.6. 6. DOORS TO W.C.'S TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W.C.). MASONRY CONSTRUCTION TO AS 3700. 7. REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS. 8. SEAL WET AREAS IN ACCORDANCE WITH AS3740 & THE CURRENT ABCB HOUSING PROVISIONS PART 10.2. 9. PROVIDE FLOOR WASTE TO ALL WET AREAS.

ROOF DRAINAGE NOTES:

- 1. ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3500.3 AND THE CURRENT ABCB HOUSING PROVISIONS PART 7.4. 2. DOWNPIPES (DP) TO BE 90mmØ UPVC. 3. TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOFWATER ONTO GROUND, 2M MIN AWAY FROM BUILDING. 4. ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH THE CURRENT NCC VOL. 3 PART B6 AND B7. THE CURRENT ABCB HOUSING PROVISIONS PART 7.4. STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS. 5. THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING. 6. THE AREA SPECIFIC RAINFALL INTENSITY FOR GUTTERING SELECTION, OVERFLOW MEASURES & DOWNPIPES MUST BE SELECTED FROM THE RELEVANT TABLES IN THE CURRENT ABCB HOUSING PROVISIONS PART 7.4 OR FROM AS/NZ3500. 7. EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES. 8. BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100 IN ACCORDANCE WITH AS/NZ3500.3. 9. DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.

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PLAN NUMBER: #2489 BUILDERS NUMBER: N/A AREI PLAN CODE: AREI DESIGNS CLIENT: ABODE DESIGNER HOMES DRAWING NAME: COVER PROJECT: PROPOSED RESIDENCE FOR ABODE DESIGNER HOMES AT 18 PULTNEY STREET LONGFORD TAS 7301 CHECKED: CHK PAGE NO: 01 OF 04 SCALE @ A3 1:100

REVISION TABLE: REV B DA ISSUE SM 17/12/25 REV B.2 SITE REVISION SM 11/02/26 REV C SITE REVISION SM 13/04/26 REV D SITE REVISION SM 22/04/26

Table with 4 columns: REV, DESCRIPTION, DRAWN, DATE. Rows include DA ISSUE, SITE REVISION, SITE REVISION, SITE REVISION.

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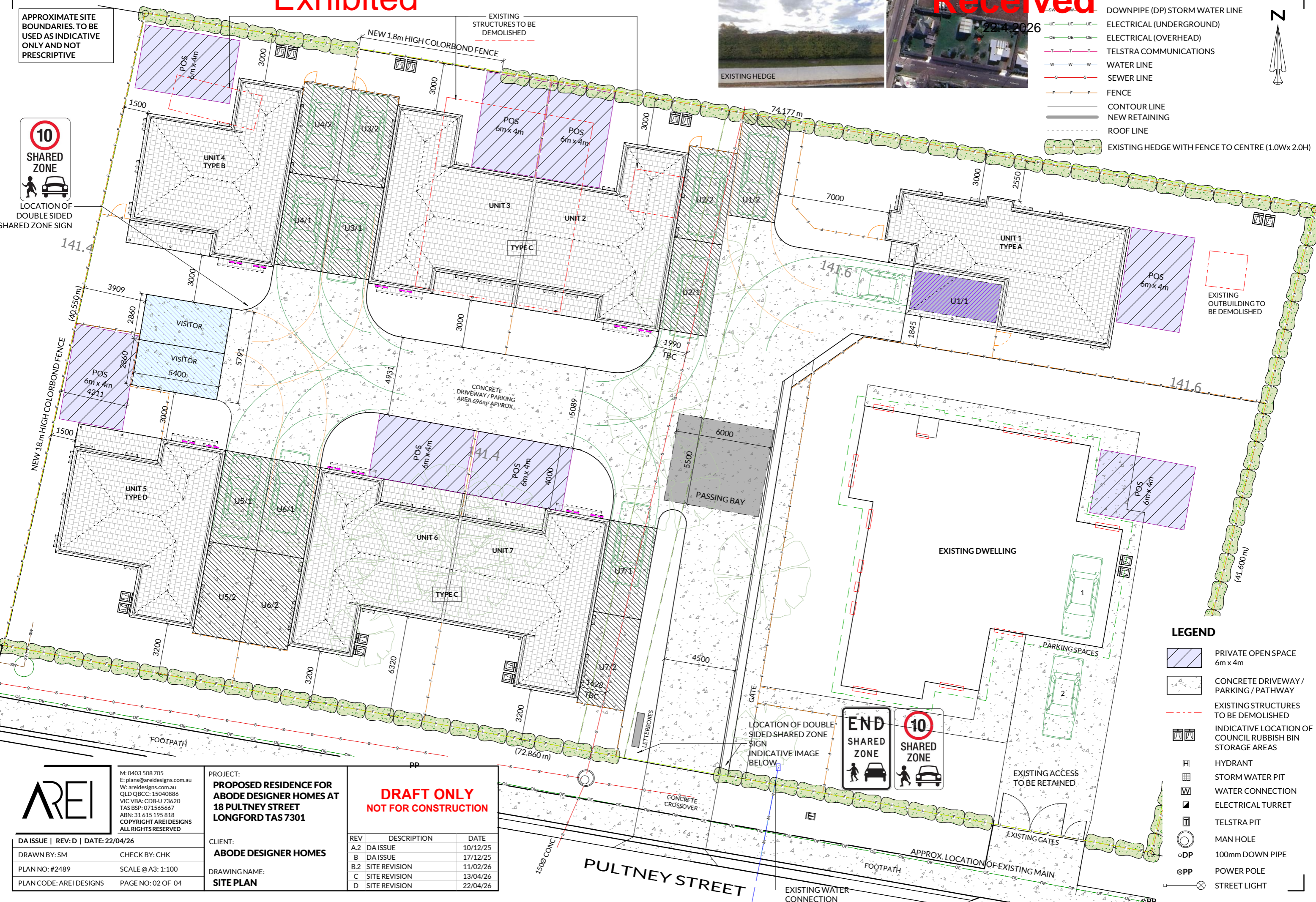
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LOCATION OF DOUBLE SIDED SHARED ZONE SIGN



- LEGEND LINETYPE**
- SW — SW — SW — DOWNPIPE (DP) STORM WATER LINE
 - UE — UE — UE — ELECTRICAL (UNDERGROUND)
 - OE — OE — OE — ELECTRICAL (OVERHEAD)
 - T — T — T — TELSTRA COMMUNICATIONS
 - W — W — W — WATER LINE
 - S — S — S — SEWER LINE
 - F — F — F — FENCE
 - — — — — CONTOUR LINE
 - — — — — NEW RETAINING
 - — — — — ROOF LINE
 - — — — — EXISTING HEDGE WITH FENCE TO CENTRE (1.0Wx2.0H)



LEGEND

- PRIVATE OPEN SPACE 6m x 4m
- CONCRETE DRIVEWAY / PARKING / PATHWAY
- EXISTING STRUCTURES TO BE DEMOLISHED
- INDICATIVE LOCATION OF COUNCIL RUBBISH BIN STORAGE AREAS
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT

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CLIENT:
ABODE DESIGNER HOMES

DRAWING NAME:
SITE PLAN

| REV | DESCRIPTION | DATE |
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PULTNEY STREET



LOCATION OF DOUBLE SIDED SHARED ZONE SIGN INDICATIVE IMAGE BELOW

EXISTING ACCESS TO BE RETAINED

EXISTING GATES

APPROX. LOCATION OF EXISTING MAIN

EXISTING WATER CONNECTION

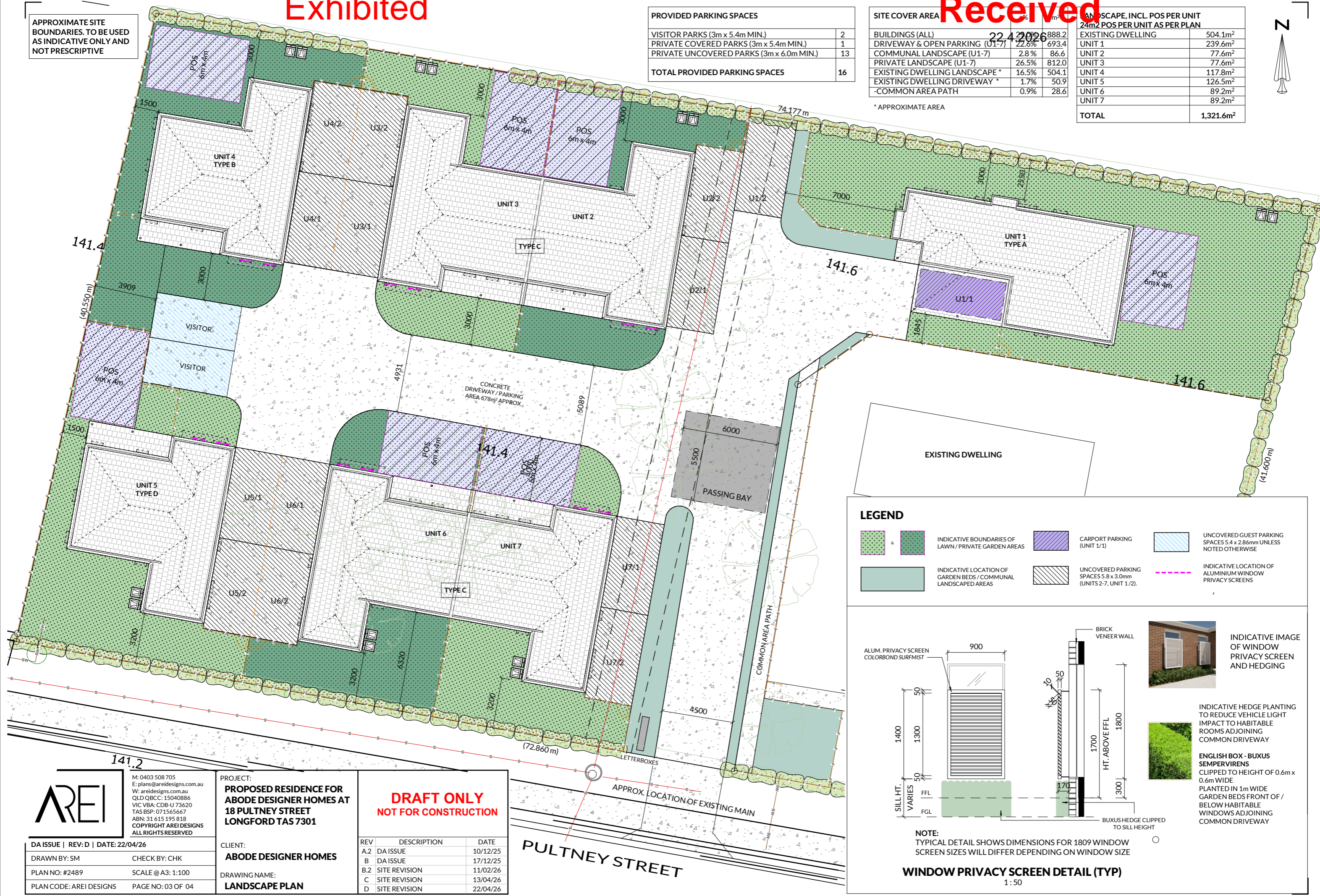
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APPROXIMATE SITE BOUNDARIES. TO BE USED AS INDICATIVE ONLY AND NOT PRESCRIPTIVE

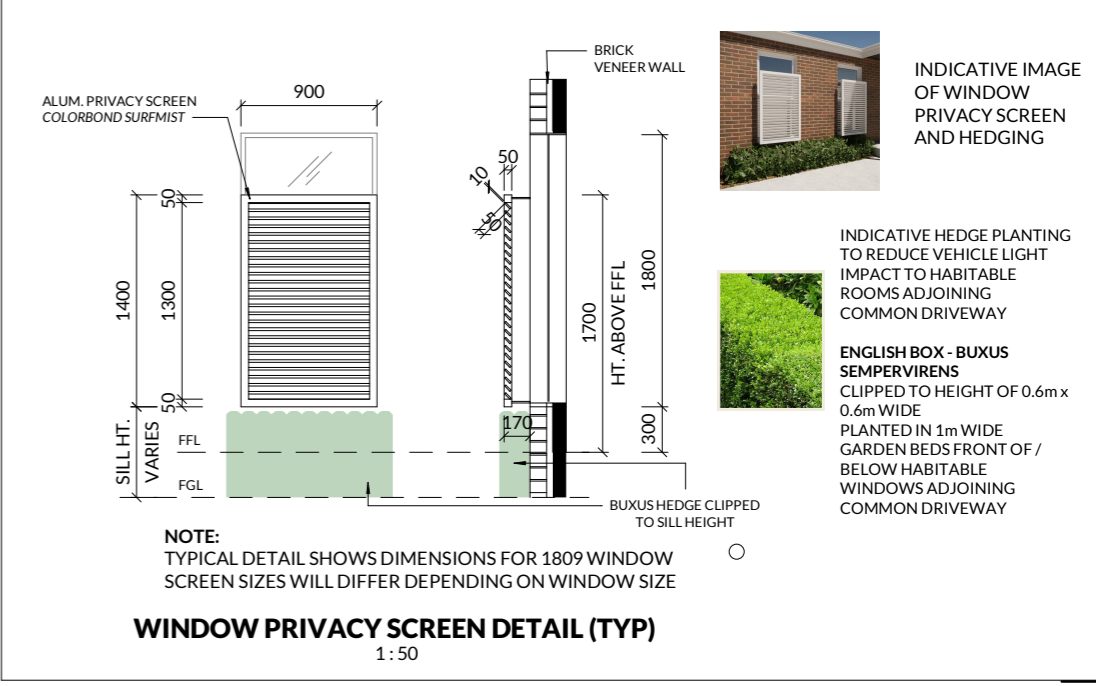
| PROVIDED PARKING SPACES | |
|--|-----------|
| VISITOR PARKS (3m x 5.4m MIN.) | 2 |
| PRIVATE COVERED PARKS (3m x 5.4m MIN.) | 1 |
| PRIVATE UNCOVERED PARKS (3m x 6.0m MIN.) | 13 |
| TOTAL PROVIDED PARKING SPACES | 16 |

| SITE COVER AREA | | LANDSCAPE, INCL. POS PER UNIT | |
|--------------------------------|----------------|---|-----------------------------|
| % | m ² | 24m ² POS PER UNIT AS PER PLAN | |
| BUILDINGS (ALL) | | 22.42% | 888.2 |
| DRIVEWAY & OPEN PARKING (U1-7) | | 22.6% | 693.4 |
| COMMUNAL LANDSCAPE (U1-7) | | 2.8% | 86.6 |
| PRIVATE LANDSCAPE (U1-7) | | 26.5% | 812.0 |
| EXISTING DWELLING LANDSCAPE * | | 16.5% | 504.1 |
| EXISTING DWELLING DRIVEWAY * | | 1.7% | 50.9 |
| COMMON AREA PATH | | 0.9% | 28.6 |
| * APPROXIMATE AREA | | | |
| TOTAL | | | 1,321.6m² |



LEGEND

| | | | | | |
|--|--|--|--|--|---|
| | INDICATIVE BOUNDARIES OF LAWN / PRIVATE GARDEN AREAS | | CARPORT PARKING (UNIT 1/1) | | UNCOVERED GUEST PARKING SPACES 5.4 x 2.86m UNLESS NOTED OTHERWISE |
| | INDICATIVE LOCATION OF GARDEN BEDS / COMMUNAL LANDSCAPED AREAS | | UNCOVERED PARKING SPACES 5.8 x 3.0m (UNITS 2-7, UNIT 1/2). | | INDICATIVE LOCATION OF ALUMINIUM WINDOW PRIVACY SCREENS |



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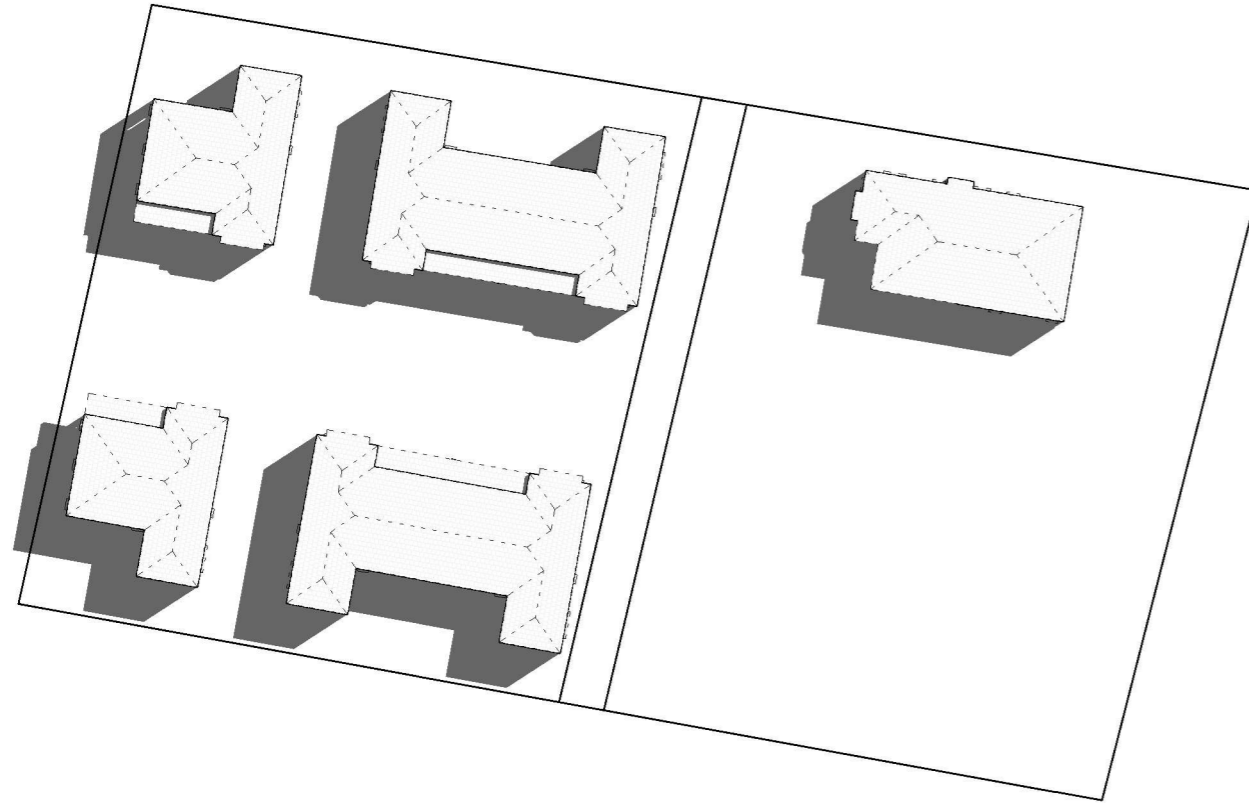
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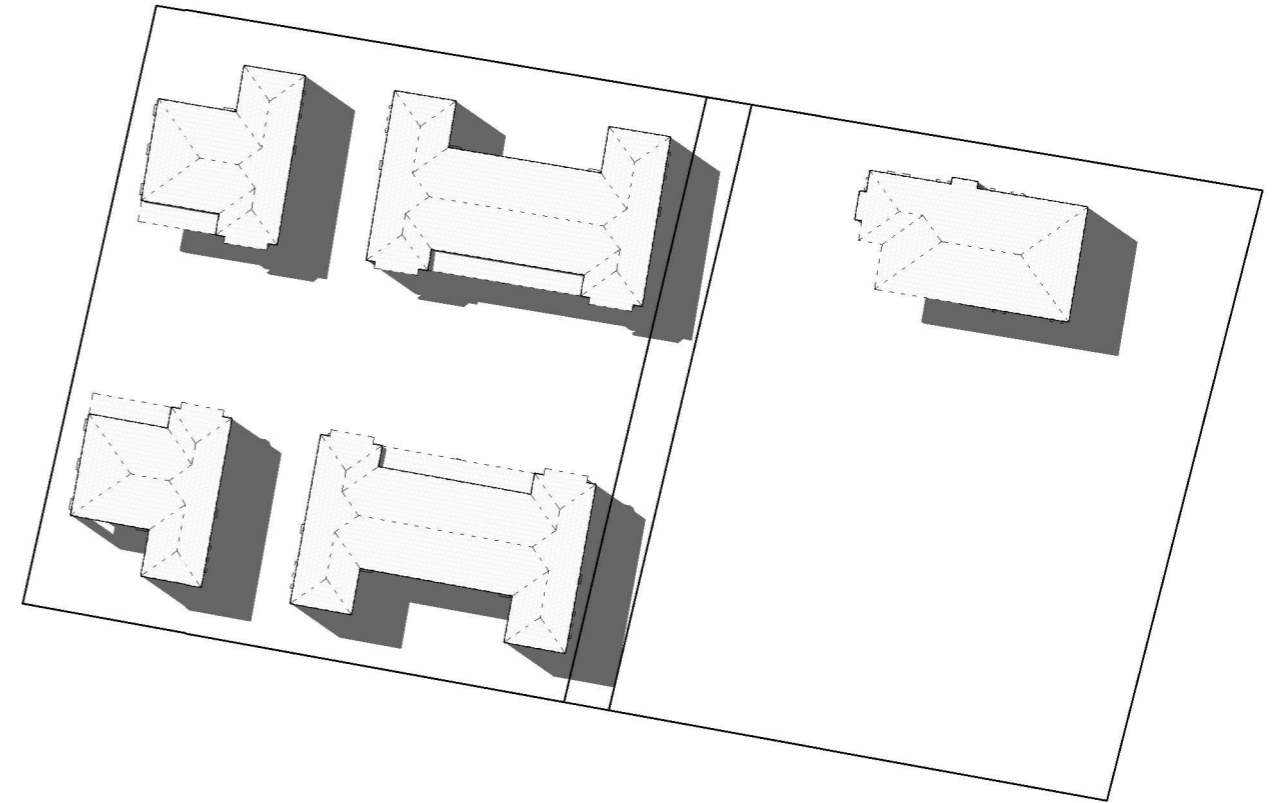
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PULTNEY STREET



SITE OVERSHADOWING 9AM 22 SEPTEMBER
1:500



SITE OVERSHADOWING 3PM 22 SEPTEMBER
1:500



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FLOOR AREAS

| ROOM | SQUARES | SQM |
|--------------|--------------|----------------------------|
| CARPORT | 1.87 | 17.4 m ² |
| LIVING | 9.58 | 89.0 m ² |
| PORCH | 0.23 | 2.1 m ² |
| TOTAL | 11.68 | 108.5 m² |

WINDOW SCHEDULE

| MARK | SIZE | DESCRIPTION |
|------|-------------|---------------------------------|
| W4 | 1800 x 900 | ALUM. FRAMED AWNING |
| W5 | 2100 x 1400 | ALUM. FRAMED SLIDING GLASS DOOR |
| W6 | 1800 x 900 | ALUM. FRAMED AWNING |
| W7 | 1800 x 900 | ALUM. FRAMED AWNING |
| W8 | 1800 x 900 | ALUM. FRAMED AWNING |
| W9 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |
| W10 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |
| W11 | 1500 x 1200 | ALUM. FRAMED AWNING |
| W12 | 1200 x 900 | ALUM. FRAMED AWNING |
| W13 | 600 x 1500 | ALUM. FRAMED AWNING |
| W14 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |

DOOR SCHEDULE

| MARK | SIZE | DOOR TYPE |
|------|------------|-------------------|
| D9 | 2040 x 870 | HOLLOW CORE SWING |
| D10 | 2040 x 870 | HOLLOW CORE SWING |
| D11 | 2040 x 870 | HOLLOW CORE SWING |
| D12 | 2040 x 720 | HOLLOW CORE SWING |
| D13 | 2040 x 870 | HOLLOW CORE SWING |
| D16 | 2040 x 920 | GLASS ENTRY DOOR |

LEGEND

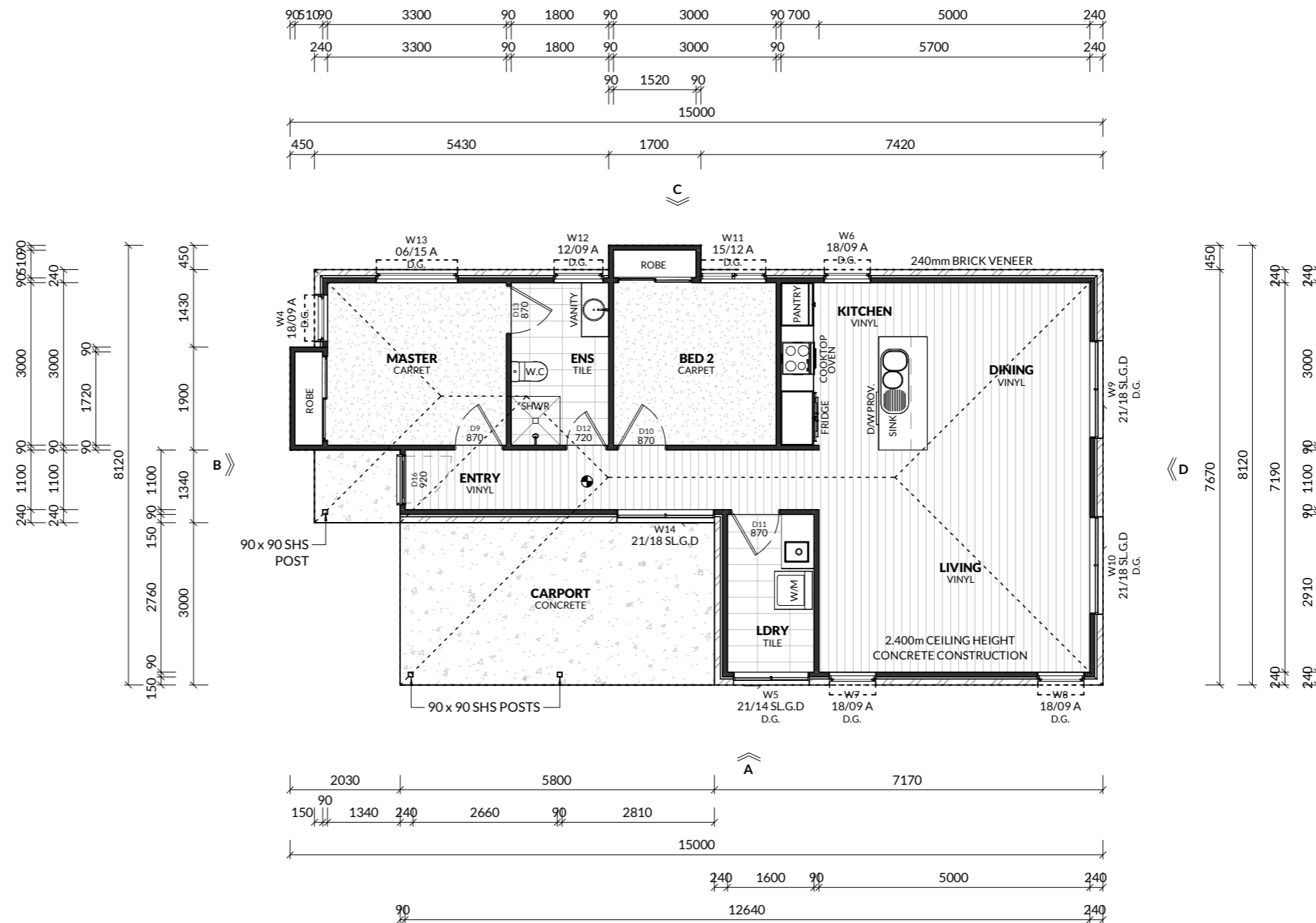
- C CASEMENT WINDOW
- SL.G.D SLIDING GLASS DOOR
- S.W SLIDING WINDOW
- A AWNING WINDOW
- D.HU DOUBLE HUNG WINDOW
- B.D BIFOLD DOORS
- LU LOUVERS
- SL SIDELIGHT
- M.V MECHANICAL VENT
- SKL SKYLIGHT
- F.G FIXED GLASS WINDOW

- ☼ SMOKE ALARM
- † HOSE COCK
- ▬ ELEC M/BOX
- ⊗ GAS BOTTLES
- ⊗ HOT WATER
- ⊕ FLOOR WASTE

ENERGY EFFICIENCY REQUIREMENTS

- R4.0 BATTS TO CEILING
- R2.0 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALL
- DOWNLIGHTS TO BE MIN IC RATED
- ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED

LIVABLE HOUSING DESIGN REQUIREMENTS (STAGED)
THIS DWELLING IS REQUIRED TO COMPLY WITH THE NCC LIVABLE HOUSING REQUIREMENTS. PLEASE REFER TO 'LIVABLE HOUSING REQUIREMENTS' SHEET FOR COMPLIANCE DETAILS.



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ABN: 31 615 195 818

PLAN NUMBER:
#2478 #2489
BUILDERS NUMBER:
N/A
AREI PLAN CODE:
AREI DESIGNS

CLIENT:
ABODE DESIGNER HOMES
DRAWING NAME:
U1 - FLOOR PLAN

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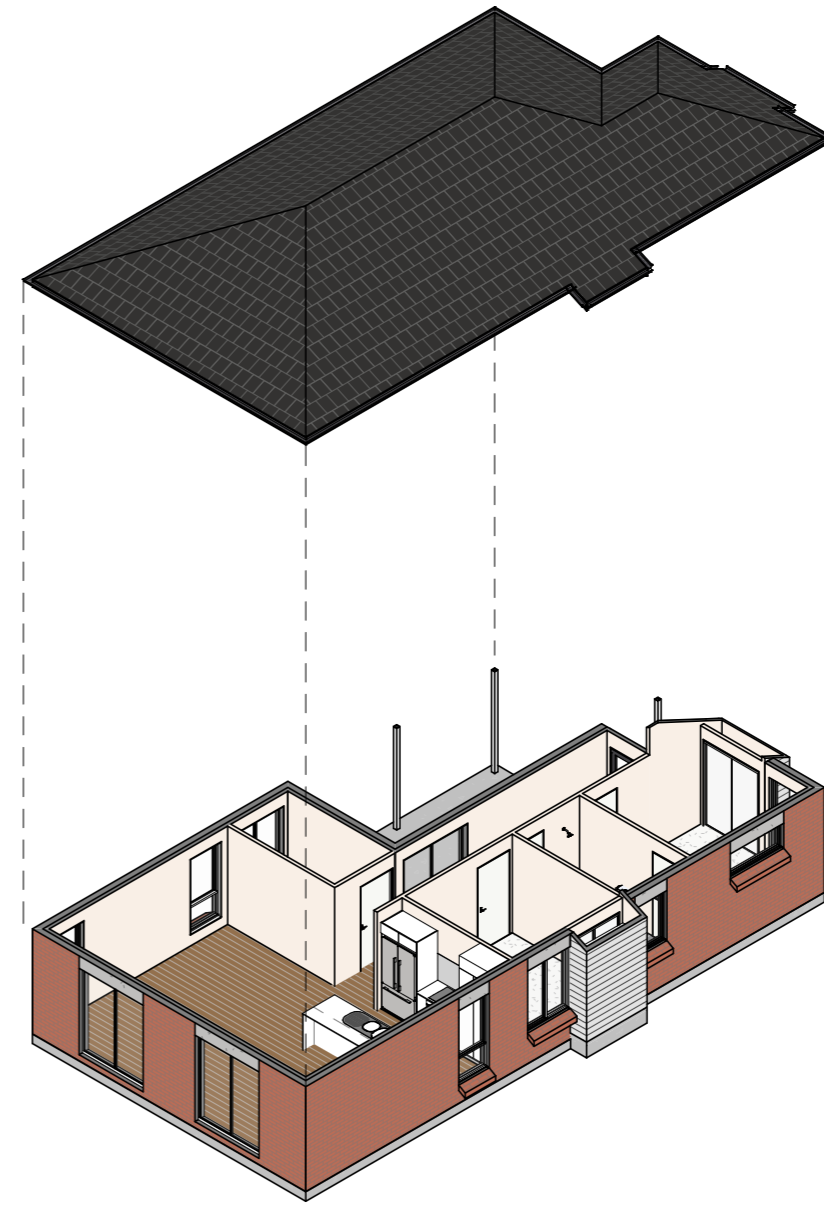
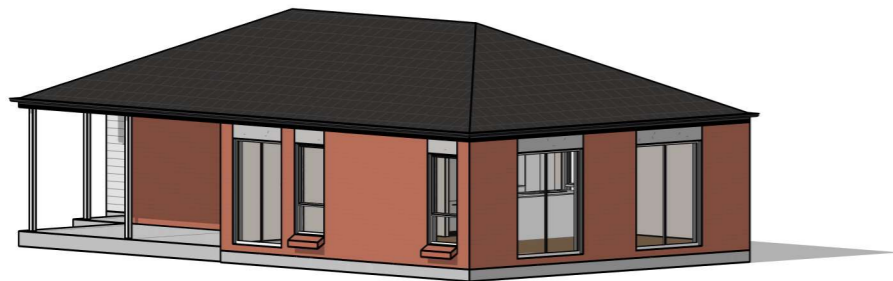
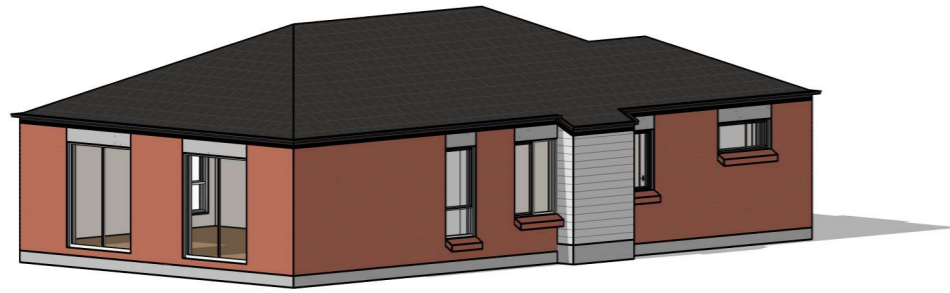
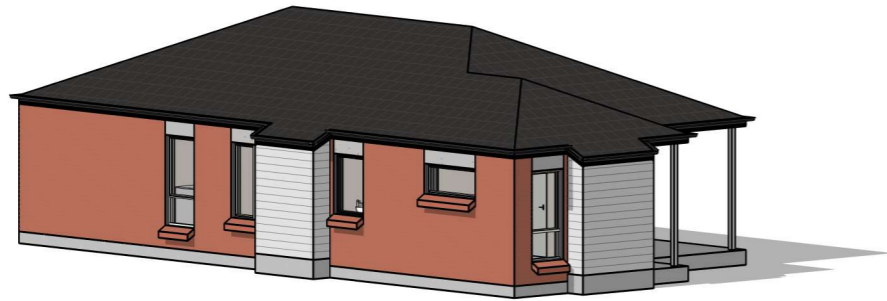
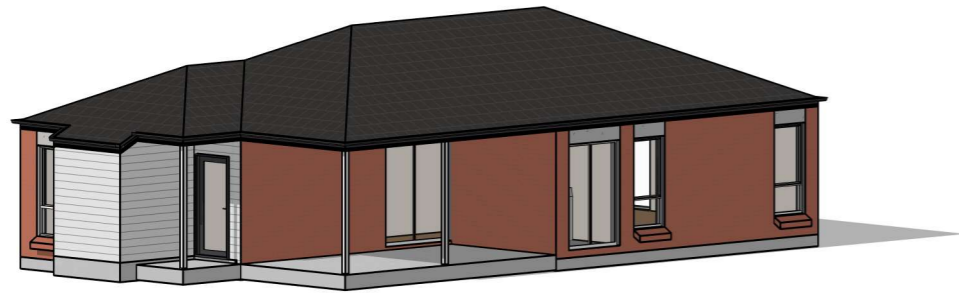
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HOMES**
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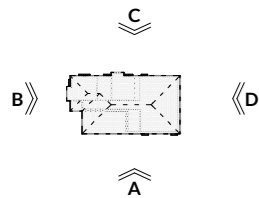
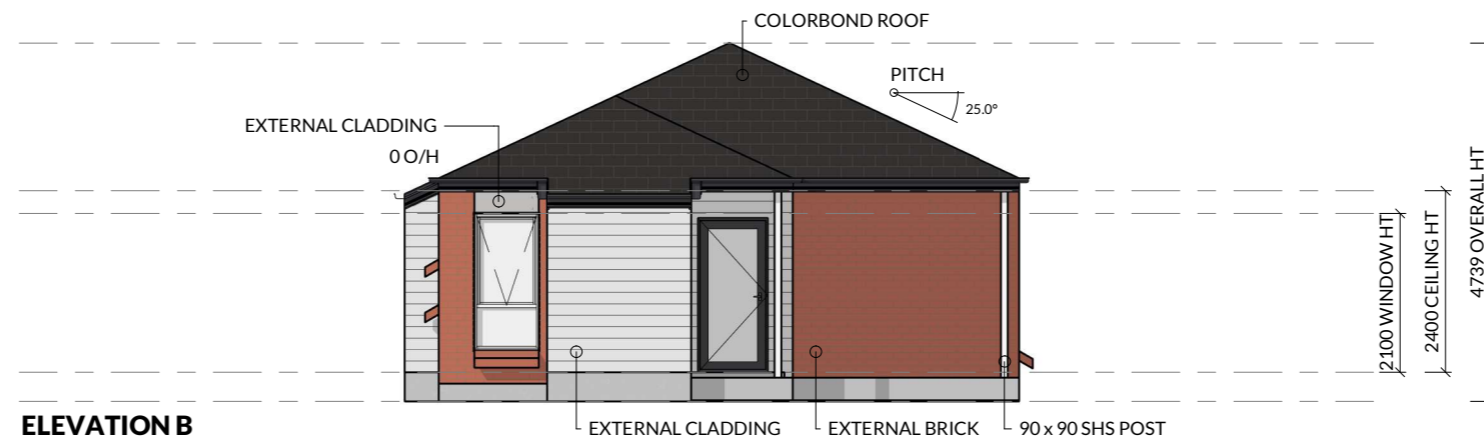
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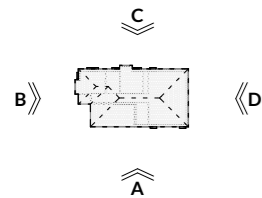
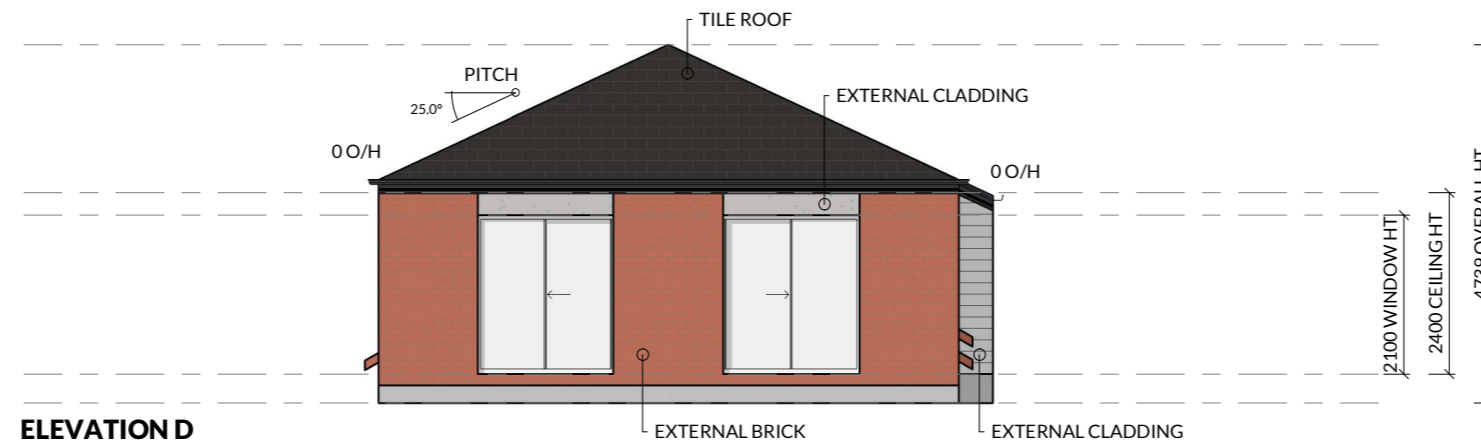
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FLOOR AREAS

| ROOM | SQUARES | SQM |
|----------|---------|---------------------|
| LIVING | 8.82 | 82.0 m ² |
| VERANDAH | 0.81 | 7.5 m ² |
| TOTAL | 9.63 | 89.5 m ² |

WINDOW SCHEDULE

| MARK | SIZE | DESCRIPTION |
|------|-------------|---------------------------------|
| W1 | 1800 x 750 | ALUM. FRAMED AWNING |
| W2 | 1800 x 750 | ALUM. FRAMED AWNING |
| W3 | 1800 x 750 | ALUM. FRAMED AWNING |
| W4 | 1800 x 750 | ALUM. FRAMED AWNING |
| W5 | 1800 x 750 | ALUM. FRAMED AWNING |
| W6 | 1800 x 750 | ALUM. FRAMED AWNING |
| W7 | 1800 x 750 | ALUM. FRAMED AWNING |
| W8 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |
| W9 | 1800 x 750 | ALUM. FRAMED AWNING |
| W10 | 1200 x 1800 | ALUM. FRAMED SLIDING WINDOW |
| W11 | 900 x 600 | ALUM. FRAMED AWNING |
| W12 | 2100 x 1400 | ALUM. FRAMED SLIDING GLASS DOOR |

DOOR SCHEDULE

| MARK | SIZE | DOOR TYPE |
|------|------------|------------------------|
| D1 | 2040 x 920 | ENTRY DOOR - HUME XV14 |
| D2 | 2040 x 870 | HOLLOW CORE SWING |
| D3 | 2040 x 870 | HOLLOW CORE SWING |
| D4 | 2040 x 870 | HOLLOW CORE SWING |
| D5 | 2040 x 870 | HOLLOW CORE SWING |
| D6 | 2040 x 720 | HOLLOW CORE SWING |

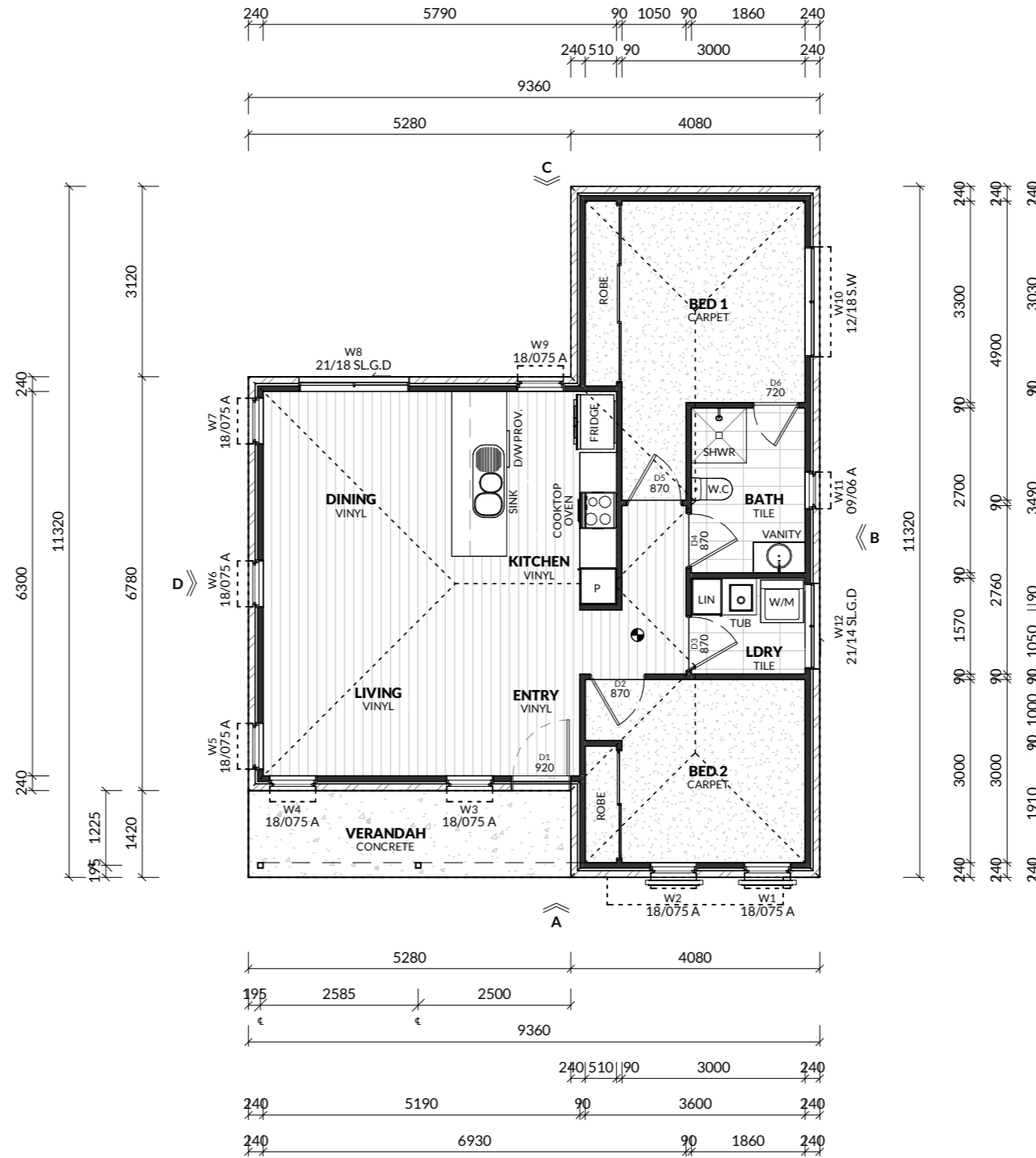
LEGEND

- C CASEMENT WINDOW
- SL.G.D SLIDING GLASS DOOR
- S.W SLIDING WINDOW
- A AWNING WINDOW
- D.HU DOUBLE HUNG WINDOW
- B.D BIFOLD DOORS
- LU LOUVERS
- SL SIDELIGHT
- M.V MECHANICAL VENT
- SKL SKYLIGHT
- F.G FIXED GLASS WINDOW

- ☼ SMOKE ALARM
- † HOSE COCK
- ▬ ELEC M/BOX
- ⊕ GAS BOTTLES
- ⊗ HOT WATER
- ⊕ FLOOR WASTE

ENERGY EFFICIENCY REQUIREMENTS

- R4.0 BATTS TO CEILING
- R2.0 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALL
- DOWNLIGHTS TO BE MIN IC RATED
- ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED



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PLAN NUMBER:
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AREI PLAN CODE:
AREI DESIGNS

CLIENT:
ABODE DESIGNER HOMES

DRAWING NAME:
U4 - FLOOR PLAN

PROJECT:
**PROPOSED RESIDENCE FOR
ABODE DESIGNER HOMES AT
18 PULTNEY STREET
LONGFORD TAS 7301**

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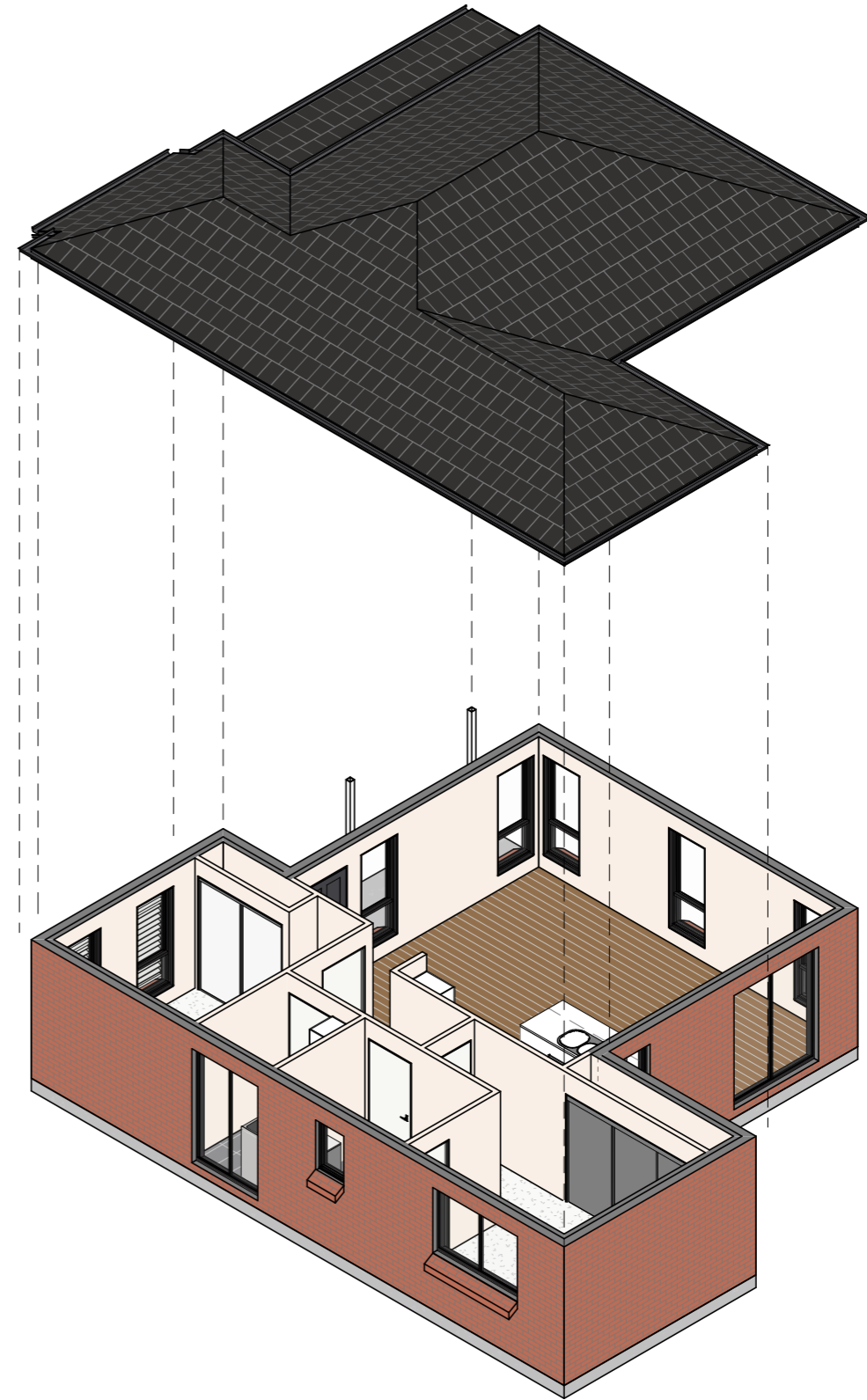
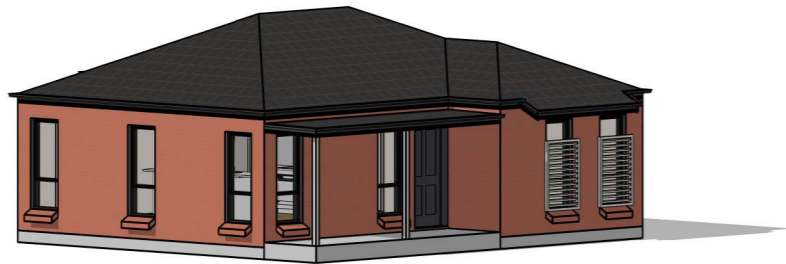
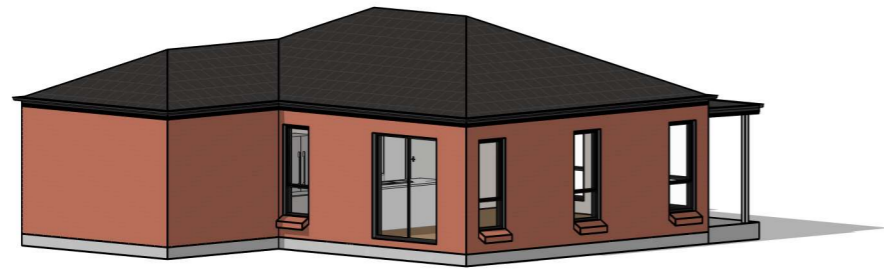
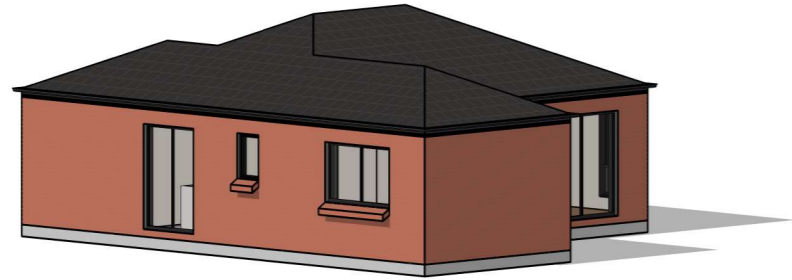
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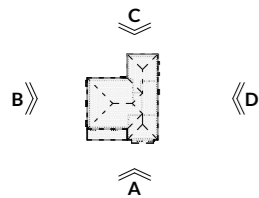
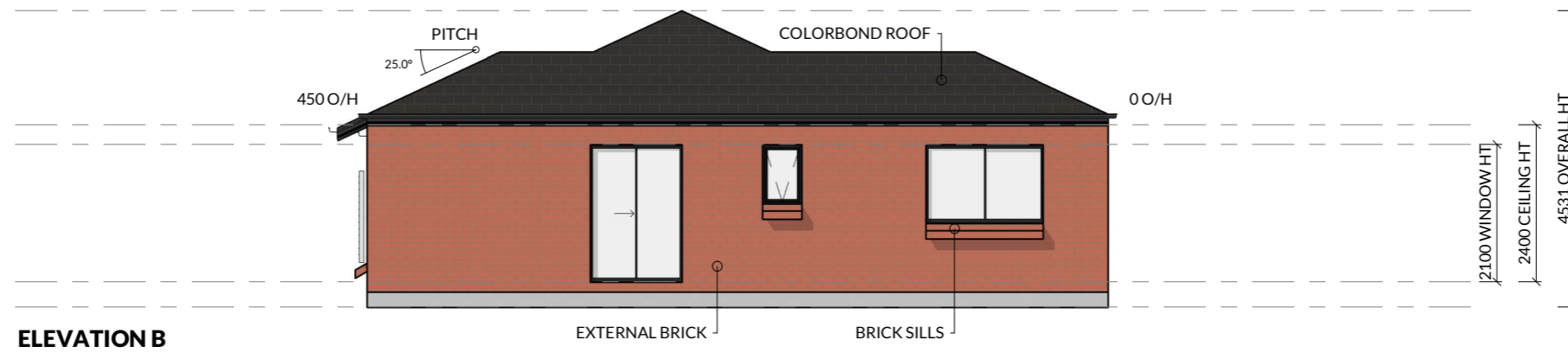
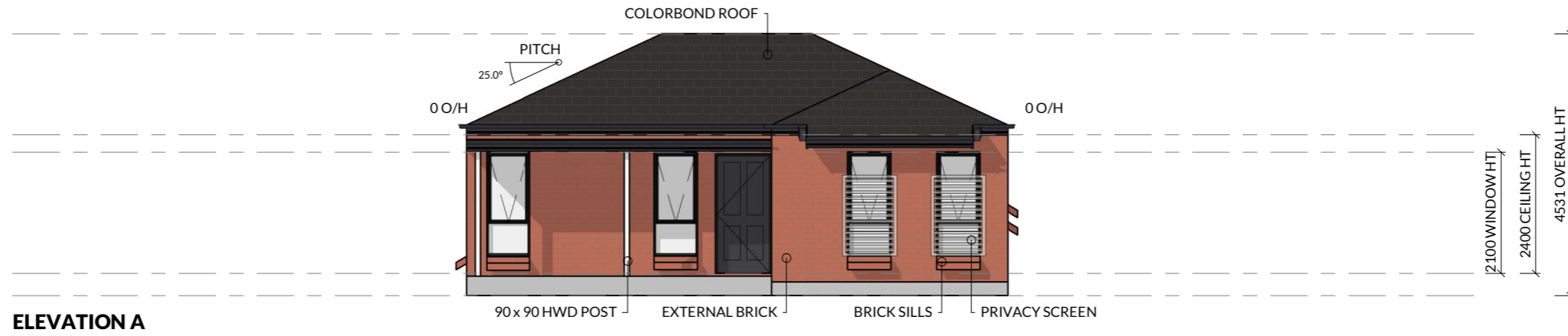
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NOTE:

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- TILED ROOF - BRISTLE DARK RANGE
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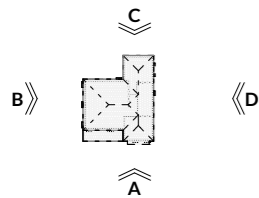
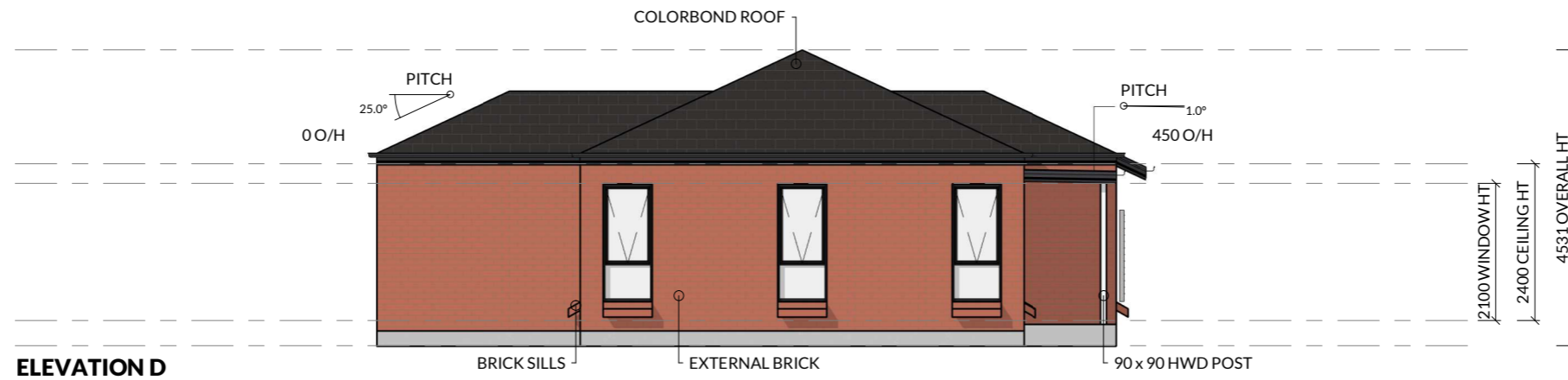
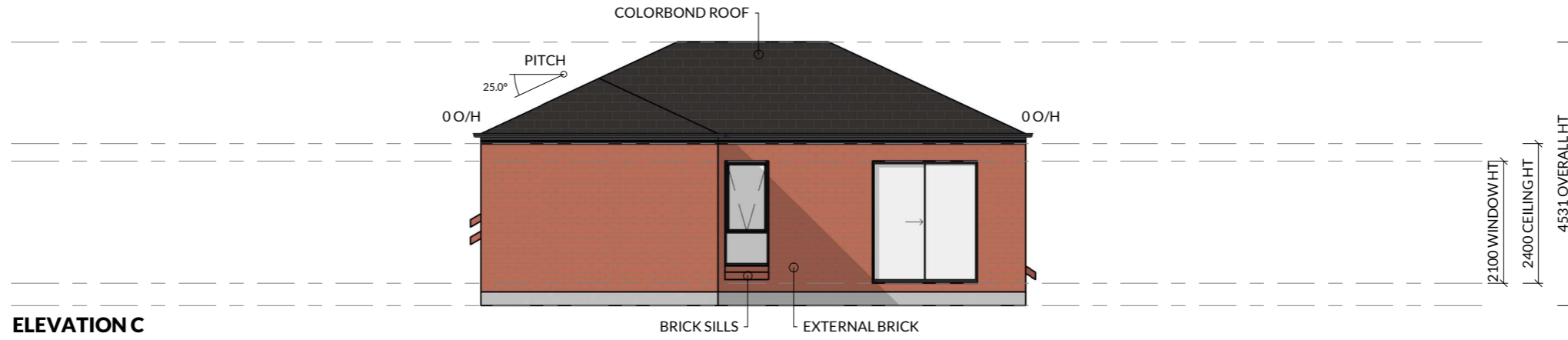
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FLOOR AREAS

| ROOM | SQUARES | SQM |
|---------------|---------|----------------------|
| U2/6 LIVING | 8.72 | 81.0 m ² |
| U2/6 VERANDAH | 0.78 | 7.3 m ² |
| U3/7 LIVING | 8.72 | 81.0 m ² |
| U3/7 VERANDAH | 0.78 | 7.3 m ² |
| TOTAL | 19.01 | 176.6 m ² |

WINDOW SCHEDULE

| MARK | SIZE | DESCRIPTION |
|------|-------------|---------------------------------|
| W1 | 1800 x 750 | ALUM. FRAMED AWNING |
| W2 | 1800 x 750 | ALUM. FRAMED AWNING |
| W3 | 1800 x 750 | ALUM. FRAMED AWNING |
| W4 | 1800 x 750 | ALUM. FRAMED AWNING |
| W5 | 1800 x 750 | ALUM. FRAMED AWNING |
| W6 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |
| W7 | 1800 x 750 | ALUM. FRAMED AWNING |
| W8 | 1200 x 1800 | ALUM. FRAMED SLIDING WINDOW |
| W9 | 900 x 600 | ALUM. FRAMED AWNING |
| W10 | 2100 x 1400 | ALUM. FRAMED SLIDING GLASS DOOR |
| W11 | 1800 x 750 | ALUM. FRAMED AWNING |
| W12 | 1800 x 750 | ALUM. FRAMED AWNING |
| W13 | 1800 x 750 | ALUM. FRAMED AWNING |
| W14 | 1800 x 750 | ALUM. FRAMED AWNING |
| W15 | 1800 x 750 | ALUM. FRAMED AWNING |
| W16 | 2100 x 1400 | ALUM. FRAMED SLIDING GLASS DOOR |
| W17 | 900 x 600 | ALUM. FRAMED AWNING |
| W18 | 1200 x 1800 | ALUM. FRAMED SLIDING WINDOW |
| W19 | 1800 x 750 | ALUM. FRAMED AWNING |
| W20 | 2100 x 1800 | ALUM. FRAMED SLIDING GLASS DOOR |

DOOR SCHEDULE

| MARK | SIZE | DOOR TYPE |
|------|------------|------------------------|
| D1 | 2040 x 920 | ENTRY DOOR - HUME XV14 |
| D2 | 2040 x 870 | HOLLOW CORE SWING |
| D3 | 2040 x 870 | HOLLOW CORE SWING |
| D4 | 2040 x 870 | HOLLOW CORE SWING |
| D5 | 2040 x 870 | HOLLOW CORE SWING |
| D6 | 2040 x 720 | HOLLOW CORE SWING |
| D7 | 2040 x 870 | HOLLOW CORE SWING |
| D8 | 2040 x 870 | HOLLOW CORE SWING |
| D9 | 2040 x 870 | HOLLOW CORE SWING |
| D10 | 2040 x 720 | HOLLOW CORE SWING |
| D11 | 2040 x 870 | HOLLOW CORE SWING |
| D12 | 2040 x 920 | ENTRY DOOR - HUME XV14 |

LEGEND

- C CASEMENT WINDOW
- SL.G.D SLIDING GLASS DOOR
- S.W SLIDING WINDOW
- A AWNING WINDOW
- D.HU DOUBLE HUNG WINDOW
- B.D. BIFOLD DOORS
- LU LOUVERS
- SL SIDELIGHT
- M.V. MECHANICAL VENT
- SKL SKYLIGHT
- F.G. FIXED GLASS WINDOW

- ☼ SMOKE ALARM
- † HOSE COCK
- ▬ ELEC M/BOX
- ⊕ GAS BOTTLES
- ⊗ HOT WATER
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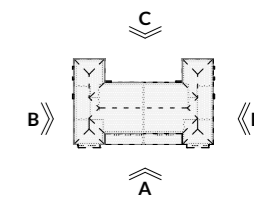
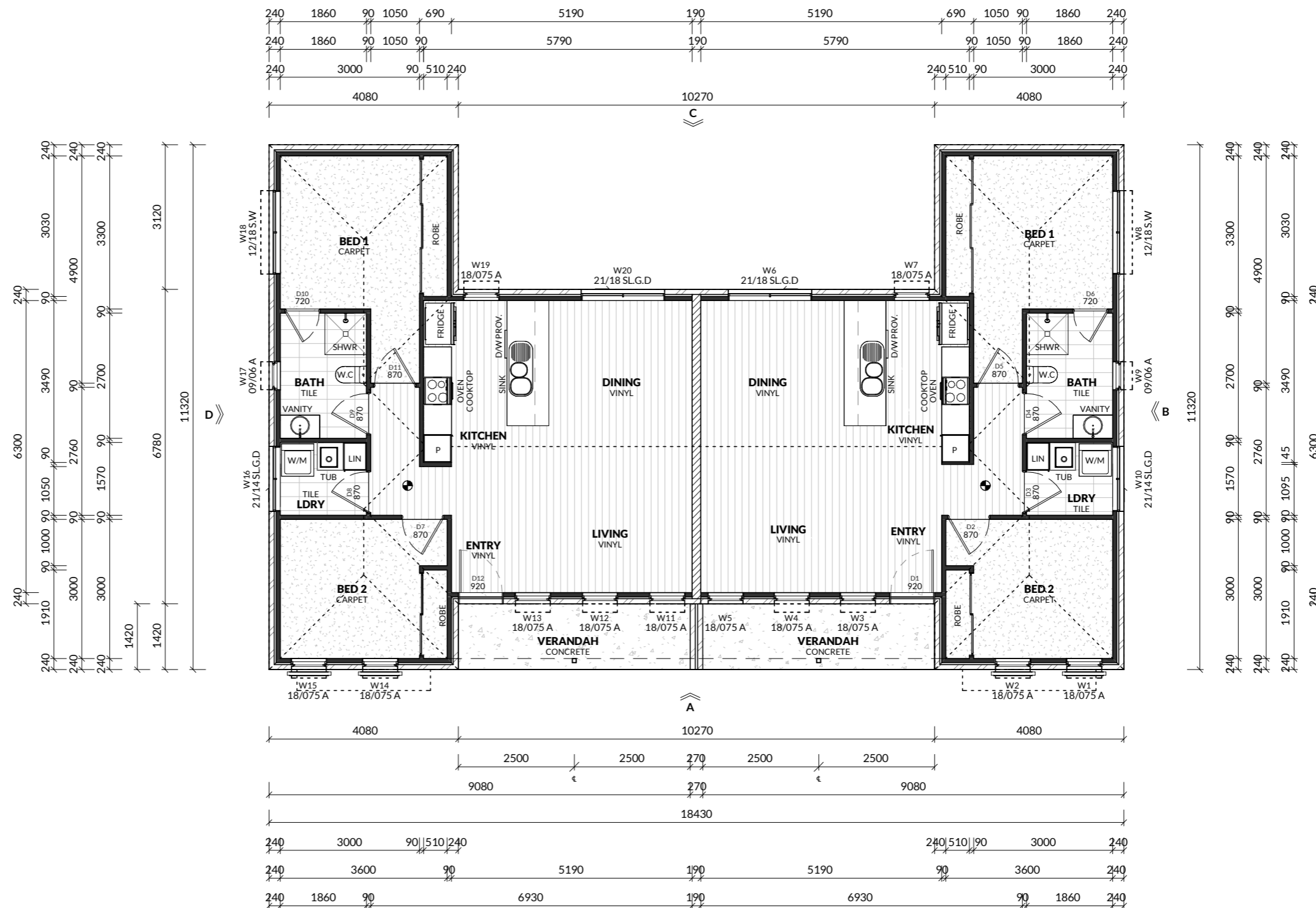
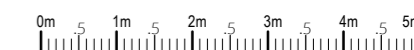
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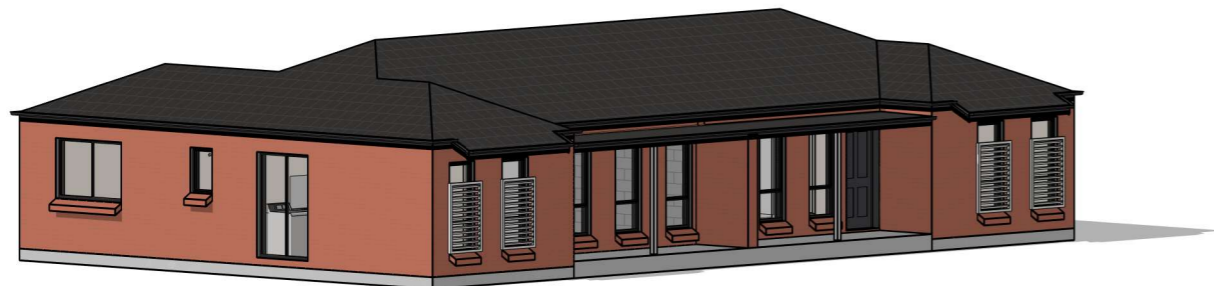
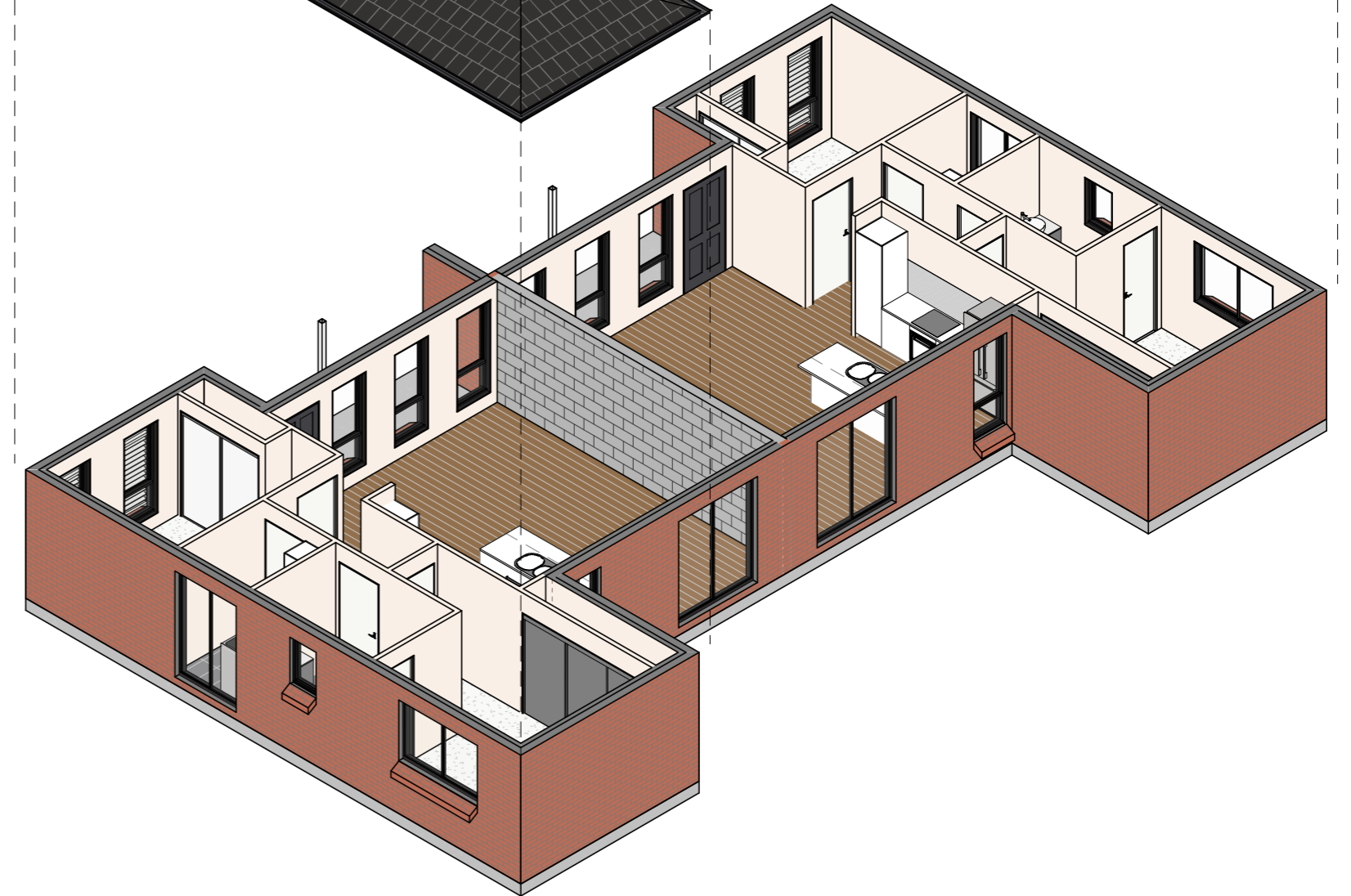
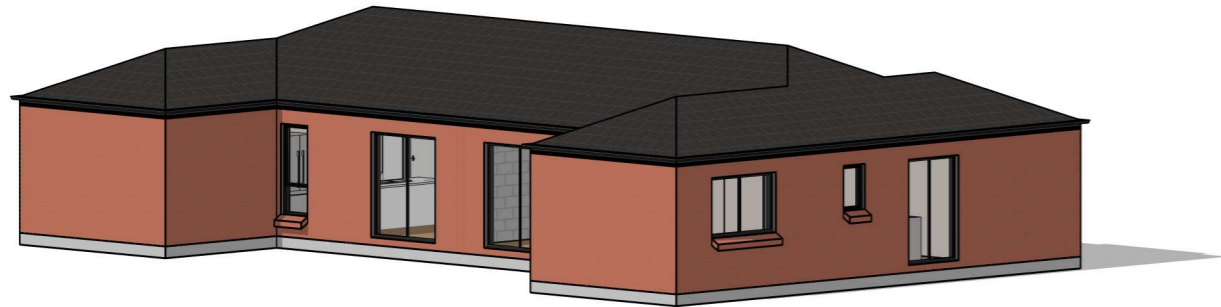
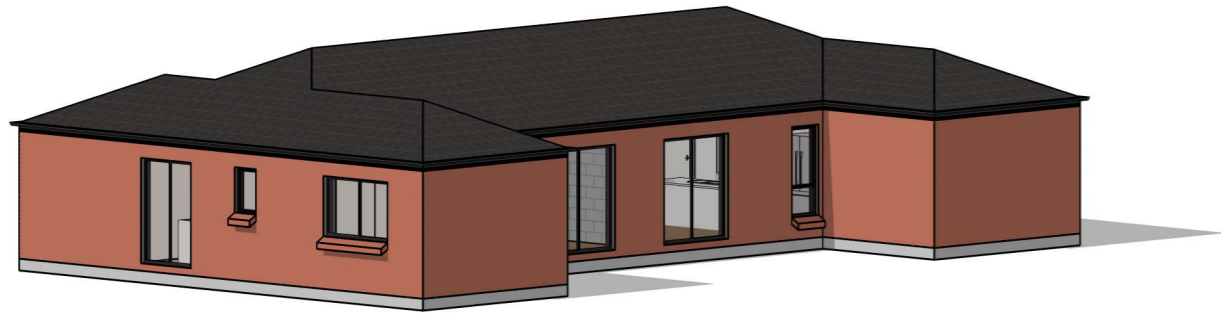
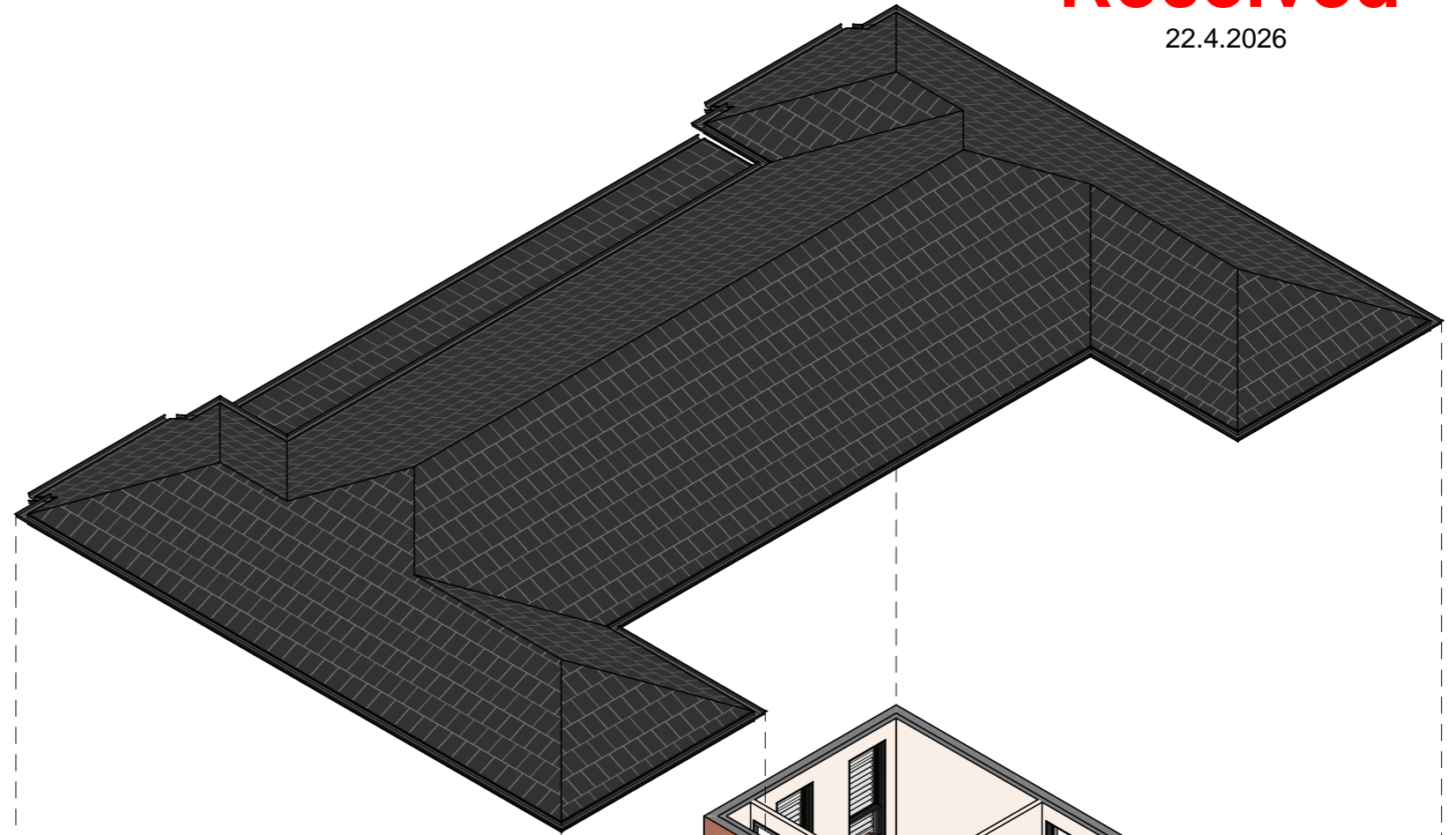
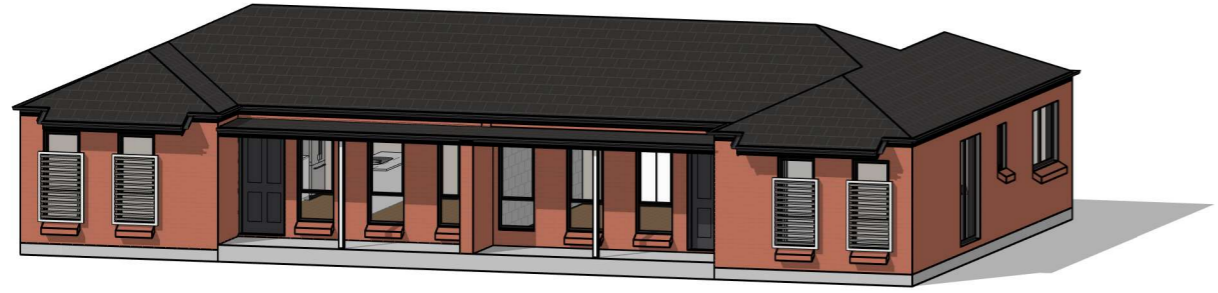
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CLIENT:
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U2, 3, 6, 7 - 3D VIEWS

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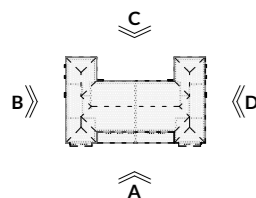
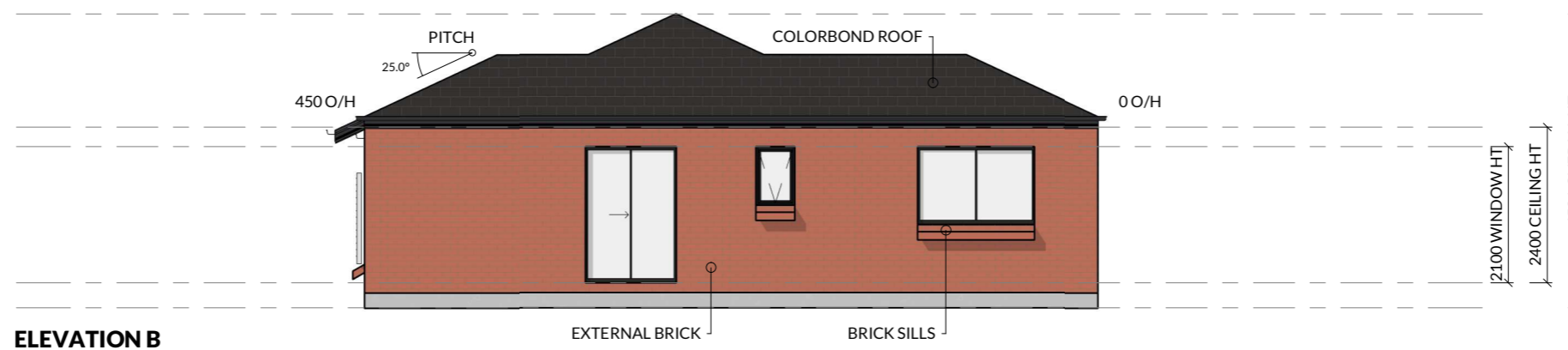
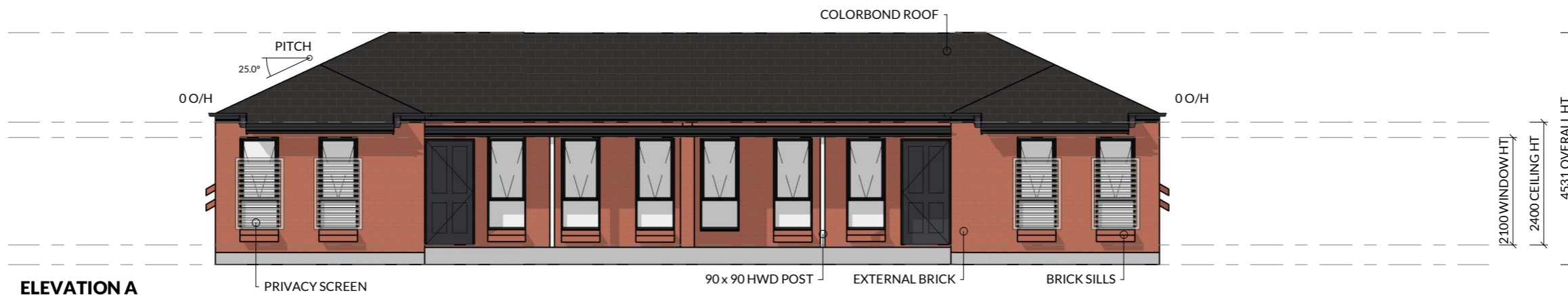
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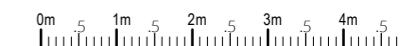
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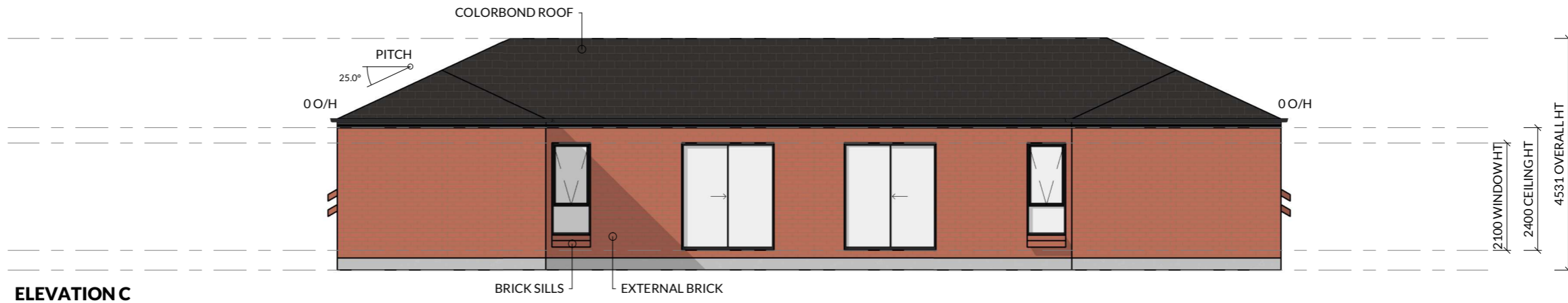
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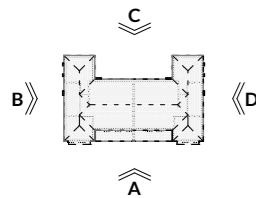
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ELEVATION C



ELEVATION D



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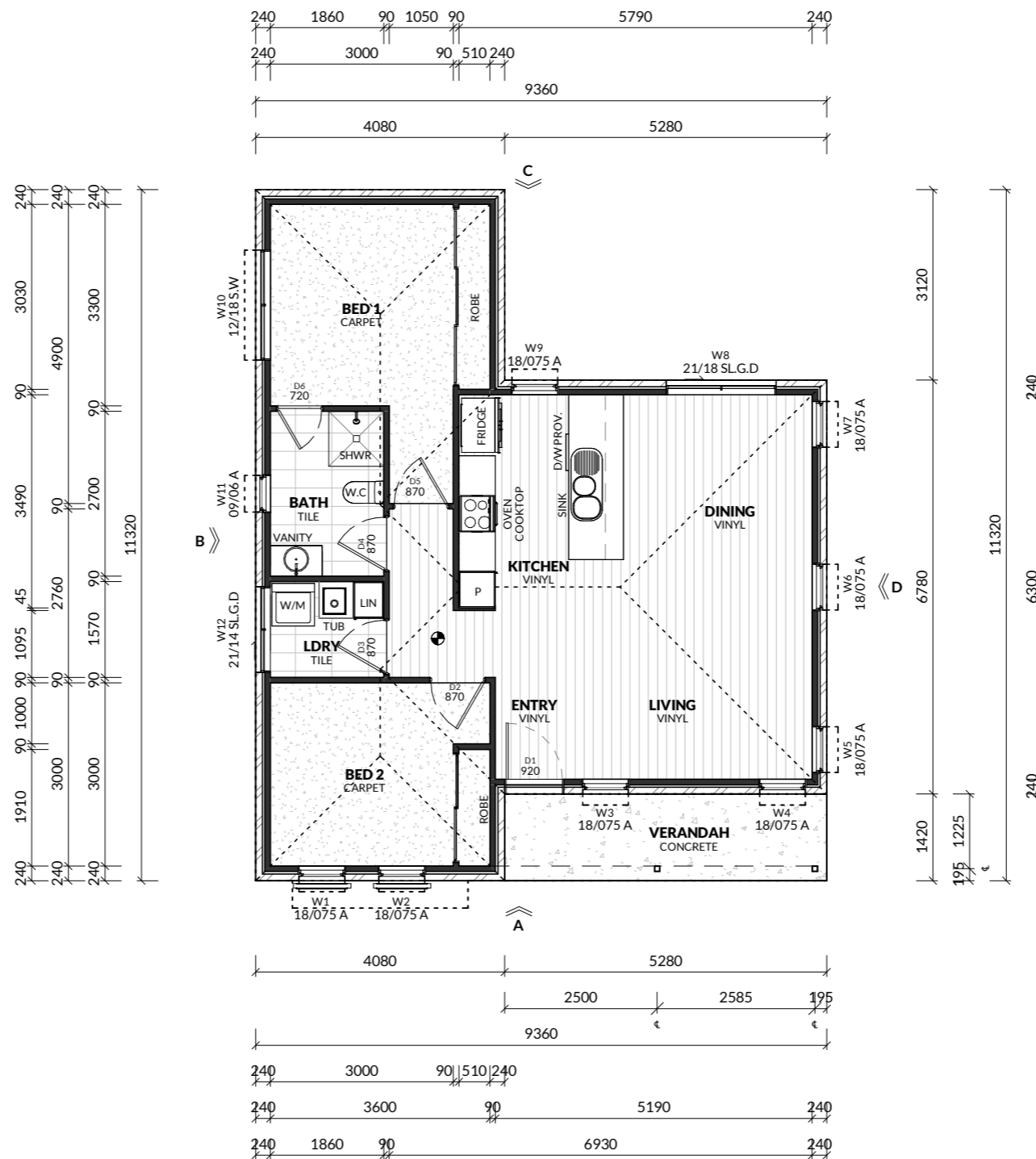
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FLOOR AREAS

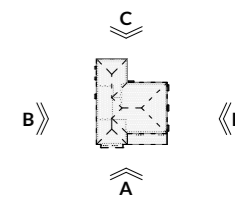
| ROOM | SQUARES | SQM |
|----------|---------|---------------------|
| LIVING | 8.82 | 82.0 m ² |
| VERANDAH | 0.81 | 7.5 m ² |
| TOTAL | 9.63 | 89.5 m ² |



LEGEND

- C CASEMENT WINDOW
- SL.G.D SLIDING GLASS DOOR
- S.W SLIDING WINDOW
- A AWNING WINDOW
- D.HU DOUBLE HUNG WINDOW
- B.D BIFOLD DOORS
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- SL SIDELIGHT
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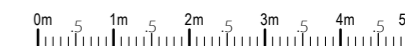
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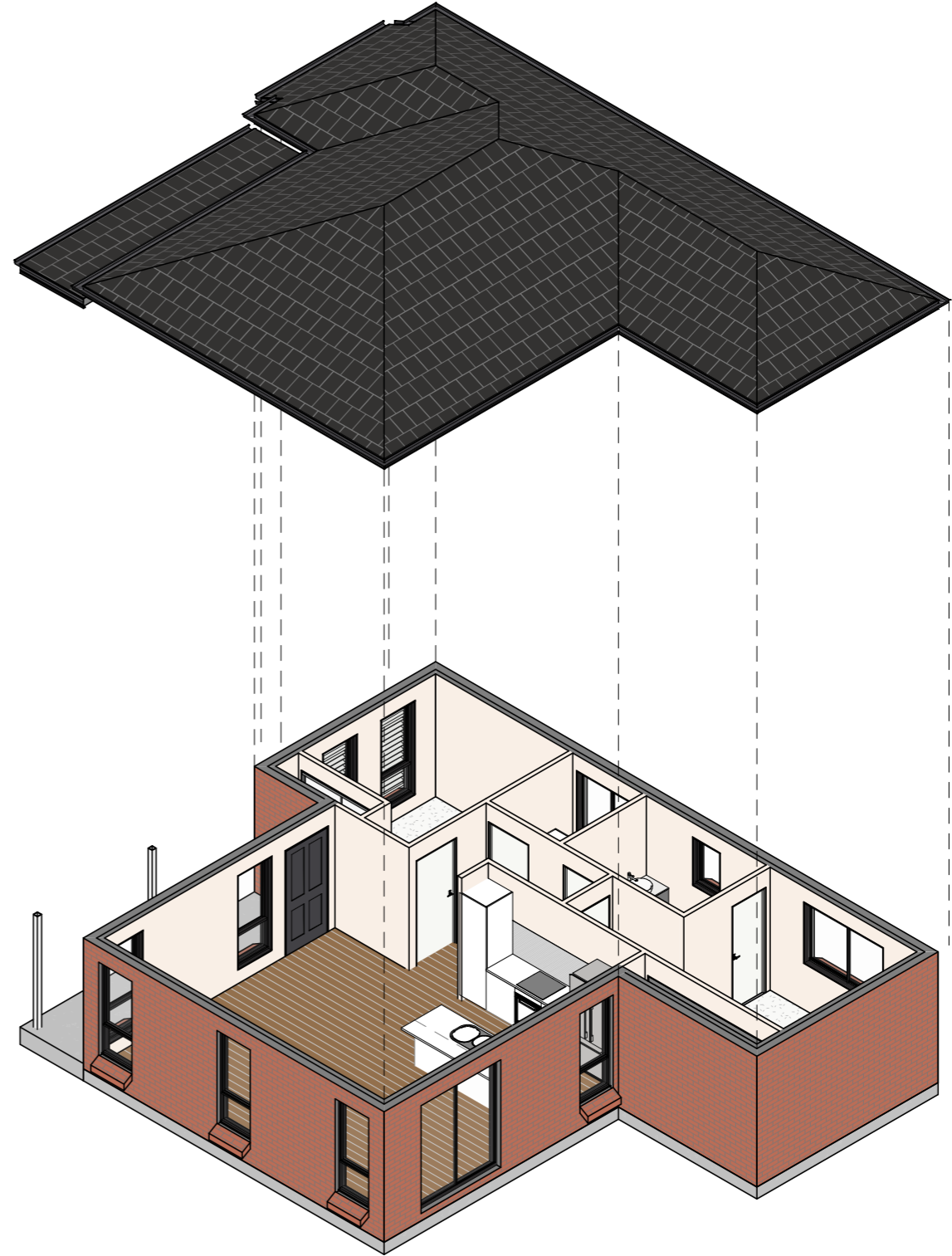
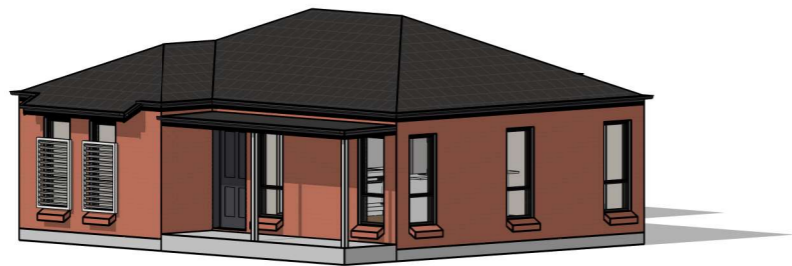
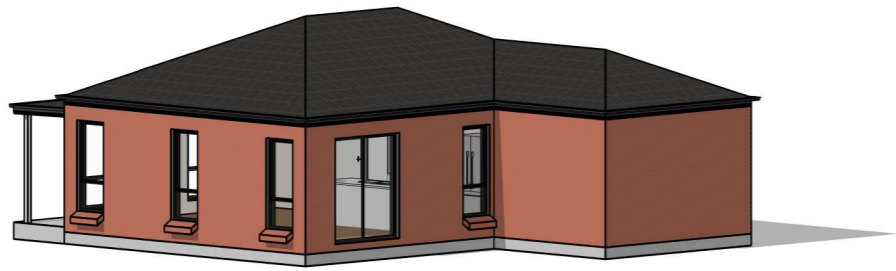
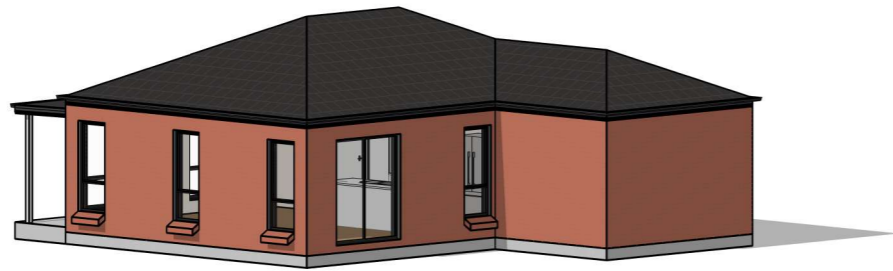
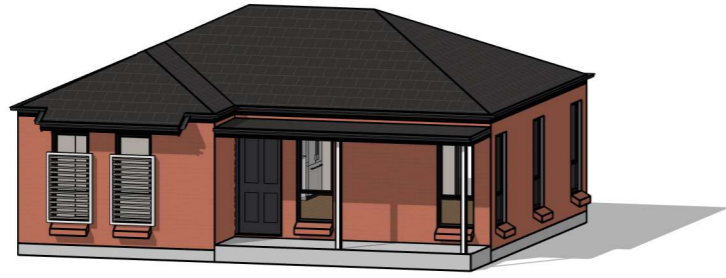
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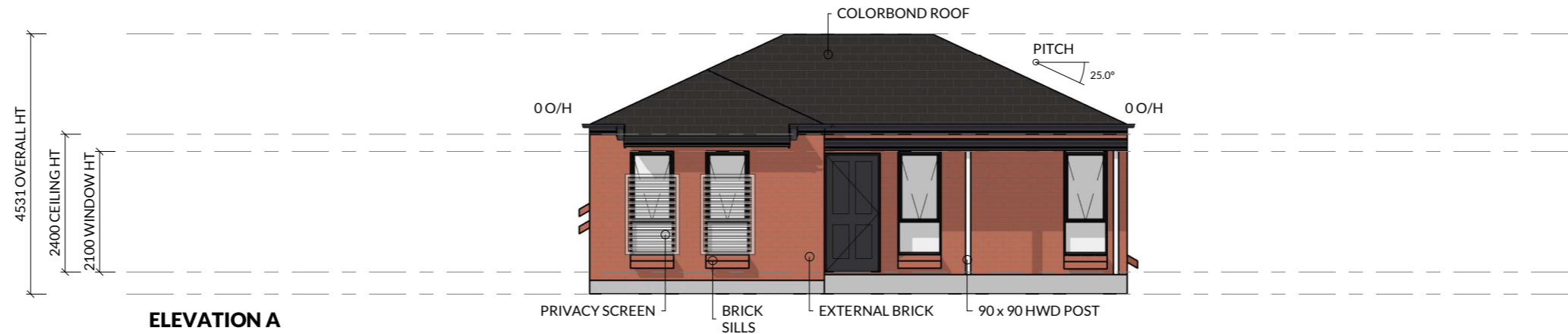
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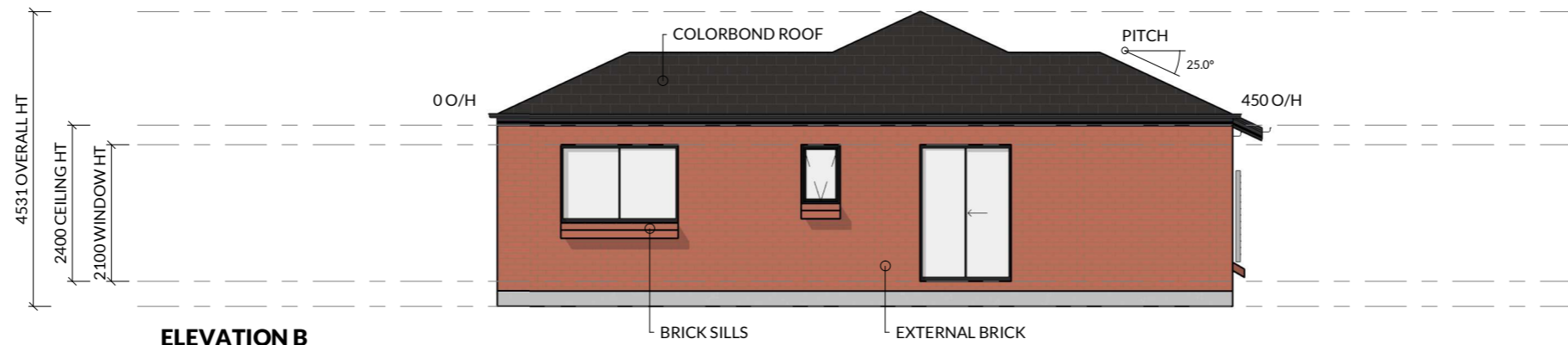
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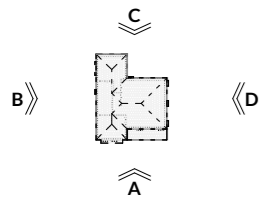
- ROOF PITCH 25°
- TILED ROOF - BRISTLE DARK RANGE
- BRICKWORK - AUSTRAL 230x 110 x 76 RED/BROWN RANGE WITH NATURAL MORTAR
- GUTTER & FASCIA - D-PROFILE IN COLORBOND MONUMENT, FASCIA TO MATCH
- ALUMINIUM WINDOWS IN COLORBOND MONUMENT
- NON-REFLECTIVE & TRANSPARENT GLAZING TO ALL WINDOWS



ELEVATION A



ELEVATION B



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 TAS BSP: 071565667
 ABN: 31 615 195 818

PLAN NUMBER:
 #2489/25

AREI PLAN CODE:
 AREI DESIGNS

CLIENT:
ABODE DESIGNER HOMES

DRAWING NAME:
U5 - ELEVATIONS A & B

PROJECT:
**PROPOSED RESIDENCE FOR
 ABODE DESIGNER HOMES AT
 18 PULTNEY STREET
 LONGFORD TAS 7301**

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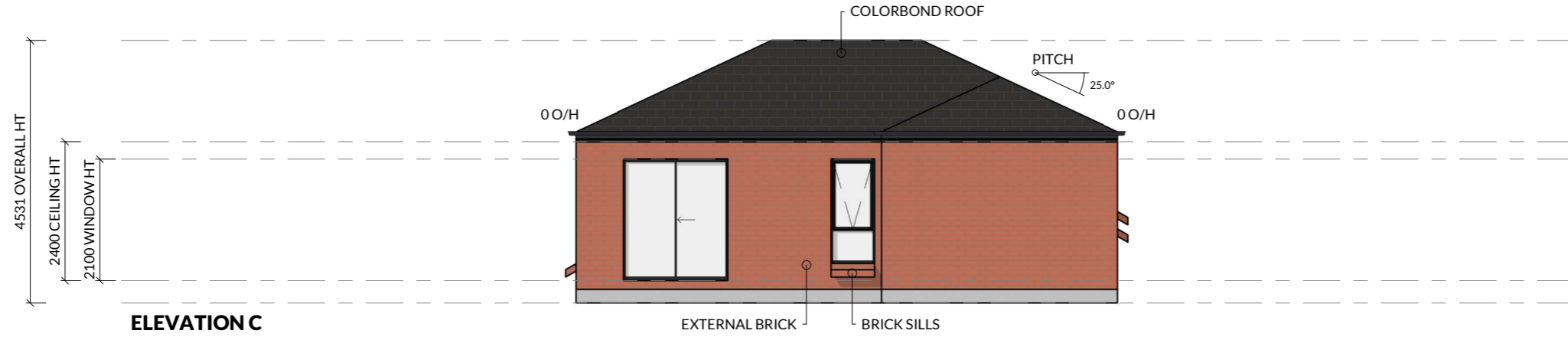
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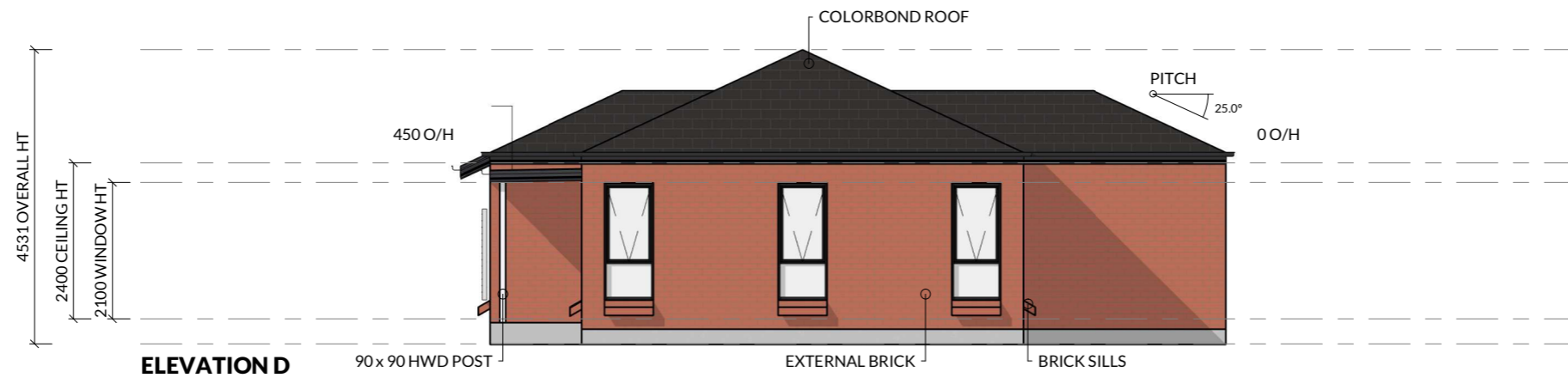
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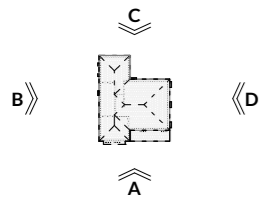
- ROOF PITCH 25°
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ELEVATION C



ELEVATION D



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DRAWING NAME:
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PROJECT:
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