

Exhibited

This planning application is open for
public comment until
22 April 2026

Reference no	PLN-25-0216
Site	658 WOOLMERS LANE LONGFORD
Proposed Development	Partial change of use - Visitor Accommodation
Zone	21.0 Agriculture
Use class	Visitor Accommodation

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE
(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

Exhibited

The Proposal

Description of proposal:

Change of use to visitor accomodation, internal fitout.

Driveway construction material:

Existing/proposed: Gravel

The Land

Site address:

'Woolmers Cottages' 658 Woolmers Lane, Longford

Tasmania, 7301

Title reference:

C/T: LOT 3 / VOL 135619

Existing buildings on site:

Cottages, machinery shed, woolshed, blacksmiths, Woolmers Cottage

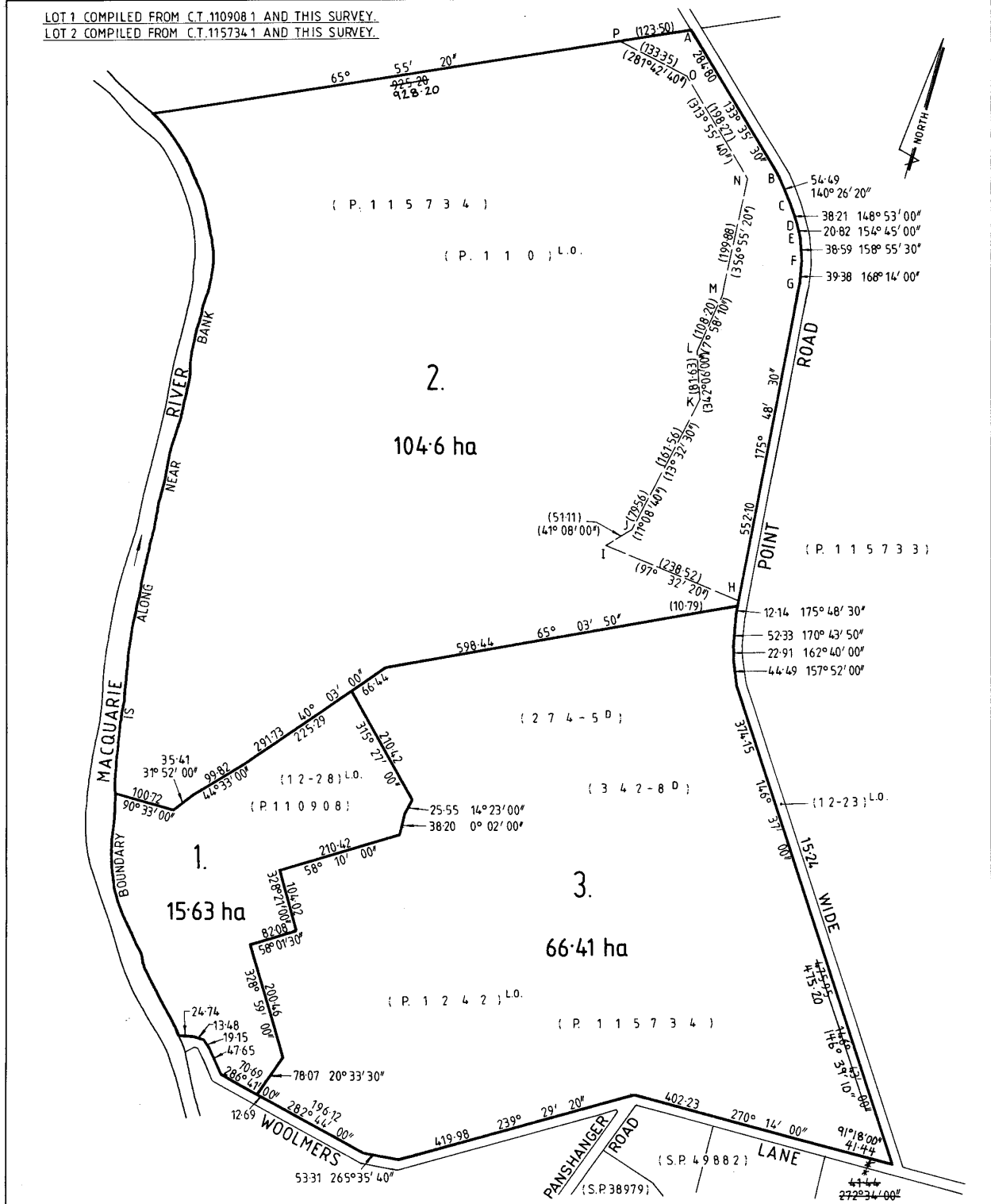
Existing use of site:

N/A, Woolmers Cottage currently approved as cafe and accomodation.

Applicant justification of any variation/discretion to the *Tasmanian Planning Scheme – Northern Midlands*

OWNER ARCHER HISTORICAL FOUNDATION INC.		PLAN OF SURVEY		REGISTERED NUMBER SP135619
FOLIO REFERENCE C.T.115734-1. C.T.110908-1		BY SURVEYOR R.V.TAIT. - G.J.WALKEM & CO. LAUNCESTON.		APPROVED EFFECTIVE FROM 29 MAY 2001 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF LOT 2A (LONGFORD ESTATE) 698 0 8 GTD. TO THOMAS EDWARD CATHCART ARCHER & PART OF 2905 ACRES GTD. TO THOMAS ARCHER.		LOCATION LAND DISTRICT OF SOMERSET. PARISH OF CHICHESTER.		
SCALE 1:6000.		LENGTHS IN METRES		
MAPSHEET MUNICIPAL CODE No. 123. (5039-43,44)	LAST UPI No. FBY 58 5600783	LAST PLAN No. P.115734 P.110908.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 1 COMPILED FROM C.T.110908 1 AND THIS SURVEY.
LOT 2 COMPILED FROM C.T.115734 1 AND THIS SURVEY.



Received

4.3.2026

Exhibited

Heritage Impact Statement

Woolmers Cottage: Internal works

Woolmers Estate, 658 Woolmers Lane, Longford, Tasmania, 7301.

Prepared for Woolmers Foundation Inc.

648 Woolmers Lane, Longford, Tasmania, 7301.

Country of the Pannihher people of the Stoney Creek/Northern Midlands Nation, Lutruwita.

Prepared by Bee Newman, Next 50

PO BOX 16, North Hobart, Tasmania, 7002

Version: February 2026

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1. INTRODUCTION

1.1 Background

Woolmers Estate Inc. commissioned Next 50 Architects to prepare this Heritage Impact Statement (HIS) to accompany a Development Application for the proposed **Internal Works at Woolmers Cottage**, 658 Woolmers Lane, Longford, TAS 7301, located on Certificate of title Reference 135619/1 with Property ID 2037800658.

Woolmers Cottage forms part of the wider **Woolmers Estate (THR ID Number: 5077)**, which is permanently registered on the **Tasmanian Heritage Register** as a place of historic cultural heritage significance to the State of Tasmania in accordance with the **Historic Cultural Heritage Act 1995 (TAS)**. Woolmers Estate is also a listed place on the **National Heritage List (place ID 105976)** and together with Brickendon Estate, forms one of 11 sites that make up the **Commonwealth Australian Convict Sites World Heritage** serial listing.

The assessment is based on the following:

- Architectural Drawings, prepared by Next50 Architects; see Appendix A.

This report was prepared by Bee Newman (Director) of Next 50 Architects. Bee holds a Bachelor of Environmental Design, a Master of Architecture and a Graduate Diploma of Archaeology and Heritage Management.

1.2 Limitations

The property is located within the bounds of the **Northern Midlands Council** Agriculture Zone which formally adopted the Tasmanian Planning Scheme 19/04/2023. Under clause C6.2.3 of the *Tasmanian Planning Scheme – State Planning Provisions (TPS-SPP)*, the **Local Historic Heritage Code does not apply to this site** as it is permanently entered on the Tasmanian Heritage Register. As such, this Heritage Impact Statement does not address the provisions set out in C6.6 – Development Standards for Local Heritage Places.

The proposed works do not adversely affect the Outstanding Universal Value (OUV) of the Australian Convict Sites World Heritage property, as they are confined to internal alterations and minor reversible external interventions that do not impact convict-period fabric or archaeological potential.

This report considers only the registered built heritage of Woolmers Cottage. It does not assess potential impacts on archaeological features, cultural landscapes, or Aboriginal heritage values within the Cottage or the broader Woolmers Estate, as these fall outside the defined scope of this assessment.

While archaeological impacts fall outside the primary scope of this assessment, any subsurface disturbance associated with removal of intrusive concrete elements should proceed under archaeological awareness conditions, consistent with CMP Policies 26–28.

2 SITE DESCRIPTION

2.1 Site Context

Woolmers is an 82-hectare estate, split over two titles (Certificate of title 135619/1 and 135619/3) on the Macquarie River floodplain near Longford, Tasmania. The entire site is listed on the Tasmanian Heritage Register Central Plan Register (CPR) (Tasmanian Heritage Council 2009; see also Appendix C).

The site comprises four historic precincts (**Figure 1**) distributed across the two titles as referenced in both the *Conservation Management Plan* (Lucas, Stapleton & Partners 1996; see also Appendix B) and the Australian Heritage Database (Department of the Environment and Heritage 2007; see also Appendix D):

- House Precinct – featuring pre-1850s buildings including the main house and garden;
- Coach House Precinct – with colonial-era structures such as the Coach House and Coachman's Cottage;
- Outbuildings Precinct – including the Woolshed, Store, and Workers' Cottages; and
- Cottage Precinct – including the gardeners cottage and **Woolmers Cottage**.

Outside of the historic precincts are a visitor centre, rose garden, farmland and various outbuildings.



Figure 1: Site plan of Woolmers Estate. Diagram by author.

Woolmers Cottage is located on certificate of Title 135619/3 and is the defining feature of the Cottage Precinct. The building has an approximate floor area of 390 m² and is constructed of

masonry with pebbledash wall finishes to the base and had an original lime-rendered exterior. It represents a well-resolved example of mid-nineteenth-century domestic design, comprising a basement, a grand-scale main floor, and a reduced-height first floor. The principal façade features a wide sandstone-flagged veranda extending the full length of the building from west to east, bordered by mature tree plantings.

A circular driveway, surfaced with white pebbles and edged with bricks likely produced on the Estate, remains evident and continues to define the formal setting of the cottage. To the rear, a cobbled service courtyard is enclosed by the coach house, stable and tack rooms, and the service wing, which accommodates the kitchen, scullery, and several ancillary spaces. The foundations of a former tennis court remain to the south-west of the cottage (**Figure 2**).



Figure 2: Woolmers Cottage, illustrating curved tree line to north-east and north-west, and modern Woolmers visitor center carpark in bottom right. Photograph taken by Darren Watton, September 2022.

2.2 History of Woolmers Cottage

Woolmers Cottage was designed by Launceston architect Samuel Jackson in 1836 and constructed by Thomas Archer I for his eldest son, Thomas William Archer II.

Woolmers Cottage is of exceptional significance as one of the most accomplished designs of the 1830s in Australia. The house demonstrates a clear separation of the various functions of a colonial residence through its planning, design, and detailing, forming a self-contained unit comprising the main house, carriage house, and service wing arranged in a 'U' around a service yard. The garden, situated on a commanding site overlooking the valley toward Longford, retains evidence of an earlier formal layout, much of which has been lost. The presence of the tennis court reflects the importance of sport and leisure activities to later generations of the family.

Since its completion, the cottage has served a variety of uses, functioning both as a family residence and as accommodation for tenants. These varied occupations have shaped the evolving character of the property. Renovations undertaken in 2006 and 2011 largely preserved the cottage's fabric; however, it has remained mostly vacant for the past 19 years.

2.3 Timeline of Key Events

1817	Land grant established to Thomas Archer I (b.1790-d.1850).
c. 1819	Original Woolmers Homestead constructed.
c. 1839	Woolmers Cottage designed by Launceston architect Samuel Jackson in 1836, built by Thomas Archer for his eldest son, Thomas William Archer II (b.1817-1844), following his marriage to Mary Abbot (c.1818-1874) in 1839.
1844	Thomas William Archer II dies of scarlet fever; his widow, Mary Archer , continues to occupy the house.
1858–1868	Mary Archer travels to England with her children and mother-in-law. During this period, the cottage is papered and painted by William Wright, paid for by the new tenant, George Ritchie.
1874	Mary dies; she had continued living in the cottage after returning from England. Daughter Louisa still living in cottage.
1880	Cottage leased to Mrs Mayne.
1885	Cottage leased to William Ralston.
1895	Cottage leased to R. Cartledge.
1905	Cottage leased to Herbert Gatenby, who also leased 3,780 acres of the estate.
1910	Cottage lease to R. Cartledge again.
1915	Thomas Edward Cathcart Archer V (b.1840-d.1890), son of Thomas Cathcart Archer IV (b.1862-d.1934) moves into Woolmers Cottage following his marriage to Marjorie Patten (b.1894-d.1969).
1927–1932	Marjorie Cathcart Archer purchases several items of furniture for the house; internal walls relined with asbestos cement during this period.
1934	Thomas Edward Cathcart Archer V moves to the main Woolmers Homestead following his father's death. The occupation of the cottage is unknown during this period until the 1960's.
1960s	Cottage leased to Isabella Mead.
1956 – 1958	Repairs carried out including roof, pipes, plumbing, new bath, painting and papering, new entrance and ramp, and septic tank repairs.
1963	Further roof repairs undertaken.
2006–2007	Exterior of the cottage conserved.
2008	<i>Woolmers Conservation Management Plan</i> prepared by Clive Lucas, Stapleton & Partners (See Appendix B).
2010–2011	Additional works carried out to provide caretaker flat accommodation, commercial kitchen and toilet facilities for patrons/visitors.
2011	Caretakers flat intermittently used by Woolmers staff; Woolmers Cottage largely unused except for isolated events (gallery exhibition, car show).
2024	Strong winds blew a large portion of the verandah roof off, which landed in a nearby paddock.

Summary

Woolmers Cottage has been in existence for approximately **186 years** (c. 1839–2025). Of this period, roughly **80 years** were occupied by members of the Archer family, **87 years** by other tenants, and the last remaining **19 years** were largely vacant, intermittently occupied, or used for short-term purposes such as caretaker accommodation or special events. This timeline underscores that the house's history is shaped equally by the founding family and its long-standing use by tenants.

The historical pattern of occupation at Woolmers Cottage underlines the suitability of its proposed use as guest accommodation, maintaining its established role as a tenanted residence.

2.4 Visual Records

The following maps and photographs form part of the historic visual record of Woolmers Cottage (Figure 3, Figure 4).

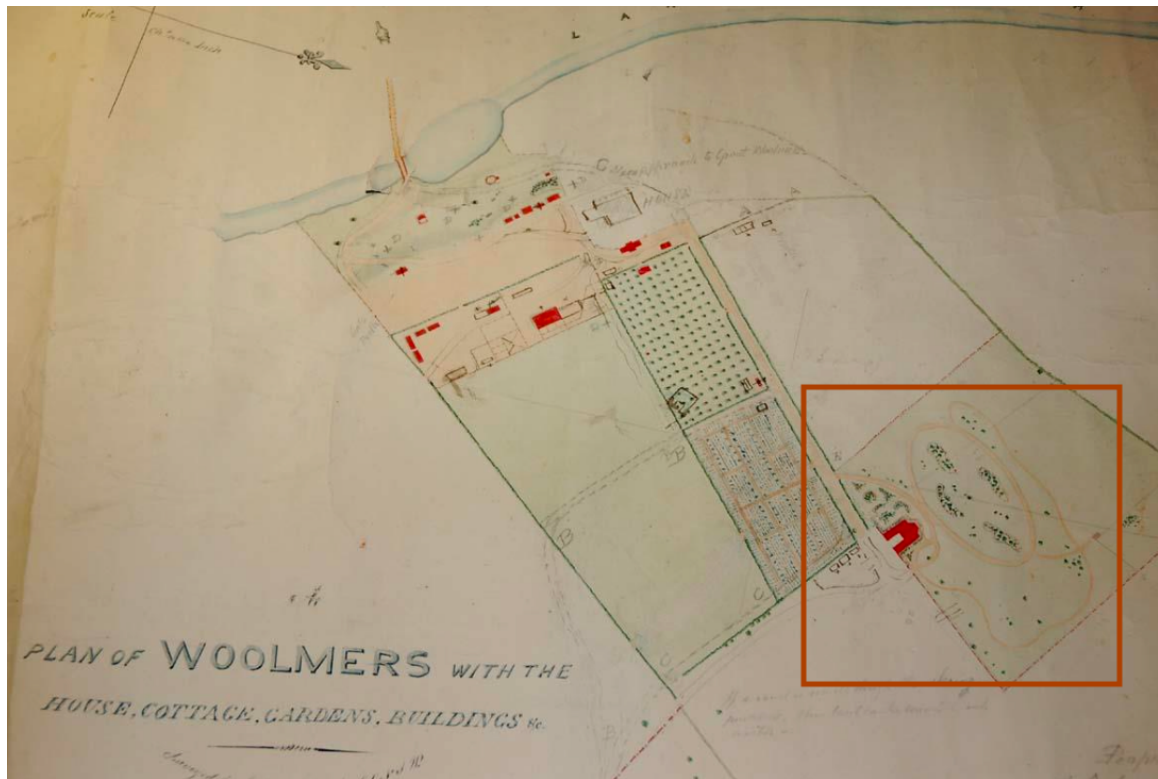


Figure 3: Plan of Woolmers with the House, Cottage, Gardens Buildings, c. 1840's, Woolmers Cottage highlighted. Woolmers Estate Collection.

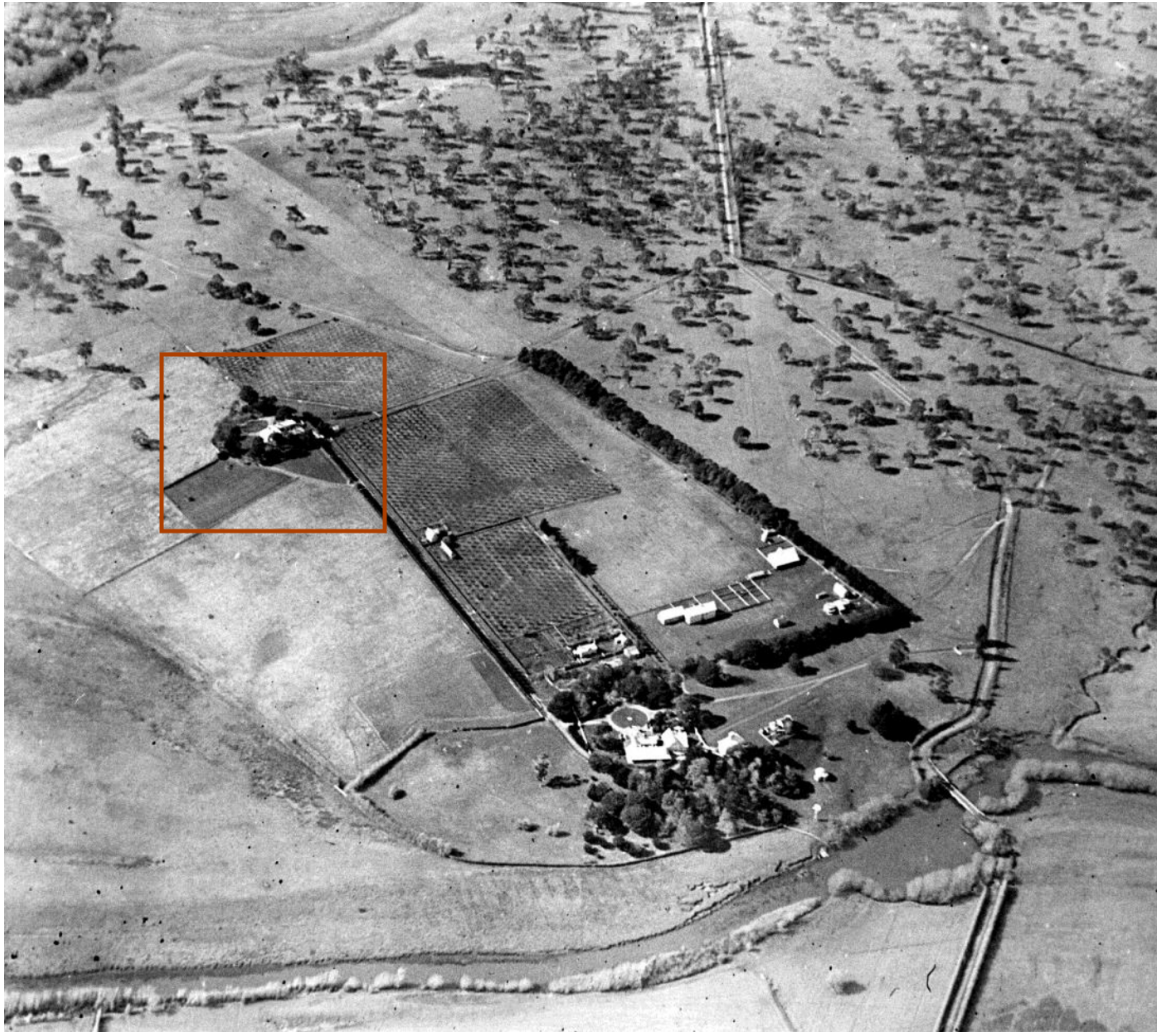


Figure 4: Aerial oblique photograph taken in 1921, with Woolmers Cottage highlighted. Woolmers H.J. King – Queen Victoria Museum and Art Gallery. QVM. 1991. P. 1431. Woolmers Estate Collection.

Close up photographs of Woolmers Cottage are limited to external shots taken from the north-western elevation, and are from the early-mid 20th century (**Figure 5, Figure 6, Figure 7, Figure 8**). There is no known photographic record of the cottage's interior prior to the 1996 Conservation Management Plan.



Figure 5: Woolmers Cottage, date unknown. Photograph unattributed. Woolmers Estate Collection.



Figure 6: Woolmers Cottage, date unknown. Photograph unattributed. Woolmers Estate Collection.



Figure 7: Woolmers Cottage, dated 25/02/1916. Photograph unattributed. Woolmers Estate Collection.



Figure 8: Photograph unattributed, date unknown. Likely from the same series as Figure 7. Woolmers Estate Collection.

Following restoration works in 2006 and 2011, Woolmers Cottage retains much of its external fabric, although the remnants of the formal garden have been lost (**Figure 9**).



Figure 9: Woolmers Cottage from the north-west. Photograph taken by Darren Watton, September 2022.

2.5 Statement of Significance (non-statutory)

The Tasmanian Heritage Register Datasheet THR #5077 (Tasmanian Heritage Council 2009; see also Appendix C) includes the following non-statutory statement of significance for Woolmers Estate:

Woolmers Estate, a colonial farm established by Thomas Archer in the early nineteenth century, demonstrates many aspects of early pastoralism and agriculture in colonial Australia. It also illustrates the economic significance of convict labour in the first half of the 19th century. Convict and 'ticket of leave' labour was critical to development, early operation and prosperity of Woolmers Estate.

The 1820s Woolmers' Woolshed is believed to be Australia's oldest woolshed still in use. The history of the woolshed illustrates the important economic contribution that Woolmers - and the other Archer family properties in northern Tasmania - made to the development of the State's wool industry.

The buildings and collections of Woolmers, including farm machinery, internal furniture and fittings, documents, and utilitarian and decorative objects provide an important historical record, documenting the management of the farm and the lives of the Archer family and others associated with the estate over two centuries. They comprise a rare record of a substantial colonial pastoral estate. As well as members of the Archer family, Woolmers has associations with a number of notable people, including some distinguished identities who visited the Estate.

2.6 Summary Statement of Significance

The Australian Heritage Database (place file 6/03/071/0006) (Department of the Environment and Heritage 2007; see also Appendix D) provides the following summary statement of significance for Woolmers Estate:

Established on a land grant in 1817, Woolmers Estate is significant for its history of property development using assigned convict labour. Convict labour was employed in exchange for food and clothing. The assignment system helped to develop the colonial infrastructure, reform convicts, assist settlers in establishing their estates, and in the case of Woolmers, develop the foundations of a successful pastoral property.

The homestead assemblage of Woolmers provides evidence of the use of an assigned convict labour force in the extant convict workplaces such as the woolshed, blacksmith shop, stables, gardens and paddocks. The former chapel was built to assist convicts in their reformation. The layout and architecture of the estate demonstrate the strong distinction between master and servant and how that facilitated the assignment system.

Woolmers retains an outstanding range of extant buildings that comprises houses, formal gardens, outbuildings, workshops, cottages, plants that along with numerous artefacts provide a rare record of the scale and range of operations of a substantial pastoral estate owned by wealthy colonial pastoralists. Associated with the buildings are fittings, furnishings, associated collections of movable cultural heritage and extensive documentary and pictorial evidence, from the early 19th century 'assignment' period to the late 20th century.

Woolmers is uncommon in its survival as a largely intact colonial homestead complex with an unbroken chain of family occupancy, allowing the survival of the range of significant buildings, interior features, and artefacts of every period of its history to the present.

Records associated with Woolmers from surviving musters, farm diaries, correspondence, and conduct reports identify the convict farm workers and enable a greater understanding of an important part of the working population of the property. The integrity of the assemblages and their inter-relationships makes Woolmers a rich source for future study. As no archaeological excavations have yet been undertaken, the place has the potential to yield nationally significant information on aspects of the living and working conditions of convicts during the assignment period.

2.7 Woolmers Cottage Description

The Australian Heritage Database (place file 6/03/071/0006) (Department of the Environment and Heritage 2007; see also Appendix D) provides the following description for the Woolmers Cottage Precinct, incorporating Woolmers Cottage:

Woolmers Cottage: Built in 1839. A good example of a Regency villa built using assigned convict labour overlooking the river and the neighbouring Archer estate at Brickendon, underscoring the close relationship that existed between the operation of the two estates which regularly shared farm equipment and labour. Four underfloor cellar rooms, with trapdoor access to the drawing room and containing three brick lined wells, and attic bedrooms are in the main house while small attic bedrooms for the domestic servants in the kitchen wing are accessed by a steep staircase from the kitchen. The cottage also contains an early water pump linked to an underground cistern to hold roof water.

Woolmers Cottage Garden: There is evidence of an earlier planned garden, including the

oval carriage way and brick borders of the garden beds. Mature pines form a windbreak from the north.

2.8 Conservation Policy Framework

The *Woolmers Estate Conservation Management Plan (CMP)* (2008; see also appendix B), prepared by Clive Lucas, Stapleton and Partners Pty Ltd, outlines conservation policies and implementation strategies to guide the ongoing conservation and retention of the site's heritage values. It should be noted that, while this is the only CMP available for the site, it has been in place for over 17 years without review and is now due for a full update, given the scale of works undertaken at Woolmers, including the construction of a new visitor centre.

Chapters 7 and 8 of the CMP set out 61 policies addressing the integrity of fabric, conservation and interpretation of identified heritage values, site management, risk management, site promotion, collections and archive management, community engagement, and research.

Section 7.8 specifically mentions the possibility that Woolmers Cottage would be adapted to guest accommodation:

7.8 Intervention, Adaptation, and Future Development

Appropriate Intervention

The term 'intervention' is used here to indicate changes made to the fabric of the place for practical purposes, such as maintenance, access, research, or improvement of services. 'Adaptation' means modifying a place to suit the existing use or a proposed use.

*In the case of Woolmers, there are pressures to make interventions in the fabric for access, provision of security and fire detection systems, structural stabilisation, and for archaeological research. While adaptation of several of the buildings has already taken place to provide bed & breakfast style accommodation, there are anticipated to be additional adaptations in future, for example, **the adaptation of Woolmers Cottage for guest accommodation**, and the upgrade of existing adaptations for practical reasons, say, **the periodic updating of kitchen and bathroom facilities** in the caretaker's quarters (Kitchen Wing) or **in the guest accommodation areas**.*

Generally, such works should be confined to buildings and spaces of lower significance except where investigation of alternatives yields no alternatives but to make interventions in buildings and spaces of exceptional or high significance.

All CMP policies have been reviewed and cross referenced against the physical description and significance of the spaces at the time of the CMP.

The following policies are considered most relevant to the proposed works, as they address the retention, repair, and adaptation of fabric, the management of elements according to their levels of significance, and the careful documentation of any discoveries during works.

- **Policy 1:** *The character and significance of the Woolmers Estate as it was left when Thomas William Archer died in 1994 should be conserved and interpreted.*
- **Policy 3:** *Where necessary, changes to the fabric (including repairs) should be carried out in a commonsense way, bearing in mind traditional methods of construction and the possibility of reusing building materials found at the site. The existing palette of building forms and materials of painted brickwork, roughcast render, corrugated iron, and slate should continue to be used.*

- **Policy 12:** *The fabric should be treated according to different levels of significance as follows:*
 - Exception Significance:** *Aim to retain all the fabric as it was found in 1994. If intervention is unavoidable for structural or maintenance reasons, change should be minimised and preference should be given to changes that are reversible.*
 - High Significance:** *Aim to retain all the fabric as it was found in 1994. If intervention in the fabric is necessary, more changes could be made than would be possible for fabric of exceptional significance but the same principles apply.*
 - Moderate Significance:** *Aim to retain this fabric as it was found in 1994, but adaptation or removal should be allowed, if necessary for the safe and viable use of the place.*
 - Little Significance:** *Fabric of little significance may be retained or removed, whilst minimising damage to adjacent fabric of significance.*
 - Intrusive:** *Intrusive fabric should be removed or altered to reduce intrusion, whilst minimising damage to adjacent fabric of significance.*
- **Policy 26:** *If previously unknown building fabric or features are inadvertently discovered during minor works, cease works, photograph the fabric prior to removing it and, if possible, retain a sample (if the find is, for example, a wallpaper or other decorative finish) and proceed with works, trying to avoid the site.*
- **Policy 27:** *If previously unknown building fabric or features are inadvertently discovered during major works, e.g., demolition, ensure that photographs of the fabric are included in the systematic photographic survey of the site which accompanies major works.*
- **Policy 28:** *Any photographs or retained samples of unforeseen discoveries should be organised, with descriptions of fabric, location, and circumstances of its discovery, in the records of the estate.*
- **Policy 33:** *As feasible, selected components of the place should be restored/reconstructed to their 1840s configuration / appearance as follows... Woolmers Cottage garden and tennis court.*
- **Policy 35:** *All restoration/reconstruction works introduced pursuant of these guidelines should be identifiable on scrutiny by specialists and clear records kept of all reconstruction works.*
- **Policy 36:** *Activities at the place should be guided by the philosophy of the Australia ICOMOS Burra Charter.*
- **Policy 51:** *Adaptation of interior spaces each building in accordance with the following table and the individual ranking of significance for each space (contained in the accompanying inventory sheets) is appropriate.*
 - Exceptional:** *All finishes and fittings should be conserved. New work should only involve restoration and reconstruction. No new partitions or openings are appropriate.*
 - High:** *All finishes and fittings should be conserved. New work should only involve restoration and reconstruction. New door openings in internal walls appropriate. New partitions not appropriate.*
 - Moderate:** *New reversible fittings appropriate. Minor sympathetic alterations and additions appropriate. New openings in internal walls and stair openings in ceilings and floors appropriate. New partitions not appropriate.*
 - Little:** *New reversible fittings appropriate. Sympathetic alterations and additions appropriate. New archway openings in internal walls and void and stair.*
 - Intrusive:** *Complete alteration or removal appropriate.*
- **Policy 57:** *Changes (including new uses) at the place should be achieved in the following way:*

(a) Conservation Guidelines: *Proposals for the place should be assessed in the light of what is recommended in this report and the accompanying inventory sheets. It may be necessary to carry out further research in order to assess and implement the proposed work to a high standard. Research can include physical intervention, for example a search for former surface finishes.*

(b) Documentation of Conservation Works: *Proposed work to a component should be documented for implementation in a way that allows the scrutiny of others before the work is executed and also for posterity. A statement setting out the precise aims of the work should be made. The documentary or physical evidence upon which restoration and reconstruction decisions are made for each component should be cited. A copy of the documentation, including schedules and plans, should be held in the Woolmers collection.*

(c) Preservation of Fabric and Patina: *During documentation of proposed work to a component of the place, and during the work itself, the maximum amount of fabric and patina should be retained consistent with the preservation of the element and in relation to its relative significance. Replacements, no matter how accurate, should be considered of far less heritage value than the original fabric.*

(d) Information Revealed during Conservation Work: *New information about the materials, configuration, use, age and evolution of the component that comes to light during the work should be recorded in a report, a copy of which should be held in the Woolmers collection.*

(e) Identification of Personnel: *Personnel involved in the documentation and implementation of works to components of the place should be recorded for future reference.*

Remaining policies, relating to public access, broader estate management, or community engagement, are not directly affected by this project. As assessment of the proposed works against the relevant CMP policies are covered in Section 3 **Assessment of Heritage Impacts**.

3 PROPOSED WORKS ASSESSMENT

3.1 Assessment Methodology

This Heritage Impact Statement has been prepared in accordance with the principles and processes outlined in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance (2013)* and the requirements of the *Historic Cultural Heritage Act 1995 (Tas)*. The following methodology was adopted to assess the potential heritage impact of the proposed works:

- **Review of Background Documentation.** Previous studies, including Conservation Management Plans, archival records, and existing heritage listings, were reviewed to establish the historical context and identify the heritage values of Woolmers Cottage.
- **Site Inspection.** A detailed site visit was undertaken to assess the condition, fabric, and spatial characteristics of the building. Altered areas were distinguished from original elements to inform the scope of proposed interventions.
- **Assessment of Significance.** The cultural heritage significance of the place was reviewed based on statements of significance from relevant registers, supported by documentary and physical evidence.
- **Evaluation of Proposed Works.** The proposed works were analysed in terms of their potential impact on the physical fabric, spatial character, setting, and heritage values of the cottage. Consideration was given to the reversibility, visual compatibility, and retention of original material.

- **Compliance with Best Practice.** The works were considered against relevant guidelines for minor works, and conservation best practice principles, with attention to mitigating impacts and supporting the long-term use of the building.
- **Preparation of Recommendations.** Recommendations were formulated to guide implementation, ensure appropriate heritage outcomes, and support the ongoing conservation and adaptive reuse of the site.

3.2 Description of the Scope of Works

The proposed works involve a **change of use** for the main **Woolmers Cottage to visitor accommodation**. This includes a new external ramp to facility equal access to the accommodation; the replacement of the original stairs in the Caretakers Flat and enclosing the existing covered walkway between the existing commercial kitchen and main house. These components are considered discretionary within the Tasmanian Heritage Councils Works Guidelines (2025).

The proposed change of use is consistent with the objectives of the Woolmers Cottage conservation policy for Use.

The following **Table 1** summarises the proposed scope of works, based on Architectural Drawings prepared by Next50 Architects; see Appendix A.

Table 1: Scope of proposed works.

Room / Area of Works	Scope of works
G.04 CARETAKERS FLAT KITCHEN CMP: Exceptional Significance	<ul style="list-style-type: none"> • Remove MFD c.2011 stairs • Remove original staircase. Retain stair unit and hang from joists above kitchen on display. • Remove wall shelf. Retain and reinstall on wall. • New timber stairs, and timber support posts for joists.
G.05 KITCHEN CMP: Moderate	<ul style="list-style-type: none"> • New external sandstone paver ramp to provide access from commercial kitchen.
G.11 (NO CMP NAME) <i>Proposed 'Bath' Room</i> CMP: Exceptional Significance	<ul style="list-style-type: none"> • Install new bath and bath mixer to room. Will require hole to be made in original floorboard for waste/water.
F.04 CARETAKERS FLAT LIVING ROOM CMP: Moderate Significance	<ul style="list-style-type: none"> • Remove portion of upper wall for required stair head height. • Cut existing joists, and remove portion of existing floor for stair head height. • Protect existing wallpaper with museum standard cast acrylic. • New stairs. • New partition wall to corner of stairs. • Replace existing sheet glass with operable velux skylight for ventilation.
G.22 SIDE LOBBY EXTERNAL CMP: Exceptional Significance	<ul style="list-style-type: none"> • Remove existing modern concrete stairs and slab (to G.22) • New brick landing and ground surface (to G.22) and new external ramp.

G.24 (NO NOTES IN CMP) <i>Back Porch</i>	<ul style="list-style-type: none"> Repair existing verandah structure. New glass and flyscreen structure to enclose structure.
V.02 VERANDAH CMP: Exceptional Significance	<ul style="list-style-type: none"> New brick and sandstone ramp to provide disability access to verandah.
EXTERNAL CMP: Not Ranked	<ul style="list-style-type: none"> Remove grass and weeds from driveway and tennis court Re-gravel existing driveway and parking hard stand areas Relocate existing interpretation sign

3.3 Assessment of Heritage Impacts

The following **Table 2** summarises the heritage impact of the proposed works, based on Architectural Drawings prepared by Next50 Architects; see Appendix A, and assessed with reference to the *Burra Charter* (2013) and the Woolmers CMP (2008).

Table 2: Assessment of Heritage Impacts.

Proposed Work / Intervention	Relevant CMP Policy/s	Rationale / Commentary	Assessment of Impact
Removal of Concrete Stair and Ground Surface (G.22)	Policy 3, 12, 44-49, 57	Concrete elements are modern additions (intrusive). Removal eliminates intrusive fabric (positive impact), however, potential disturbance to earlier surfaces (likely brick) requires supervision.	Medium Impact; mitigation recommended
Removal and Replacement of Original Staircase and Joinery Shelf (G.04 & F.04)	Policy 1, 3, 12, 36, 44-49, 51, 57	Original steep timber stair is unsafe. Replacement necessary for safe access and ongoing occupation. Stair to be retained on-site for interpretive display; joinery shelf reinstated. Intervention targets moderate significance areas where possible; reversible elements retained. Demolished timbers reused in works where possible, otherwise retained on site.	High Impact; justified for safety and sustainable use
Replace Skylight with Operable Velux (F.04)	Policy 3, 12, 36, 51, 57	The existing fixed glazed roof light is proposed to be replaced with an operable VELUX skylight to improve natural ventilation and reduce condensation risk within the upper level accommodation. The intervention does not alter the structural roof form, and the opening size remains consistent with the existing penetration. While there will be a minor visual change to external flashings, the skylight is located on a secondary roof plane that is not readily visible from primary public viewpoints. The works	Low Impact

		improve environmental performance and support the sustainable occupation of the building. The intervention is reversible, with the potential for reinstatement of a fixed glazing element in the future.	
Enclose Back Porch (G.22)	Policy 3, 12, 36, 51, 57	The existing back porch structure exhibits deterioration and requires repair to prevent ongoing moisture ingress and fabric decay. The proposed works include repair of existing structural members using like-for-like materials and detailing, and the insertion of a lightweight internal glazed and flyscreen enclosure. The enclosure is contained within the existing structural footprint and does not alter the external roof form or massing. The new glazing will be visually recessive and fully reversible, allowing the original open configuration to be reinstated if required. The works enable improved functional connection between the commercial kitchen and main house while mitigating pest intrusion, thereby supporting viable use without removal of significant fabric.	Low Impact
Installation of New Bath (G.11)	Policy 3, 12, 36, 51, 57	The proposed installation of a bath within G.11 introduces new plumbing fixtures to an existing room without altering its spatial configuration, wall linings, ceiling finishes, or significant joinery. The works facilitate viable use of the building as visitor accommodation while minimising impact on significant fabric.	Low / No Impact
Topdressing of Existing Gravel Driveway	Policy 3, 12, 20, 36, 57	Retains original layout, material, and colour. Maintains visual character; no excavation or material change.	Low / No Impact
Installation of Small Interpretive / Identification Signage	Policy 1, 36, 57	Signage is small, reversible, part of existing interpretation style and language, located in previously disturbed area. Supports visitor interpretation without affecting significant fabric or setting.	Low Impact / No Impact
Proposed Brick and Sandstone Ramps (G.05, V.02 and G.22)	Policy 3, 12, 36, 44-49, 51, 57	New ramps are sympathetic to surrounding historic fabric; painted brick material matches site palette; maintains visual hierarchy. Allows for DDA access to key spaces of the site. Works are reversible. Medium visual impact.	Medium Visual Impact Justified for DDA access
Surface	Policy 3, 12,	Surface replacement will be informed	Medium

Replacement (G.22)	36, 44-49, 51, 57	by investigation and documentation during removal of the intrusive slab. Reconstruction is recommended where practical, but alternative solutions may be implemented depending on conditions uncovered.	Impact, mitigation recommended
Garden and Tennis Court (Woolmers Cottage)	Policy 33	CMP recommends restoration/reconstruction where feasible. Proposed works to remove soil build up to tennis court to allow for clearer interpretation.	Positive Impact

The following **Table 3** expands commentary on the areas of medium and high impact.

Table 3: Expanded commentary on medium and high impact areas of significance.

Removal of Concrete Stair and Ground Surface (G.22)	Medium Impact; mitigation recommended	<p>The proposed works may involve (noted to be kept in situ where possible) the removal of a concrete stair and adjacent concrete ground surface, both of which are modern additions. While the removal of these elements will eliminate intrusive fabric (positive impact), there is potential for disturbance to earlier surface material (likely brick) beneath.</p> <p>Assessment: Medium Impact. <i>Appropriate supervision is recommended to mitigate any risk to earlier fabric. Existing condition is to be accurately photographed and documented in line with CMP policies and Burra Charter principles.</i></p>
Removal and Replacement of Original Staircase and Joinery Shelf (G.04 & F.04)	High Impact; justified for safety and sustainable use	<p>The existing steep timber staircase and associated joinery shelf are original elements. Both are proposed for removal, with the stair to be retained on-site for interpretive display and the joinery shelf reinstated following works.</p> <p>The intervention will require the cutting of original joists and the removal of a portion of the floor and first-floor wall to accommodate a compliant stair with maximum riser (190 mm) and minimum tread (240 mm) dimensions. This will result in a <i>high</i> level of physical impact on the original fabric, although the upper level room fabric is considered of moderate significance in the CMP.</p> <p>However, the significance of the intervention must be balanced against the functional and safety requirements of continued use. The existing staircase is dangerously steep (risers ~250 mm) with angled, overlapping treads and structural deterioration, rendering it unsafe and unfit for habitation. The building has remained unoccupied in part due to the condition of the stair. The new compliant stair will enable safe access to the first-floor rooms (bedroom, living, and bathroom), supporting the sustainable use and ongoing use of the building.</p>

		<p>Assessment: High Impact. Justified by necessity to ensure safe and continued occupation, preserving the building’s long-term conservation. Recommend all high significance fabric is retained on site and works accurately photographed and documented in line with CMP policies and Burra Charter principles.</p>
Surface replacement (G.22)	<p>Medium Impact, mitigation recommended</p>	<p>Surface replacement works will be guided by careful investigation and documentation during the removal of the existing intrusive concrete slab. Where practical, the original surface or a reconstruction that closely reflects the historic fabric is recommended to retain the heritage character of the site. The precise treatment will be informed by conditions uncovered during the works, and alternative solutions may be implemented to minimise impact on any underlying historic material.</p> <p>Assessment: Medium Impact. Recommend all interventions should be undertaken with appropriate supervision to ensure that significant fabric is preserved, recorded, or otherwise appropriately managed, in accordance with CMP policies and Burra Charter principles.</p>

3.4 Assessment against the Works Guidelines

The proposed works have been assessed against the *Works Guidelines for Historic Places* (2025). The works are considered eligible for **minor works** approval under the following categories:

- 1.1 Repair by select replacement
- 1.11 Painting and applied finishes
- 4.1 Interpretation signboards
- 9.1 Internal alterations– (generally)
- 10.6 Parking and external circulation

The works are considered **discretionary** under the appropriate outcomes in the following categories:

- 6.3 Partial Demolition
- 9.4 External Alterations
- 10.3 Ramp and walkway access

Details of these categories are outlined in **Table 4**.

Table 4: Assessment against the Works Guidelines.

1. Maintenance and Repair of Built Elements	
Appropriate Outcomes/Minor Works Application	Comments on Proposed Works

<p>1.1 Repair by select replacement. Selectively replacing sections or units of historic building fabric that are broken or decayed, where:</p> <ul style="list-style-type: none"> - the sections or units are demonstrably defective; and - repair is not feasible; and - the new work will match the material, detail, colour or finish of the original; and - the area of the replacement fabric is less than 25% of that part of the structure on which the work occurs (ie: partial replacement). 	<p>The existing back porch exhibits visually and structurally significant decay. The proposed works involve the selective removal of deteriorated timber and the insertion of new appropriate timber species, scarf jointed to existing detail, new flashings and repairs. All features (nails, hooks etc) are to be retained.</p> <p>Assessment: Works are considered eligible as Minor Works.</p>
<p>1.11 Painting and applied finishes Painting of non-significant elements in colour/s that do not intrude on the place's historic character. Painting of previously painted surfaces where:</p> <ul style="list-style-type: none"> - the colour scheme/s are compatible with the character of the place; and - surfaces are repainted using the original materials and methods (eg: lime wash, lime based render, paint system); and - the work does not involve applying new texture coatings. <p>Finishes to surfaces with previously applied finishes, where surfaces are coated with the same treatments as previously applied (eg: limewash, oil-solvent paint, polish, wax, oil).</p>	<p>The proposed works include painting of:</p> <ul style="list-style-type: none"> - Ramp structure, to match existing base colour and texture. - Timber members, to match existing colours (white). <p>Assessment: Works are considered eligible as Minor Works.</p>

<p>4. Interpretation</p>	
<p>Appropriate Outcomes/Minor Works Application</p>	<p>Comments on Proposed Works</p>
<p>4.1 Interpretation signboards</p> <p>Installing interpretive signage to convey information relating to the significance of the place, where the work does not cause physical harm to, or visually intrude on, the significant fabric. See also section '14 Signage'.</p>	<p>The existing low, brown, ground-staked metal sign at the entrance gates is to be relocated to a new position outside the courtyard, where parking will be provided. The sign is visually unobtrusive and does not impact significant fabric.</p> <p>Assessment: Works are considered eligible as Minor Works.</p>

<p>6. Demolition</p>	
<p>Appropriate Outcomes/Minor Works Application</p>	<p>Comments on Proposed Works</p>
<p>6.3 Partial Demolition (Discretionary) Demolishing significant elements of a place.</p>	<p>1. Trade Stairs (near G.22) The proposed removal of the trade stairs (if</p>

<p>This should be avoided or minimised as far as practicable, so as to retain the heritage significance of the place.</p> <p>Partial demolition may be justifiable where it can achieve a greater conservation benefit; for example, where the partial demolition will allow for the sustainable use and conservation of the more significant parts of the place.</p> <p>Where an internal wall or other structural element is removed, it is desirable to keep vestiges (ie: traces) of the removed element as evidence of the past form of the building.</p> <p>Vestiges may be patches in the floor, wall nibs and ceiling bulkheads. In most cases the retention of vestigial elements is preferable to the complete removal of significant fabric.</p> <p>Where the fabric proposed to be removed is significant and has the potential to be reinstated or meaningfully reused at the place, or if it has archaeological value (ie: as an artefact), the Heritage Council may require that fabric to be stored in good condition at the place.</p>	<p>required during works) to provide safe, compliant access from the original driveway/front of the house and to resolve the intrusive and moisture-retaining nature of the modern concrete surface. The removal of the intrusive concrete stairs and associated surface treatment in the side lobby is considered a positive intervention. However, there is potential to impact earlier surfaces beneath, and therefore the works carry some risk. This risk will be mitigated through careful documentation and supervision throughout the works.</p> <p>2. Caretakers Staircase (G.04 & F.04) The proposed removal and replacement of the Caretakers staircase will affect a significant element of the place. The works will impact the staircase itself, an adjoining wall shelf, and portions of the floor and wall (F.04) required to achieve compliant head height for the replacement stairs. The configuration of the room and the location of the existing upstairs bathroom preclude any alternative solution to achieve a compliant stair.</p> <p>All removed significant fabric will be retained on site, with the original stair displayed for interpretation. It may be reinstated in the future if interpretation of the fabric is prioritised over functional use. Remaining vestiges, including skirting boards between levels, will also be retained.</p> <p>Assessment: Works are considered discretionary and compatible with the appropriate outcomes.</p>
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9. Alterations, Additions and Extensions	
Appropriate Outcomes/Minor Works Application	Comments on Proposed Works
<p>9.1 Internal Alterations (Generally)</p> <p>New openings into floors, walls, or ceilings that are of little or no heritage value, where the totality of this and past interventions of the kind will have only negligible impact on the place’s heritage values.</p> <p>Upgrading bathroom, kitchen or laundry fit-outs where there will be no alterations to historic door and/or window openings and no impacts to significant joinery, walls, ceilings or floors, or significant archaeological deposits</p>	<p>The installation of a bath within G.11 involves minimal intervention to significant fabric. The room retains its spatial configuration, wall linings, ceiling finishes and joinery. The only required alteration is a discrete penetration through existing floorboards for waste and water services, located to minimise disturbance and capable of future reinstatement. The intervention is limited in extent and reversible, consistent with Policy 51 for spaces of exceptional significance where restoration and minor service adaptation may occur without altering spatial form.</p>

<p>that may exist below floor level.</p>	<p>Assessment: Works are considered eligible as Minor Works.</p>
<p><u>9.4 External Alterations (Discretionary)</u></p> <p>Where the subject place matches the heritage character, form or detail of other adjoining heritage places, alterations should not diminish the characteristics that the places have in common.</p> <p>Alterations should be limited to fabric that has a relatively low level of significance, rather than fabric that has a relatively high level of significance.</p> <p>Any alterations to relatively significant fabric should be reversible.</p> <p>Significant external characteristics of a place should be retained, such as:</p> <ul style="list-style-type: none"> - the formal or public presentation of the place, particularly where a place contributes to the heritage values or character of a streetscape or townscape, - the essential form of the place, including its scale, construction materials and their appearance i.e. unpainted brick or stone should remain unpainted, - roof form and roof materials, chimneys, door and window arrangements and their joinery details e.g. glazing divisions in sashes, and - design details of particular interest or value such as verandahs, decorative mouldings, carvings, joinery or ironwork. 	<p>The proposed brick ramp is designed to respect the heritage setting while providing functional DDA compliant access.</p> <p>The base of the ramp is made from block that is painted/rendered to match the existing building plinth harling finish which has been selected to harmonise with the surrounding fabric, providing a sympathetic texture and colour that is consistent with the site's heritage palette.</p> <p>The new ramp arrangement subtly preserves the hierarchy between the two staircases, ensuring the main sandstone stairs remain the prominent visual feature, while the new stair functions as a secondary, utilitarian access. The works are reversible.</p> <p>The enclosure of the back porch is limited to the insertion of lightweight glazing within the existing structure and does not alter the overall building form, roof geometry, or external hierarchy. The intervention is visually subordinate and reversible, ensuring that the principal façade and formal presentation of the cottage remain unaffected.</p> <p>Assessment: Works are considered discretionary and compatible with the appropriate outcomes.</p>

<p>10. Access to Heritage Places</p>	
<p>Appropriate Outcomes/Minor Works Application</p>	<p>Comments on Proposed Works</p>
<p><u>10.3 Ramp and walkway access (Discretionary)</u></p> <p>Installing ramps, walkways, handrails, visibility markers of signage where the work will result in a physical or a visual impact on the significant elements of spaces of the place.</p>	<p>The proposed brick and sandstone ramps are required to provide equitable access to the Woolmers Cottage. The existing entry arrangements include stepped thresholds that preclude independent access.</p> <p>The ramps have been carefully designed to minimise visual and physical impact by:</p> <ul style="list-style-type: none"> - Aligning with existing circulation paths; - Utilising materials consistent with the established site palette (brick and sandstone); - Maintaining the visual primacy of the original sandstone stair; and

	<p>– Avoiding removal of significant fabric.</p> <p>The interventions are reversible and ensure continued viable public use of the building, consistent with Burra Charter principles supporting compatible adaptation.</p> <p>Assessment: Works are considered discretionary and compatible with the appropriate outcomes.</p>
<p><u>10.6 Parking and external circulation</u> Changes to line marking or existing signage in an existing carpark.</p>	<p>The proposed works include providing additional gravel to an existing gravel driveway, and hardstand areas using similar gravel material with no impact to existing landscaping and gardens.</p> <p>Assessment: Works are considered eligible as Minor Works.</p>

3.5 Summary of Assessment

The proposed works at Woolmers Cottage of a change of use to visitor accommodation and associated internal and external interventions, have been assessed against the principles of **The Burra Charter (2013)**, the **Woolmers Estate Conservation Management Plan (2008)**, and the **Tasmanian Heritage Council Works Guidelines (2025)**.

The majority of the proposed works relate to the upgrading or removal of non-significant or intrusive modern fabric, service upgrades, minor landscape works, and repairs to deteriorated elements. These works are assessed as having **low or negligible impact** and are consistent with Minor Works provisions, as they do not diminish significant fabric or alter the essential form, hierarchy, or presentation of the building.

Works assessed as having **medium impact** include the removal of intrusive concrete stairs and surface treatments, and the insertion of discreet external ramps to provide equitable access. These interventions remove visually intrusive modern fabric and introduce new elements designed to be materially sympathetic, visually subordinate, and reversible. While some limited ground disturbance may occur, mitigation measures—including supervision, documentation, and careful investigation—will ensure that any underlying significant fabric is appropriately managed in accordance with CMP Policies 26–28.

The replacement of the original Caretakers Flat staircase is assessed as having a **high physical impact**, as it involves alteration to significant internal fabric, including portions of original floor structure and wall elements. However, this intervention is considered justified on the basis of safety, compliance, and sustainable occupation. The existing stair is structurally compromised and dangerously steep, preventing viable and safe use of the upper level. The proposed replacement enables compliant access while retaining removed significant fabric on site for interpretation. The works ensure the long-term functional viability of the building, consistent with Burra Charter Article 21, which supports adaptation necessary for compatible use.

The proposed works:

- Do not alter the principal form, massing, or hierarchy of the cottage;
- Do not diminish significant public views or the formal presentation of the building;
- Do not involve demolition of primary convict-period or early colonial fabric;
- Are predominantly reversible in nature; and

Support the continued occupation and active conservation of the place.

The proposed change of use to visitor accommodation aligns with the historic pattern of tenanted occupation at Woolmers Cottage and is anticipated within Section 7.8 of the CMP. The works enable safe and equitable access while maintaining the legibility of the original building form and respecting its hierarchy of significance.

The proposed works are assessed as compatible with the conservation objectives of Woolmers Cottage and the broader Woolmers Estate, ensuring the ongoing preservation, interpretation, and sustainable use of this State- and nationally significant heritage place.

3.6 Heritage Recommendations

The following actions are recommended to ensure sustained conservation of the place during the proposed works:

1. Removal of Concrete Stair and Ground Surface (G.22)

- 1.1 Conduct all works under appropriate heritage supervision to mitigate any risk to underlying historic fabric.
- 1.2 Accurately photograph and document the existing conditions prior to and during removal, in accordance with CMP policies and Burra Charter principles.
- 1.3 Monitor for any unforeseen discoveries of earlier surfaces and adapt works to preserve them where possible.

2. Removal and Replacement of Original Staircase and Joinery Shelf (G.04 & F.04)

- 2.1 Retain all fabric of high significance on site for potential interpretive use.
- 2.2 Ensure works are fully documented and photographed, in accordance with CMP policies and Burra Charter principles.

3. Surface Replacement (G.22)

- 3.1 Undertake all interventions with appropriate supervision to minimise impact on any significant fabric.
- 3.2 Where practical, reconstruct surfaces to reflect historic fabric; alternative solutions may be implemented depending on conditions uncovered during works.

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5 REFERENCES

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6 APPENDICES

6.1 Appendix A

Next 50 Architects 18/02/2026, *Woolmers Cottage: Interior works*, pp. 1-17.

Refer to separate A3 documentation.

Received

4.3.2026

Exhibited

6.2 Appendix B

Lucas, Stapleton & Partners 1996 *Conservation Management Plan: Woolmers Estate, Longford, Tasmania*, Clive Lucas, Stapleton & Partners, Sydney, pp. 89–105 and I117-I130.

7 Conservation Policies

Considering the Statement of Significance for the place and the constraints and opportunities identified in Section 6, the following is a discussion leading to conservation policies and guidelines appropriate to the place.

7.1 Background to the Conservation Policies

A conservation management plan should provide a clear set of policies derived from an understanding of the place in order to guide the future care of the place.

Conservation policies appropriate to the place can be developed in the areas of:

- treatment of the fabric
- interpretation of the place
- use of the place
- additions, new buildings and other new features
- conservation procedures and practice

Such policies can operate at the level of the whole of the place, at the level of precincts or areas within the place and at the level of individual buildings, contents, vegetation and other site features.

In this case, general policies for the place are included below and more detailed policies are included for each element in the accompanying inventory sheets.

The policies below reflect what should happen to the place *in the best of all possible worlds*. Not all these policies will necessarily be achievable in a management plan for the place when other external matters, for instance the owner's finances, are taken into account. It is recognised that there are many other factors which contribute to decision making about a place, and that cultural heritage is only one of these factors.

Many of the words used below have special meanings defined by the Australia ICOMOS *Burra Charter* (see Appendices).

7.2 Conservation Approach

The Woolmers Estate has a history of over 170 years of management by a single family, encompassing several important phases of use. The character of the place, embodied in much of the physical fabric of the buildings, is evocative of its history. It is this character and the historical associations of the place which should be the main aim of preservation.

The site contains numerous buildings with fabric of particular interest and significance, for their age, aesthetic qualities, historic associations, and their rarity. With careful treatment and interpretation,

these buildings provide an elegant and powerful representative example of a large early colonial pastoral estate. It is the overall ensemble which comprises the heritage value of the Woolmers Estate.

Areas of the site and some of the buildings have been compromised by recent changes which have impacted upon the historical uses and fabric of the site in exchange for providing a viable income for the site. The impact of future changes should be carefully managed in order to prevent the slow degradation of heritage value through incremental change.

The overriding philosophy behind the conservation of the place, including decision making regarding maintenance, repairs, and adaptation of components of the place, should carry on the traditions of the site, essentially, a 'common sense' approach rather than an academic exercise. This approach is more fully defined in the policies provided below.

Policy 1: The character and significance of the Woolmers Estate as it was left when Thomas William Archer died in 1994 should be conserved and interpreted.

Policy 2: The site should continue to be accessible to the public.

Policy 3: Where necessary, changes to the fabric (including repairs) should be carried out in a common sense way, bearing in mind traditional methods of construction and the possibility of reusing building materials found at the site. The existing palette of building forms and materials of painted brickwork, roughcast render, corrugated iron, and slate should continue to be used.

7.3 Identifying the Place, Setting, and Buffer Zone

For clarity and planning purposes the extent of the place and its setting should be defined. Additionally, a buffer zone should be defined as an area in which development should be controlled in deference to the significance of the place, regardless of whether the zone is contained within the visual catchment of the place.

In this case the legal boundaries of the Woolmers Estate are much smaller than at the peak of the Estate's operation. However, the scale of the 19th century land holding is an important concept to understand when considering the importance of Woolmers in the pastoral development of Tasmania. It is therefore considered appropriate to define the **setting** of Woolmers to include the pre-1912 boundaries of the estate.

As part of the World Heritage List nomination of the Brickendon and Woolmers Estates, a buffer zone for the two properties has been identified by the Department of the Environment, Water, Heritage and the Arts.

Policy 4: The place should be defined as shown on Figure 1. 1.

Policy 5: The setting should be defined as the boundaries of Woolmers prior to 1912, as shown outlined in green in Figure 2. 4.

Policy 6: A buffer zone should be identified as in Figure 7. 1



Figure 7. 1: Identification of the recommended buffer zone (outlined in orange) for the areas of the Brickendon and Woolmers Estates which will be nominated for the World Heritage List (shaded in green).

Associated Places

For clarity and planning purposes associated places should also be identified, as a means of furthering the understanding of the place itself. In the case of Woolmers, there are a number of places which were historically connected to the place, even though some distance away. Woolmers is one of a group of properties developed by the Archer family on the Norfolk Plains. As family resources were pooled from time to time in the operation of each property, it is important to understand Woolmers as one of a group of Archer family places, some of which are a distance away.

Policy 7: Places associated with but not currently part of the place include:

- **Brickendon**
- **Panshanger**
- **Mona Vale**
- **Levrington**
- **Saundridge**
- **Longford Hall**
- **Palmerston**
- **Weerona**
- **Alanvale**
- **Cheshunt**
- **Fairfield**
- **Northbury**

Intervention in the Setting and Associated Places

New buildings and features, changes to zoning, use, or subdivision within the setting or at associated places may be detrimental to the place. While often these changes are outside the control of the Foundation, the Foundation may take steps to advocate for the protection of the heritage values of Woolmers.

Policy 8: Works or other changes within the setting of the place or at associated places should, if possible, be controlled to minimise impact on Woolmers itself.

Policy 9: The assistance of statutory bodies such as the Tasmanian Heritage Council and the Department of the Environment, Heritage, and the Arts should be sought in advocating for the protection of the heritage values of Woolmers through any changes or works within the setting of the place.

Inappropriate Uses and Activities in the Setting

The intensification of activities at properties adjacent to Woolmers has the potential to impact upon the character of the place, for example industrial activity taking place near the boundary of the site would be highly detrimental to the character of the Woolmers, particularly if the buildings and features associated with the industrial use were visible from Woolmers. Such activities should be considered by the local planning authority with regard to the heritage significance of Woolmers.

Policy 10: Uses and activities within the place which lessen, obscure or confuse the historical associations and meanings should be discouraged.

Views

Although not strictly fabric, the views to and from the place and views within the place that are defined by fabric can be identified as contributing to the significance of the place and should be either protected from change or re-established. Vistas within the site also contribute to an appreciation of its character.

Policy 11: All the views shown in Figures 3.5, 3.6, 3.9, 3.10, 3.12, and 3.13 should be conserved.

7.4 Treatment of the Fabric

Much of the significance of the place is embodied in its fabric. Fabric includes the landform, vegetation, buildings, building components, site features, and subsurface remains of buildings and occupational deposits (archaeology). In this case, all the fabric introduced prior to Thomas William Archer's death in 1994 can be said to reflect aspects of the history of Woolmers and is significant in varying degrees.

The preceding sections of this report identify the nature and extent of the built fabric at Woolmers, the significance of the fabric in representing the heritage values of the place, and the condition and integrity of the significant fabric. Further policies and guidelines are provided in the accompanying inventory sheets for each component.

In the case of Woolmers, any fabric which contributes substantially to the character of the place and is central to its history should be conserved. The policies below provide the framework for treating all of the fabric of the place on the basis of the varying degrees of significance reflected by components or precincts of the place, as set out in Section 5 and in the inventory sheets.

Policy 12: The fabric should be treated according to different levels of significance as follows:

Exceptional Significance	Aim to retain all the fabric as it was found in 1994. If intervention is unavoidable for structural or maintenance reasons, change should be minimised and preference should be given to changes that are reversible.
High Significance	Aim to retain all the fabric as it was found in 1994. If intervention in the fabric is necessary, more changes could be made than would be possible for fabric of exceptional significance but the same principles apply.
Moderate Significance	Aim to retain this fabric as it was found in 1994, but adaptation or removal should be allowed, if necessary for the safe and viable use of the place.
Little Significance	Fabric of little significance may be retained or removed, whilst minimising damage to adjacent fabric of significance.
Intrusive	Intrusive fabric should be removed or altered to reduce intrusion, whilst minimising damage to adjacent fabric of significance.

Reconstructed Fabric

These policies contain some recommendations for reconstruction of fabric (see below). Fabric which is reconstructed to original detail with the benefit of the original fabric to inform and guide the reconstruction is of high significance and should be conserved.

Policy 13: Should fabric be reconstructed in the future, in accordance with these policies, the reconstructed fabric should be treated as a 'high' level of significance, and retained and conserved accordingly.

Collection / Contents

The collection of Archer family papers held at Woolmers as well as all the furnishings, machinery, personal possessions, and the like which remain at the estate (predominantly located in the main house) are themselves of enormous cultural value and present a remarkable resource for the understanding of the estate on the whole. For this reason, the collection and contents of Woolmers must be treated as exceptionally significant, and should be subject to conservation.

Policy 14: The contents of the estate should be fully catalogued.

Policy 15: Objects should not be moved from their location unless absolutely necessary. Any objects which are moved should have their original location recorded prior to movement.

Policy 16: Specialist assistance should be sought as necessary to advise on conservation of particular materials or fabrics.

Policy 17: The involvement of the Archives Office of Tasmania should be sought in order to make preservation copies of documents held in the collection.

Fabric of Unknown Age

In the physical survey for this report it has not been possible to determine the age and history of all components of the place. Care should be taken that items of unknown age and importance are not inadvertently damaged.

Policy 18: Where the age of a component is uncertain, further investigate the component by documentary and physical research prior to carrying out work or removal.

Maintenance Works

While any fabric is in existence it should be maintained, which means continuous protective care. General routine maintenance tasks should be able to be carried out by the Foundation staff. Periodically, say every 5 to 10 years, maintenance work will require the involvement of a specialised tradesperson. This is addressed in the policies below and in Section 7.7.

Maintenance work should focus on the roof, gutters, downpipes, drainage and external building envelope which includes colour washing, weatherboards, and other sheetings plus external joinery which includes glazing. These materials must be kept in working order so as to keep moisture from entering the buildings.

Policy 19: While in existence, all fabric should be maintained.

Note: Refer to the accompanying inventory sheets for each element of the place for further guidelines for the treatment of the fabric of that element.

Precinct Character

The character of the precincts identified in Section 3 of this report contribute to the significance of the place. They are defined in the main by the existing buildings and historic uses of the precincts.

Policy 20: The identified character of each precinct should be conserved.

Areas of Historical Archaeological Importance

Due to its outstanding cultural significance, disturbance of the ruins at Woolmers should not be carried out without the involvement of a qualified archaeologist. As it is inherently a destructive process, archaeological investigation solely for the sake of finding former buildings or other elements is

discouraged unless such excavation will provide information that is essential for decision making about the conservation of the place. In any case, excavation should be guided by a properly-prepared research plan and should be supported by adequate funding to not only carry out the excavation but to conserve and store any artefacts.

Policy 21: The historical archaeological potential of parts of the place should be conserved by avoiding ground disturbance unless essential.

Policy 22: If below-ground disturbance is necessitated as part of a program of building works requiring a Works Application, professional archaeological advice should be sought during the planning stages of the project and appropriate approvals obtained.

Policy 23: Investigation of the place for research to increase knowledge of Australian history should only be allowed when guided by specific and scrutinised research goals and when there are adequate resources available to undertake, complete and publish results of the study and leave the place in a stable condition.

Policy 24: Archaeological investigation to provide information to guide conservation and interpretation work pursuant these policies should be allowed, but only when there are adequate resources to undertake and complete the work and to stabilise areas destabilised by the intervention.

Unforeseen Discoveries

Unforeseen discoveries or disturbance of archaeological fabric should be guided by the policies below.

Policy 25: Inadvertent discoveries should be reported to the Manager of Woolmers immediately upon discovery. The Manager should determine whether the activity can be re-organised so as to avoid the archaeological resource, leaving it in situ. Should avoidance of the archaeological resource be impossible, the Manager should ensure all activity in the location of the disturbance is ceased, and report the discovery to the Tasmanian Heritage Council.

The following policies apply to unforeseen discoveries of building fabric or features.

Policy 26: If previously unknown building fabric or features are inadvertently discovered during minor works, cease works, photograph the fabric prior to removing it and, if possible, retain a sample (if the find is, for example, a wallpaper or other decorative finish) and proceed with works, trying to avoid the site.

Policy 27: If previously unknown building fabric or features are inadvertently discovered during major works, e.g., demolition, ensure that photographs of the fabric are included in the systematic photographic survey of the site which accompanies major works (see above).

Policy 28: Any photographs or retained samples of unforeseen discoveries should be organised, with descriptions of fabric, location, and circumstances of its discovery, in the records of the estate.

7.5 Use

Historical and New Uses

The cultural significance of a place can also be reflected in its continuing historical use. Woolmers has, until a decade ago, operated as a rural estate. Now that the place is used as a museum, this historical use could be continued if possible, by allowing paddocks not open to the public to be used for sheep grazing. The use of precincts and individual buildings should also, if possible, continue in the same vein as their historical uses. For example, the buildings which housed estate workers have now been converted to guest accommodation, a residential use which is compatible with the historical use.

Because of the specialised nature of many of the buildings, new uses are not appropriate. For example, it is inadvisable that the former chapel, or woolshed be adapted for new uses. However, the use of some buildings could be improved, e.g., the farm stables. Refer to the accompanying inventory sheets for each element of the place for further guidelines for the use of that element.

There may be cases, e.g., the Wool Shed, where the significance of the fabric precludes public access. The following policies provide guidelines for controlling the use of the place so as to avoid unnecessary impact from visitation.

Policy 29: Visitor circulation at Woolmers should be organised in a way that allows the preservation of the fabric as a priority, while considering:

- effect of structural loadings
- effect of statutory requirements
- effect of service installations
- effect of providing access for people with disabilities
- effect of the safety and security of the buildings.

7.6 Interpretation of the Place

As the place is of outstanding cultural significance, the opportunities to interpret it to visitors should be thoroughly addressed. At present, interpretation of the place is provided in guided tours of the main house and self-guided tours of the other precincts. Internal access to many of the outbuildings is available. A published booklet is available to explain points of interest to visitors.

Information about the importance of the place can be conveyed through a range of interpretive devices, including introduced signs and displays, restoration or reconstruction works to the fabric, and through the organisation and nature of uses at the place.

Policy 30: The significance of the place should be interpreted to the public. The main interpretive messages should include all aspects of the statement of significance.

There is a strong historical link between Woolmers and other Archer family properties (identified in Policy 7), particularly Brickendon, with both properties sharing labour for certain activities, such as shearing.

Policy 31: The historical link between Woolmers and Brickendon should be recognised and interpreted.

In order to tell the site's story it is important that people are allowed and encouraged to visit it. The best way to do this is to allow access and develop viable new uses for the site that will draw a variety of users to it at different times for different activities.

Policy 32: To facilitate the above interpretation, public access to the site should be available and encouraged by the establishment of new uses on the site to draw people there.

Restoration/Reconstruction Works

One way to interpret the place is to carry out selected restoration and reconstruction works. These terms are defined in the Burra Charter.

Because Woolmers has survived so intact, there are only limited opportunities to meaningfully reconstruct elements of the place which are no longer extant.

Policy 33: As feasible, selected components of the place should be restored/reconstructed to their 1840s configuration / appearance as follows:

- **Missing half of the northern most workers cottage**
- **Interiors of northern most workers' cottage to be displayed in the manner of the cottages during the period of Thomas Archer**
- **Roughcast to northern end of farm stables**
- **Restore forge to working order on blacksmith's shop**
- **Woolmers Cottage garden and tennis court**

Reconstruction of interior fabrics and soft furnishings to the same detail, e.g., the carpets and curtains in the main house, is also appropriate in order to replace the original fabric when it becomes too worn or vulnerable to keep on display. This should only be carried out with the involvement of professional conservators.

Policy 34: As necessary, reconstruct interior finishes in the main house so that original fabric that is in danger of decay can be removed for preservation.

Identification of Reconstructions

The *Burra Charter* calls for reconstructed fabric to be "identifiable on close inspection or through additional interpretation."¹ In accordance with proper practice and to avoid misinterpretation, restoration/reconstruction works at the place should be well documented so that a record of the reconstruction is readily available if needed. The reconstructed material need only be identifiable to specialists on close inspection.

Policy 35: All restoration/reconstruction works introduced pursuant of these guidelines should be identifiable on scrutiny by specialists and clear records kept of all reconstruction works.

¹ Australia ICOMOS, *Burra Charter*, Article 20.2

Note: Refer to the accompanying inventory sheets for each element of the place for further guidelines for the interpretation of that element.

7.7 Management

Because the place is of cultural significance, procedures for managing change and activities at the place should be in accordance with the recognised conservation methodology set out in the Australia ICOMOS Burra Charter.

As the place has been entered on the National Heritage List, the National Heritage Management Principles apply. Additionally, should the place be included on the World Heritage List, the Australian World Heritage Management Principles would apply.

Policy 36: Activities at the place should be guided by the philosophy of the Australia ICOMOS Burra Charter.

Involvement of Skilled Trades

In terms of routine maintenance, Woolmers staff could carry out the following tasks:

- Clearing gutters and drains
- Refixing loose iron or weatherboards
- Painting joinery
- Cutting back and trimming plants, shrubs, vines, etc.
- Trimming hedges
- Making and hanging farm gates
- Keeping locks and fastenings in working order.

However, because of the significance of the place it is important that the proposed changes are achieved involving a high standard of conservation practice. Professional tradesmanship is required for many other things to do with the maintenance of the site. It may be possible for Woolmers to employ groundsmen who possess the requisite experience and skills in dealing with historic building fabric and who can carry out the work below.

Policy 37: Skilled traditional building trades should be engaged as appropriate carry out building and maintenance works including the following:

- **Roof plumbing and slating**
- **Brick and stone wall repairs**
- **Wall plasters including rough cast**
- **Joinery repair and replacement**
- **Repair of stud work and replacement of weatherboards**

Professional design advice should be sought for anything that requires a Works Application.

Policy 38: Professional designers with skills in the discipline of heritage and conservation should be engaged to advise on and design any additions or new buildings at the place which require a Works Application to the Northern Midlands Council.

Records & Reporting

Woolmers has a full set of records which provide details of activities on the estate and it is appropriate to continue to make records of any changes made to the building fabric as a resource for the study of the place in future. As a place entered on the National Heritage List, record keeping should be kept up to date in order to meet the standards under the National Heritage Management Principles.

Policy 39: Systematic photographic surveys of the place should be carried out before, during and after any major works and the results catalogued and archived at Woolmers.

Policy 40: In accordance with the National Heritage Management Principles, records should be maintained in order to report on the condition of the fabric representing National Heritage values if required. An annual audit of the condition of building fabric should be made by a builder.

Policy 41: Any maintenance or repair works which take place should be recorded and reported under the guidelines of the National Heritage Management Principles if necessary.

Research, training and resources

There are several research opportunities which the owners of the place could assist in exploring by making records available to researchers (e.g., University students under supervision). Topics which could contribute greatly to the understanding of the place include the following:

- Exploration of the experience of convicts assigned to Woolmers through the use of diaries, convict records, records of the local lower courts, and visiting magistrates. This could take the form of case studies that might throw some light on the assignment system as it worked in Tasmania as well as looking at the lives of individual convicts and putting a human face to an important aspect of Tasmania's history.
- The collection of papers at Woolmers presents many opportunities for research. The diaries and record books lend themselves to an exploration of the history of farm management, including management of the convict labour force.
- A broader study of all the Archer properties in Tasmania could lead to important conclusions regarding the possible common vision they shared in developing their estates along the lines of the English pastoral ideal.
- The furniture in the Main House is probably to a design by prominent furniture makers Gillows of Lancaster. Further research may confirm the makers of other contents and finishes in the Main House and Woolmers Cottage.
- The date of Woolmers Cottage (c.1839) is based stylistic evidence and on the year Thomas William Archer married Mary Abbott. Further research may confirm or revise this date.

As discussed in Section 6, there are numerous paid tour guides at Woolmers, all of whom go through a one-on-one training prior to taking tours on their own. The tour guides and volunteers are encouraged to carry out research on topics which interest them about Woolmers. Opportunities to further enhance training of staff and volunteers are identified below.

Policy 42: New staff and volunteers should be made fully aware of the procedures outlined in this report for handling unforeseen discoveries.

Policy 43: Resources should be allocated or sought to allow staff and volunteers who deal with particular matters, e.g., the Collections Committee members who are involved in cataloguing the contents of the estate, to attend specialised training workshops or courses.

7.8 Intervention, Adaptation, and Future Development

Appropriate Intervention

The term ‘intervention’ is used here to indicate changes made to the fabric of the place for practical purposes, such as maintenance, access, research, or improvement of services. ‘Adaptation’ means modifying a place to suit the existing use or a proposed use.

In the case of Woolmers, there are pressures to make interventions in the fabric for access, provision of security and fire detection systems, structural stabilisation, and for archaeological research. While adaptation of several of the buildings has already taken place to provide bed & breakfast style accommodation, there are anticipated to be additional adaptations in future, for example, the adaptation of Woolmers Cottage for guest accommodation, and the upgrade of existing adaptations for practical reasons, say, the periodic updating of kitchen and bathroom facilities in the caretaker’s quarters (Kitchen Wing) or in the guest accommodation areas.

Generally, such works should be confined to buildings and spaces of lower significance except where investigation of alternatives yields no alternatives but to make interventions in buildings and spaces of exceptional or high significance.

Policy 30: Work to the significant fabric should be avoided, except for:

- stabilisation and maintenance.
- intervention in accordance with the Policy for Intervention for Structural, Service, Statutory and Hazardous Materials Reasons (see below).
- restoration and /or reconstruction in accordance with Policies 33 and 34 above.

Intervention for Practical Reasons

Interventions or adaptations for practical reasons such as the following are addressed by the policies below:

- structural reasons
- replacement of existing services
- installation of new services and equipment
- fire safety and other statutory requirements
- removal asbestos and other hazardous materials
- access by people with disabilities

Policy 44: Adaptation of significant fabric to prevent structural failure of existing fabric is appropriate, provided alteration of significant fabric is minimised.

- Policy 45:** Replacement of existing services and equipment is appropriate, provided that work is planned and carried out to minimise damage to significant fabric and that as a general rule building services are concealed within buildings in spaces of lower significance and exterior services are located in inconspicuous positions and designed and finished to be self-effacing.
- Policy 46:** Alteration of significant fabric in order to comply with the spirit of fire safety and other statutory requirements is appropriate, but only after investigation of alternative fire safety strategies and other alternatives in order to determine design and construction strategies. Adaptation should be located in spaces of lower rather than higher significance, minimise damage to significant fabric and provide for removal of alterations without further damage to retained fabric.
- Policy 47:** Adaptation of significant fabric to contain or remove asbestos or other hazardous materials is appropriate. Removal of hazardous fabric, where it cannot practically be sealed from future disturbance, is appropriate. In cases where exposed to view in its normal configuration, hazardous fabric should be replaced with fabric of matching appearance.
- Policy 48:** Alteration of the significant fabric to facilitate access by disabled people is appropriate, but only after investigation of alternative strategies. Adaptation should be located in spaces of lower rather than higher significance, minimise damage to significant fabric and provide for removal of alterations without further damage to retained fabric.

Unavoidable Intervention

In many cases, some detracting intervention is unavoidable.

- Policy 49:** Unavoidable intervention should be located in areas of lesser cultural significance in preference to those of higher cultural significance.

Adaptation of the Fabric

Most extensive adaptation of the fabric occurs as a result of work to accommodate new uses. Depending on significance, different types of alteration or adaptation of fabric are appropriate. For planning purposes it is useful to relate such types of alterations to the relative significance of elements.

While general policies are provided below for the adaptation of the fabric of the place, the individual inventory sheets should be referred to for additional policies for adaptation and significance ranking of individual spaces in each building.

Adaptation of Exteriors of Buildings

Adaptation of the exteriors of the buildings at Woolmers should be carried out only to buildings which are identified as being of moderate or little significance. Even in those cases, care must be taken to make adaptations which are discrete, and which do not affect the cohesiveness of the buildings at the site and within the relevant precinct.

Policy 50: Adaptation of the exteriors of the buildings in accordance with the following table is appropriate:

Exceptional	Surfaces should not be covered or concealed to view from a distance No new finishes should be applied
High	Surfaces should not be covered or concealed to view from a distance No new finishes should be applied Discreet new windows and doorways made for functional reasons are appropriate.
Moderate	No new finishes should be applied, but element may be concealed or covered. Sympathetic modification appropriate
Little	Sympathetic modification appropriate Element may be covered or concealed to view from a distance New finishes allowable
Intrusive	May be removed or replaced with new reconstructed or sympathetic fabric

Adaptation of Interiors of Buildings

Generally, interior spaces of the buildings can be adapted in relation to their significance, as identified in the individual inventory sheets for each building.

Policy 51: Adaptation of interior spaces each building in accordance with the following table and the individual ranking of significance for each space (contained in the accompanying inventory sheets) is appropriate.

Exceptional	All finishes and fittings should be conserved New work should only involve restoration and reconstruction No new partitions or openings are appropriate
High	All finishes and fittings should be conserved New work should only involve restoration and reconstruction New door openings in internal walls appropriate. New partitions not appropriate
Moderate	New reversible fittings appropriate Minor sympathetic alterations and additions appropriate New openings in internal walls and stair openings in ceilings and floors appropriate. New partitions not appropriate
Little	New reversible fittings appropriate Sympathetic alterations and additions appropriate. New archway openings in internal walls and void and stair

openings in ceilings and floors appropriate
New reversible partitions appropriate

Intrusive

Complete alteration or removal appropriate

New Buildings and Features

New buildings at Woolmers should be considered carefully. Depending on the proposed purpose of the new building or feature, it may be less impactful on the significance of the place to adapt an existing building of less significance than to construct a new element.

Should new buildings become necessary for the future management of the place, they should be designed and sited in accordance with the Conservation Approach (Section 7.2) and the following policies. Guidelines for additions to the existing buildings are included in the accompanying inventory sheets.

Policy 52: In order to preserve the integrity of the estate's layout and planning, new structures should preferably be located outside of the precincts identified in this report, that is, the main house precinct, the coach house precinct, the outbuildings precinct and the cottage precinct, and out of view from within these precincts.

Policy 53: Adaptation of an existing building of lesser significance to serve the required purpose should be considered prior to taking the decision to construct a new building.

Policy 54: Any new structures should be of a traditional form, built in weatherboard and corrugated iron, and be subservient in character to the existing buildings at the place.

Two recently introduced features at the place are the National Rose Garden and the associated demountable lavatory block. Both features detract from the integrity of the estate. Suggestions for ameliorating their impact are provided.

Policy 55: Enclose the National Rose Garden with a traditional hawthorn hedge.

Policy 56: Taking a cue from the garden privies in the main house garden, build one or two small public lavatories along the perimeter of the National Rose Garden, discreetly located and facing in toward the garden as a replacement for the demountable lavatory block.

Any major new works should be documented and recorded in accordance with the following policies.

Policy 57: Changes (including new uses) at the place should be achieved in the following way:

(a) Conservation Guidelines:

Proposals for the place should be assessed in the light of what is recommended in this report and the accompanying inventory sheets. It may be necessary to carry out further research in order to assess and implement the proposed work to a high standard.

Research can include physical intervention, for example a search for former surface finishes.

- (b) **Documentation of Conservation Works:** Proposed work to a component should be documented for implementation in a way that allows the scrutiny of others before the work is executed and also for posterity. A statement setting out the precise aims of the work should be made. The documentary or physical evidence upon which restoration and reconstruction decisions are made for each component should be cited. A copy of the documentation, including schedules and plans, should be held in the Woolmers collection.
- (c) **Preservation of Fabric and Patina:** During documentation of proposed work to a component of the place, and during the work itself, the maximum amount of fabric and patina should be retained consistent with the preservation of the element and in relation to its relative significance. Replacements, no matter how accurate, should be considered of far less heritage value than the original fabric.
- (d) **Information Revealed during Conservation Work:** New information about the materials, configuration, use, age and evolution of the component that comes to light during the work should be recorded in a report, a copy of which should be held in the Woolmers collection.
- (e) **Identification of Personnel:** Personnel involved in the documentation and implementation of works to components of the place should be recorded for future reference.

7.9 Community Involvement

Community involvement in decisions about the place is recommended in the National Heritage Management Principles. The Woolmers Foundation, in attracting members and volunteers from the local area, already has an established relationship with the community. It is anticipated that Woolmers will continue to foster such relationships and will invite the community to have input in the future direction of the place.

It is recommended that an appropriate level of community involvement at Woolmers may be achieved through the normal processes of exhibition of Works Applications or through exhibitions of referred actions under the EPBC Act.

The Foundation may also choose to use its website to make the conservation plan or other such planning documents widely available to the public. This would be one way to include people who value Woolmers and care about its future but who may not live in the local area.

Policy 58: Ensure the community has the opportunity to be involved in decisions about the place by engaging in normal public exhibition of proposals which are the subject of Works Applications or referrals under the EPBC Act.

Policy 59: Consider using the Woolmers website to disseminate information and seek feedback regarding the management and future direction of Woolmers.

7.10 Review

It is appropriate for management plans to be reviewed from time to time.

Policy 60: These policies should be adopted as the Conservation Management Plan for the place, to guide the operation of the Foundation. If not adopted, these policies should be revised and then adopted before further works or activities other than urgent works are carried out at the place.

Policy 61: The Conservation Management Plan should be reviewed at regular intervals, firstly say, five years from its adoption.

ITEM DETAILS

Building Name: Woolmers Cottage	Precinct: Cottage Precinct
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From north west

HISTORY

Historical Notes:	<p>Woolmers Cottage Woolmers Cottage was built c1839 by Thomas Archer for the use of his eldest son, Thomas William, following his marriage to Mary Abbott. Thomas William died of scarlet fever in 1844 and his widow continued to occupy the house. Between 1858 and 1868 Mary went for an extended visit to England with her children and mother-in-law. The cottage was papered and painted at this time, the work done by William Wright and paid by the new tenant, George Ritchie. After Mary returned to the estate, she continued to live in the cottage until her death, in 1874. Woolmers Cottage was later leased to Mrs Mayne in 1880, William Ralston from 1885 and R. Cartledge from 1895. In 1905, the cottage was leased to Herbert Gatenby, who also leased 3,780 acres of the estate, but Cartledge was living in Woolmers Cottage again in 1910. Following his marriage to Marjorie Patten in 1915, Thomas Edward Cathcart Archer moved into Woolmers Cottage and remained there until his father's death in 1934. During this time the internal walls were relined with asbestos cement and Marjorie bought several items of furniture for the house (between 1927 and 1932). Following their move to the main house, it is not clear who lived at Woolmers Cottage until the 1960s when Isabella Mead moved in. Between December 1956 and May 1958, repairs were done on the house including the roof, pipes, plumbing, new bath, painting and papering, a new entrance and ramp and repair to the septic tank. Further repairs to the roof were carried out in 1963. The exterior of the cottage was conserved in 2006-07, and plans are currently under consideration for adapting the interiors of the building for guest accommodation.</p> <p>Woolmers Cottage Poultry Shed Built around 1920, this weatherboard shed was used as a chicken roost.</p>
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Key Date: 1839 (Items marked O are original to this date)	Abbreviations: O = Key date M = Modern (Post 1942)	N = 19 th Century E = Early 20 th Century
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Woolmers Cottage

PHYSICAL DESCRIPTION

<p>Exterior:</p>	<p>Woolmers Cottage Roof: Elaborate brick pilastered chimneys (rough cast), Corrugated iron sheet, date ?, over timber shingles, O; boxed timber eaves, no gutter, O. Verandah – concave profile sheeted in flat iron, O; timber battens under ? Walls: brick, O, roughcast ? North: central bay window, verandah – timber columns in gothic style, timber balustrade and rails, O; glass enclosure on east side, c1915 South: 2 no. principle elevation broken into 2 no. recesses each by pilasters, divided by courtyard entrance, O; 2 no. elevated corrugated iron water storage tanks on hardwood frames, c1915; gutter and downpipe; evidence of broken bottles to capping of south wall East: rubble plinth, O; elevation broken into 7 no. arched recesses by pilasters West: brick plinth, O; elevation broken into 7 no. arched recesses by pilasters Courtyard: brick Flemish bond, O; quad gutter and downpipe, M; concrete dado, 1960s?; skillion shelter on north west corner (Space G24), ?; broken bottles on south wall; iron rainwater head on north wall Other features: water pump located in south east corner of courtyard, spring bell system in north west corner, O; gate missing to courtyard (in store) Condition: good Significant ranking: high</p> <p>Woolmers Cottage Poultry Shed Roof: exposed rafter, battens and corrugated asbestos, no gutter, O Walls: exposed hardwood frame, exposed splayed weatherboards, O; chicken wire panel north of door Condition: poor Significance ranking: little</p>	
<p>Interior:</p>	<p>Space G01 Earth Closet Ceiling: lath and plaster, O Walls: plaster, O Skirting: timber, O Floor: timber, O Other: remains of roller blind, O; ‘Vespea Twyford’ ceramic pan, ‘Wetter’s Improved Norton Cistern’, c1915 Condition: poor Significant ranking: moderate</p>	<p>Space G02 Wood Store Ceiling: lath and plaster, O Walls: brick, O Floor: dirt Condition: fair Significant ranking: moderate</p>
	<p>Space G03 Earth Closet Ceiling: lath and plaster, O Walls: ? Floor: timber Chimney piece: Other: timber thunderbox, O; shelving, later Condition: poor Significant ranking: exceptional</p>	<p>Space G04 Laundry Ceiling: open joisted ceiling under floor boards, O Walls: brick, O Floor: timber, O Chimney piece: fireplace, O Other: timber staircase to attic spaces, timber shelves on gallon brackets, O; water tank, c1915 Condition: fair Significant ranking: moderate</p>
	<p>Space 05 Kitchen Ceiling: open joisted ceiling under floor boards, O Walls: brick, O Floor: timber, O Chimney piece: brick bakers oven, O Other: 1 no. gas lamp, fitted dresser, O; ‘IXL’ fuel stove, c1915 Condition: fair Significant ranking: moderate</p>	<p>Space G06 Office Ceiling: battened, 1915 Walls: plaster, O; paper decoration, c1940s Cornice: 1915 Skirting: timber, O Floor: timber, O Chimney piece: marble surround, O Other: reveal shutters, O Condition: poor Significant ranking: exceptional</p>

	<p>Space G07 Dining Room Ceiling: lath and plaster, O Walls: plaster, O Cornice: O Skirting: timber, O Floor: timber, O Chimney piece: black marble and iron grate, O Other: reveal shutters, evidence for bell system, 8 no. picture pins, O Condition: fair Significant ranking: exceptional</p>	<p>Space G08 Bedroom Ceiling: battened, c1915 Walls: plaster, O Cornice: timber, c1915 Skirting: timber, O Floor: timber, O Chimney piece: marble surround and grate, O Other: reveal shutters, 3 no. bell cranks, hinged ventilator, O Condition: fair Significant ranking: exceptional</p>
	<p>Space G09 Drawing Room Ceiling: lath and plaster, O Walls: plaster, O; paper decoration, 1960s Cornice: O Skirting: timber, O Floor: timber, O Chimney piece: Cararra marble of Neo-Classical style surround and iron grate, O Other: picture rail, c1915; pressed brass curtain pelmets, date ? Condition: fair Significant ranking: exceptional</p>	<p>Space G10 Bedroom Ceiling: battened, c1915 Walls: plaster, O Cornice: O Skirting: timber, O Floor: timber, O Chimney piece: Cararra marble surround and iron grate, O Other: reveal shutters, O; curtain brackets, c1915 Condition: fair Significant ranking: exceptional</p>
	<p>Space G11 Ceiling: battened, c1915 Walls: plaster, O Cornice: O Skirting: timber, O Floor: timber, O Chimney piece: Cararra marble surround and iron grate, O Other: Window pelmet surround, reveal shutters, O Condition: fair Significant ranking: exceptional</p>	<p>Space G12 Stair Hall Ceiling: lath and plaster, O Walls: plaster, O Skirting: timber, O Floor: timber, O Other: timber spiral staircase, D is baize covered, O Condition: fair Significant ranking: exceptional</p>
	<p>Space G13 Lavatory Ceiling: M Walls: Cedar panelling, O Cornice: M Floor: ? Other: WC cistern, iron bars to window, O; pan and basin, 1980s Condition: fair Significant ranking: moderate</p>	<p>Space G14 Store Ceiling: M Walls: O Cornice: M Skirting: timber, O Floor: tiles, 1890s Other: kitchen fitout, 1980s Condition: fair Significant ranking: moderate</p>
	<p>Space G15 Pantry Ceiling: lining, M Walls: lining, M Cornice: M Skirting: timber, O Floor: ? Other: bathroom fitout, c1980s; iron bars to windows, O Condition: fair Significant ranking: moderate</p>	<p>Space G16 Back Hall Ceiling: M Walls: plaster, O Cornice: M Skirting: timber, O Floor: timber, O Other: fanlight, 3 no. bell cranks, plaster architrave to D, O Condition: fair Significant ranking: exceptional</p>

Woolmers Cottage

<p>Space G17 Coach House & Tack Room Ceiling: timber boards with beaded battens, O Walls: brick, O Floor: timber, O Chimney piece: brick fireplace, O Other: timber feed bins, O; timber saddle props Condition: poor Significant ranking: exceptional</p>	<p>Space G18 Stables Ceiling: timber boards with beaded battens, O Walls: brick, O Floor: concrete, M Other: ladder to attic, 4 no horse stalls with arched fronts, O; timber work bench and shelves, date ? Condition: fair Significant ranking: exceptional</p>
<p>Space G19 Loose Box Ceiling: timber boards with beaded battens, O Walls: brick, O Floor: rubble, O Other: manhole to attic space, timber feed trough, O; McCormack Dearing tractor, 1960s Condition: poor Significant ranking: moderate</p>	<p>Space G20 Ceiling: timber boards with beaded battens, O Walls: brick, O Floor: timber, O Other: courtyard entrance door, O (relocated) Condition: fair Significant ranking: moderate</p>
<p>Space G21 Hall Ceiling: lined and battened, c1915 Walls: lined and battened, c1915 Cornice: timber, 1915 Skirting: timber, O Floor: timber, O Other: D with 11" rim lock, 2 no. bell crank, skylight, O Condition: fair Significant ranking: exceptional</p>	<p>Space G22 Side Lobby Ceiling: exposed timber joists and flooring, O Walls: brick in Flemish bond, O Floor: concrete, M Other: bell crank, timber trap door to cellar, timber block tackle, O Condition: poor Significant ranking: exceptional</p>
<p>Space G23 Lobby Ceiling: lath and plaster, O Walls: plaster, O Skirting: timber, O Floor: timber, O Condition: poor Significant ranking: exceptional</p>	<p>Space G26 Poultry Shed Ceiling: exposed rafter, battens and corrugated asbestos, 1920s Walls: exposed hardwood frame, exposed splayed weatherboards, 1920s; chicken wire panel north of door Floor: earth Other: chicken roost and trough, 1920s Condition: poor Significance ranking: little</p>
<p>Space V01 Verandah Ceiling: soffit of verandah rafters and boards, O Walls: pebble dash, verandah columns, O and reconstructed; glazed screen, 1930s Floor: timber, O Condition: poor Significant ranking: exceptional</p>	<p>Space V02 Verandah Ceiling: soffit of rafters and sarking boards, O Walls: pebble dash, verandah columns, O; glazed screen, 1930s Floor: timber, O Condition: poor Significant ranking: exceptional</p>
<p>Space B01 Ceiling: exposed floor joints and floorboards, O Walls: rubble, brick quoins to external corners and openings, O Floor: compacted rubble, sump in centre, O Condition: poor Significant ranking: exceptional</p>	<p>Space B02 Stair Hall Ceiling: exposed floor joints and floorboards, O Walls: rubble (east, south, west), brick (north), O Floor: brick, O Other: timber hanging beam and meat hooks, O Condition: poor Significant ranking: exceptional</p>
<p>Space B03 Ceiling: exposed floor joints and floorboards, O Walls: rubble (north, east, west), brick (south), brick quoins at external corners and openings, candle chamber in south wall, O Floor: compacted rubble, O Other: sump in centre, O Condition: poor Significant ranking: exceptional</p>	<p>Space B04 Ceiling: lath and plaster, O Walls: rubble, brick quoins at external corners and openings, O Floor: compacted rubble, O Other: 2 no. barrel vents, loose barrel platform, O Condition: poor Significant ranking: exceptional</p>

	<p>Space F01 Ceiling: lath and plaster, O Walls: lath and plaster, O; wallpaper remnants, c1920s Skirting: timber, O Floor: timber O Condition: fair Significant ranking: exceptional</p>	<p>Space F02 Ceiling: lath and plaster, O Walls: plaster, O; 2 layers of wallpaper, pre 1915 Skirting: timber, O Floor: timber O Other: skylight, O; corrugated iron sheeting and glass, 20th century Condition: poor Significant ranking: exceptional</p>																																																																														
	<p>Space F03 Stair Hall Ceiling: battened pine, 1915 Walls: plaster, O Skirting: timber, O Floor: timber O Other: timber staircase, gate to stair balustrade, skylight (roof over), O Condition: poor Significant ranking: exceptional</p>	<p>Space F03A Hall Ceiling: battened pine, 1915 Walls: plaster, O Skirting: timber, O Floor: timber O Other: skylight (roof over), O Condition: poor Significant ranking: exceptional</p>																																																																														
	<p>Space F04 Servants Ceiling: lath and plaster, O Walls: brick, O; 2 layers of wallpaper, pre 1915 Skirting: timber, O Floor: timber O Other: electrical conduit, date ? Condition: poor Significant ranking: exceptional</p>	<p>Space F05 Servants Ceiling: lath and plaster, O Walls: plaster, O; wall paper decoration, 1880s? Skirting: timber, O Floor: timber O Other: skylight, O; corrugated iron roofing and glass, M Condition: poor Significant ranking: exceptional</p>																																																																														
	<p>Space F06 Ceiling: exposed shingles and roof framing, O Walls: face brick, O Floor: hardwood, 3 no access holes, O Condition: poor Significant ranking: exceptional</p>	<p>Space F07 Ceiling: exposed shingles and roof framing, O Walls: face brick, O Floor: hardwood, 1 no access holes, O Other: skylight, O; sash removed and covered with corrugated iron Condition: poor Significant ranking: exceptional</p>																																																																														
	<p>Space F08 Ceiling: lath and plaster, O Walls: plaster, O; wall paper decoration, 1880s? Skirting: timber, O Floor: timber O Other: timber stud partition Condition: poor Significant ranking: exceptional</p>	<p>Space F09 and F10 No access Significant ranking: moderate?</p>																																																																														
Door / Window Schedules:	<p>Door Schedule:</p> <table border="1"> <thead> <tr> <th>Door</th> <th>Type</th> <th>Date</th> </tr> </thead> <tbody> <tr><td>D01</td><td>Ledge, framed and sheeted</td><td>O</td></tr> <tr><td>D02</td><td>Ledge, framed and sheeted</td><td>O</td></tr> <tr><td>D03</td><td></td><td>O</td></tr> <tr><td>D04</td><td>Ledge, framed and sheeted</td><td>O</td></tr> <tr><td>D05</td><td>Ledge, framed and sheeted</td><td>O</td></tr> <tr><td>D06</td><td>Ledge, framed and sheeted</td><td>O</td></tr> <tr><td>D07</td><td>4 panel, bead flush</td><td>O</td></tr> <tr><td>D08</td><td>4 panel, bead flush, fanlight</td><td>O</td></tr> <tr><td>D09</td><td></td><td>O</td></tr> <tr><td>D10</td><td></td><td>O</td></tr> <tr><td>D11</td><td></td><td>O</td></tr> <tr><td>D12</td><td></td><td>O</td></tr> </tbody> </table>	Door	Type	Date	D01	Ledge, framed and sheeted	O	D02	Ledge, framed and sheeted	O	D03		O	D04	Ledge, framed and sheeted	O	D05	Ledge, framed and sheeted	O	D06	Ledge, framed and sheeted	O	D07	4 panel, bead flush	O	D08	4 panel, bead flush, fanlight	O	D09		O	D10		O	D11		O	D12		O	<p>Window Schedule:</p> <table border="1"> <thead> <tr> <th>Window</th> <th>Type</th> <th>Date</th> </tr> </thead> <tbody> <tr><td>W01</td><td>4 pane fixed sash over timber louvre</td><td>O</td></tr> <tr><td>W02</td><td>6 pane over 6 pane sash</td><td>O</td></tr> <tr><td>W03</td><td>6 pane over 6 pane sash</td><td>O</td></tr> <tr><td>W04</td><td>6 pane over 6 pane sash</td><td>O</td></tr> <tr><td>W05</td><td>Hopper sash</td><td>c1915</td></tr> <tr><td>W06</td><td>6 pane over 6 pane sash</td><td>O</td></tr> <tr><td>W07</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> <tr><td>W08</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> <tr><td>W09</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> <tr><td>W10</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> <tr><td>W11</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> <tr><td>W12</td><td>4 pane over 10 pane double margin sash</td><td>O</td></tr> </tbody> </table>	Window	Type	Date	W01	4 pane fixed sash over timber louvre	O	W02	6 pane over 6 pane sash	O	W03	6 pane over 6 pane sash	O	W04	6 pane over 6 pane sash	O	W05	Hopper sash	c1915	W06	6 pane over 6 pane sash	O	W07	4 pane over 10 pane double margin sash	O	W08	4 pane over 10 pane double margin sash	O	W09	4 pane over 10 pane double margin sash	O	W10	4 pane over 10 pane double margin sash	O	W11	4 pane over 10 pane double margin sash	O	W12	4 pane over 10 pane double margin sash	O
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Woolmers Cottage

Door	Type	Date	Window	Type	Date
D13		O	W13	4 pane over 10 pane double margin sash	O
D14	4 panel	c1917	W14	4 pane over 10 pane double margin sash	O
D15		O	W15	4 pane over 10 pane double margin sash	O
D16		O	W16	4 pane over 10 pane double margin sash	O
D17		O	W17	3 pane sidelights	O
D18		O	W18	3 pane sidelights	O
D19		O	W19	4 pane over 10 pane double margin sash	O
D20	4 panel, ext.; 6 panel	O	W20	6 pane over 6 pane sash, 5 cast iron bars	O
D21	Pair ledge, framed and sheeted	O	W21	6 pane over 6 pane sash, 5 cast iron bars	O
D22	Ledge, framed and sheeted	O	W22	6 pane over 6 pane sash, 5 cast iron bars	O
D23	Pair ledge, framed and sheeted	O	W23	6 pane fixed sash over timber louvre	O
D24	Pair 2 panel, side light	1915	W24	6 pane fixed sash over timber louvre	O
D25	Ledged and sheeted	1920s			

SIGNIFICANCE ASSESSMENT

Statement of Significance:

Built about 1839, Woolmers Cottage is of exceptional significance as one of the most resolved designs of the 1830s in Australia. The house shows a clear division of the various activities of a colonial house in its planning, design and the detailing, as a self-contained unit consisting of the main house, carriage house, and service wing built in a 'U' around a service yard.

The garden associated with Woolmers Cottage overlooks the valley toward Longford from the cottage's commanding situation. The garden contains evidence of an earlier planned garden, much of which has been lost. The later tennis court shows the importance of sport and leisure activities to the later generations of the family.

For the level of significance of individual spaces within the building, see below.

Fabric:

The fabric reflects Local State National World heritage values

CONSERVATION POLICIES

Fabric:

The exterior and interior fabric should be conserved to the existing details in accordance with the Policy for Treatment of the Fabric (Policy 11, page 88).

Interpretation:

Woolmers Cottage is not interpreted at present. Interpretation measures should be put in place in the short term. It is anticipated that many visitors to Woolmers would be interested in seeing the interiors of Woolmers Cottage and guided tours could be led either in conjunction with or separate from tours of the main house. The long term plan for Woolmers Cottage is to adapt it for guest accommodation, which would prevent tours of the interior; therefore, the opportunity should be taken at present to show the house to the public.

Use:

The building is proposed to be used as guest accommodation for longer term stays. Other appropriate uses include gallery/exhibition space or visitors centre.

Intervention:

Intervention for the installation of discreet and sensitively planned fire and security systems is appropriate. No other interventions should take place unless absolutely unavoidable.

Adaptation:

Adaptation of the fabric should be carefully controlled. No change to the plan form should be made. All new work should be reversible. The policies for adaptation of exceptional fabric (Policies 49 and 50, pp. 97-8) should be strictly adhered to in order to prevent loss of significance.

Woolmers Cottage Poultry Shed

The poultry shed can be substantially adapted or removed.

MAINTENANCE

Recommended Maintenance Schedule & Frequency:

- Every year:
- Check all locks, fasteners, sashes, shutters, windows and doors are in working order
 - Inspect and clean out gutters and downpipes
 - Check metal roofing and guttering, repair if needed
 - Carefully clean and maintain interior spaces
 - Check metal roofing and repair if needed

Every 2 years:

- Repair and paint exterior to existing details if necessary
- Inspect structural timbers for termites and rot and take remedial action
- Check roof timbers and masonry walls for structural faults and take remedial action
- Polish brass door furniture, blacken and polish cast iron grates, wax floor and timber joinery to Ground Floor

Every 5 years:

- Paint external painted masonry surfaces
- Paint external metal surfaces
- Paint protected external joinery

Every 10 years:

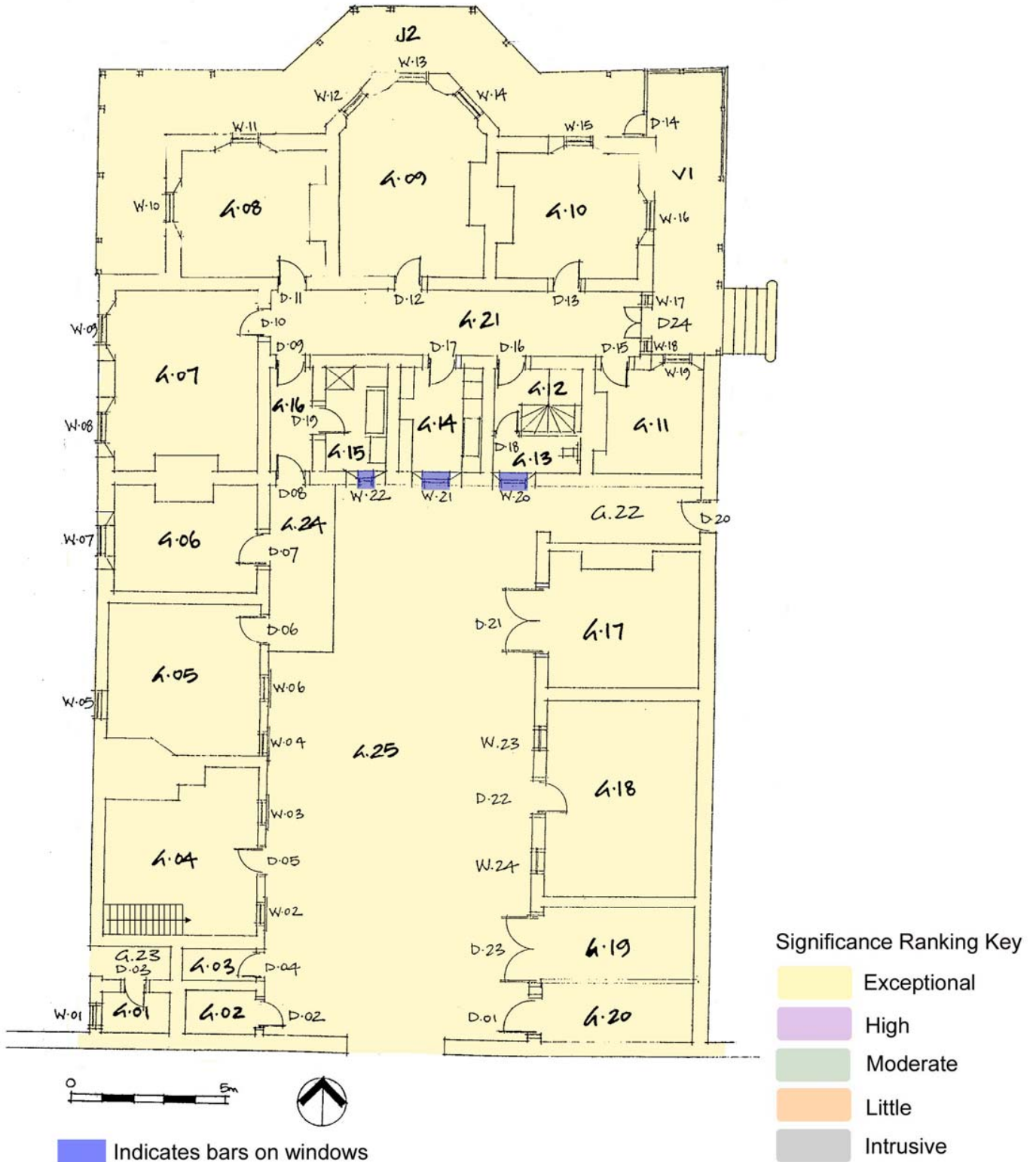
- Repair external timber work
- Check rising damp and treat where necessary

Every 20 years:

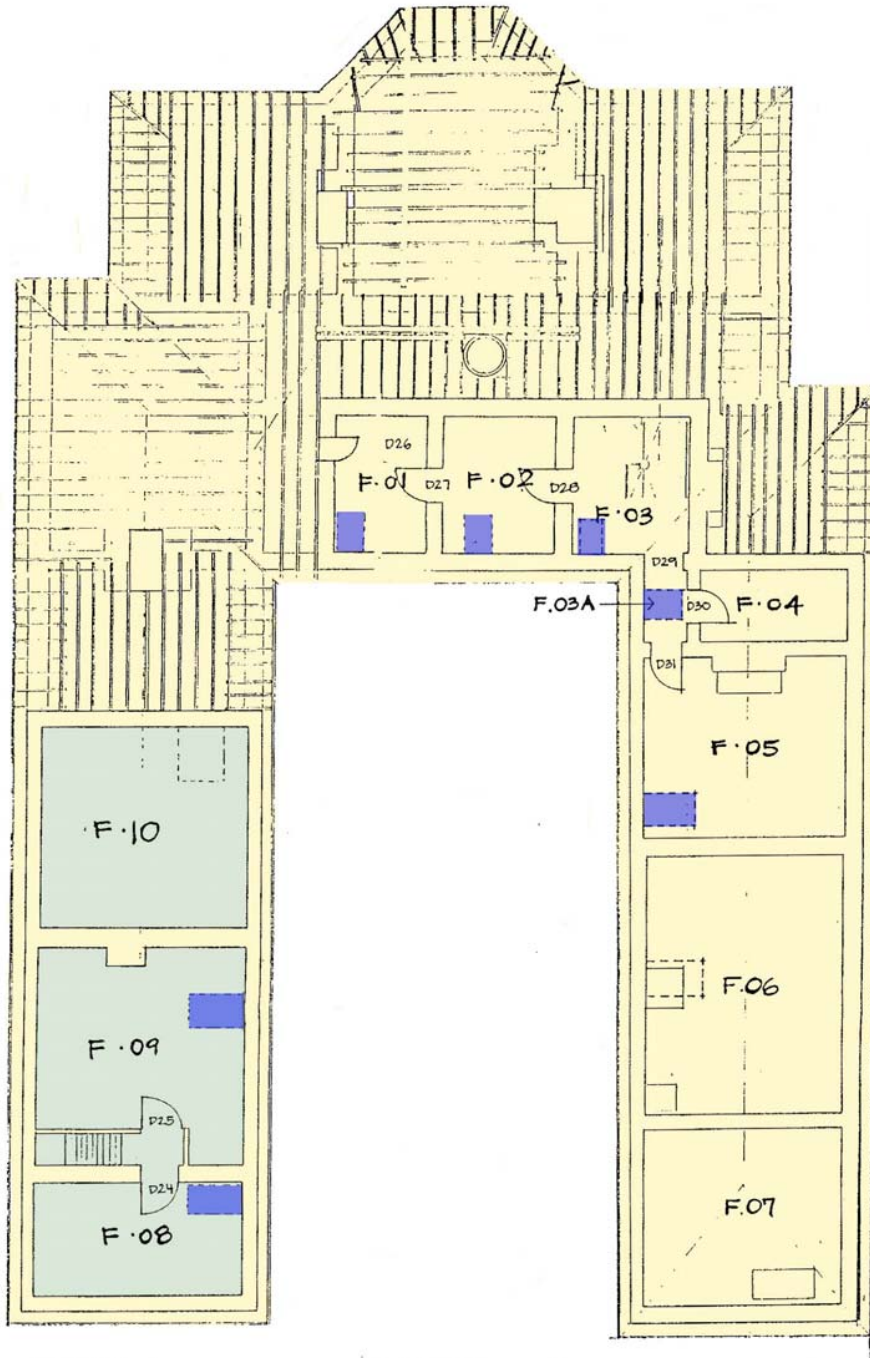
- Renew external metal roofing, guttering, downpipes and flashings, if necessary

Woolmers Cottage

IMAGES



Ground floor plan of Woolmers Cottage showing significance ranking of interior spaces



Significance Ranking Key

- Exceptional
- High
- Moderate
- Little
- Intrusive

ATTIC PLAN



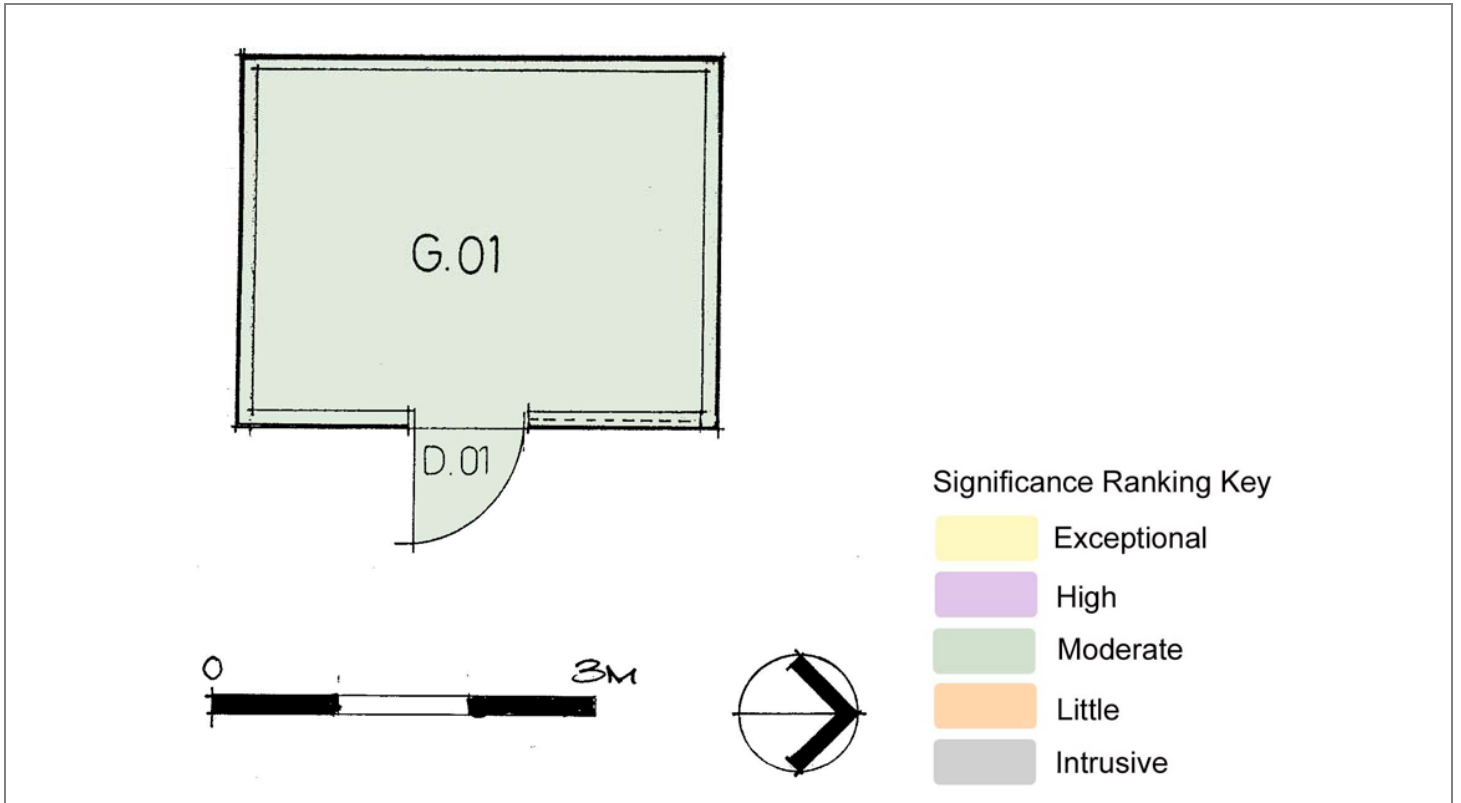
Indicates bars on windows

First floor plan of Woolmers Cottage showing significance ranking of interior spaces

Woolmers Cottage



Basement plan of Woolmers Cottage showing significance ranking of interior spaces



Ground floor plan of Woolmers Cottage Poultry Shed showing significance ranking of interior spaces



Detail of front verandah from west

Woolmers Cottage



Courtyard from south



Gate and exterior wall to Courtyard from south



From south west





Door ? in attic



Cararra marble Neo Classical chimneypiece in Drawing Room (Space G09)



Hall (Space G21)



1960s paper decoration in Drawing Room (Space G09)

Woolmers Cottage



Kitchen (Space G05)



Stables (Space G18)



Woolmers Cottage Poultry Shed



Interior of poultry shed (Space G25)

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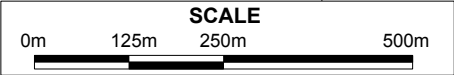
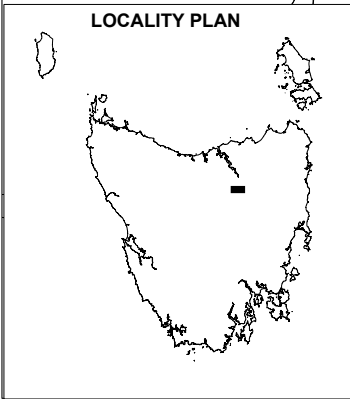
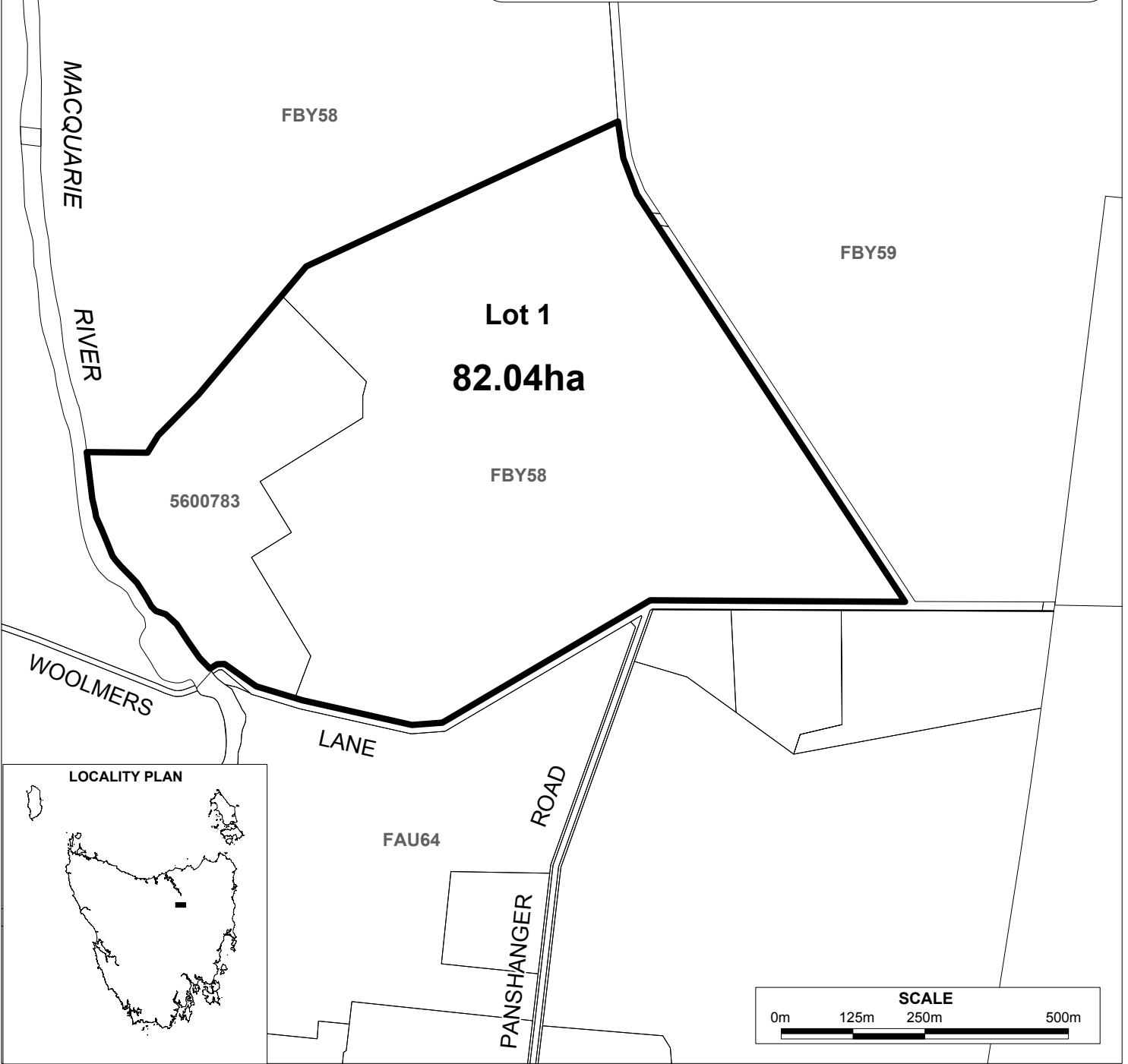
6.3 Appendix C


Tasmanian Heritage Council 2009 *Tasmanian Heritage Register Datasheet: Woolmers Estate*, 3 June 2025, Hobart, Tasmania.

Exhibited

NOTE:

1. Lot 1 is the whole of FR 135619/1 and FR 135619/3.
2. Details of individual land parcel boundaries may be accessed through the Land Information System Tasmania (the LIST).



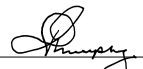
TASMAP 5039 - LONGFORD						SCALE: 1 : 10,000	
No.	PRODUCTION / AMENDMENT	AUTHORITY	REFERENCE	DRAWN	APPROVED	DATE	 Tasmania
1.	PRODUCTION	THC	5077	D.Y.	M Lynch	18-08-2009	

WOOLMERS
WOOLMERS LANE, LONGFORD

PREPARED BY
 HERITAGE TASMANIA FOR



GDA CENTRAL PLAN REGISTER

Surveyor General 

Date Registered 21-10-2009

CPR
8762

Received
4.3.2026
Exhibited

134 Macquarie Street (GPO Box 618)
Hobart Tasmania 7001
Phone: 1300 850 332 (local call cost)
Email: enquiries@heritage.tas.gov.au
Web: www.heritage.tas.gov.au

Name: Woolmers
Status: Permanently Registered
Tier: State
State

THR ID Number: 5077
Municipality: Northern Midlands
Council
Boundary: CPR8762

<u>Location Addresses</u>	<u>Title References</u>	<u>Property Id</u>
WOOLMERS LANE, LONGFORD 7301 TAS	135619/3	2037771
658 WOOLMERS LANE, LONGFORD 7301 TAS	135619/1	2037800



Untitled
No copyright on file



Untitled
No copyright on file



Horse-driven apple-crusher in the Cider House.
DEPHA

Statement of Significance: (non-statutory summary)

Woolmers Estate, a colonial farm established by Thomas Archer in the early nineteenth century, demonstrates many aspects of early pastoralism and agriculture in colonial Australia. It also illustrates the economic significance of convict labour in the first half of the 19th century. Convict and 'ticket of leave' labour was critical to development, early operation and prosperity of Woolmers Estate.

The 1820s Woolmers' Woolshed is believed to be Australia's oldest woolshed still in use. The history of the woolshed

illustrates the important economic contribution that Woolmers - and the other Archer family properties in northern Tasmania - made to the development of the State's wool industry.

The buildings and collections of Woolmers, including farm machinery, internal furniture and fittings, documents, and utilitarian and decorative objects provide an important historical record, documenting the management of the farm and the lives of the Archer family and others associated with the estate over two centuries. They comprise a rare record of a substantial colonial pastoral estate.

As well as members of the Archer family, Woolmers has associations with a number of notable people, including some distinguished identities who visited the Estate.

Why is it significant?:

The Heritage Council may enter a place in the Heritage Register if it meets one or more of the following criteria from the Historic Cultural Heritage Act 1995:

a) The place is important to the course or pattern of Tasmania's history.

Woolmers Estate is one of the earliest, largest and most important rural properties in Tasmania. Established by Thomas Archer, Woolmers remained in successive generations of one family from 1817 until the death of the last heir Thomas William Archer, in 1994.

As a result, the home has retained many of its original interior fittings, furniture and other artefacts. The continuous association with the Archer family persists to the present, through the involvement of the extended Archer family with the Woolmers Foundation and as staff at the place.

The architecture of the buildings, including the main house and other residences, and the extant outbuildings, workshops, cottages, plant and artefacts, are a unique record of the scale and range of operations of a substantial colonial estate and self-sufficient village owned by a colonial gentry family, assigned and 'ticket-of-leave' convicts and free settlers.

The house is unusual in that it provides outstanding evidence of the architectural evolution of a gentleman's residence over time. It was grand in scale at the time of its construction in the 1820s, and is one of the oldest timber buildings surviving in Tasmania. Its redevelopment in the mid-1840s placed it once again in the first rank of colonial estates, with the Italianate extension being one of the earliest constructions in Tasmania, and indeed Australia, of its style.

The Wool Shed is also thought to be the oldest surviving one in the country.

The variety and arrangement of buildings also provides an understanding of the various levels of society and social structure within the estate. The separation of the gentry and the workers is clearly evident, with the family houses being set apart from the outbuildings.

The historic character of Woolmers Estate is also evident through the presence of places demonstrating architectural values with buildings constructed in the Old Colonial Georgian style and examples of architectural styles from the Victorian period including the early Victorian Italianate extension and Regency style of Woolmers Cottage. These places are significant for both their architectural values and demonstrating the historical period of development of Woolmers.

The contents of Woolmers, including its homestead and machinery, comprise an outstanding collection, dating from the colonial period.

The property also provides evidence of past water management practices in the way of successive forms of water pumping and distribution systems.

The existing boundaries of Woolmers Estate are a result of a number of government land settlement schemes of the first half of the twentieth century, including the Soldier Settlement and Closer Settlement Schemes, and also of the financial circumstances of the Archer family.

The theme of orcharding, and Tasmania's apple industry, is clearly evident at Woolmers.

Woolmers Estate demonstrates the penal and assignment system of convictism within Van Diemen's Land, having association with, and reliance on, female servants and male farm labourers, including aspects of the punishment and reform of convicts.

The property illustrates the story of changes of lifestyle and land-use of the Archer family, and other workers and staff, from the time the land was first settled as a pastoral Estate in 1817, to its present status as a heritage tourism site, actively managed and maintained by the Woolmers Foundation.

The contemporary significance of Woolmers Estate as an iconic heritage tourism site offers an educational role in the management and conservation of heritage places.

The National Rose Garden, established in 2001, provides additional contemporary significance to the place as a tourism destination.

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b) The place possesses uncommon or rare aspects of Tasmania's history.

Woolmers Estate demonstrates former water systems. The pump house, water tank and windmills are a rare collection of such structures, which demonstrate the evolution of water management over a period of time. In particular, the pump house is of historic cultural heritage significance as a rare survivor of this type of building. The original lead-lined water tank and reticulation system is also a rare surviving example of an early system of water supply and storage.

The condition and level of integrity of Woolmers as a farm complex, retaining a large number of outbuildings, is outstanding. Further, Woolmers Estate, including the main homestead, outbuildings, and associated areas, along with the moveable heritage items and documents which form part of the Estate, is a rare collection dating from the early nineteenth century.

c) The place has the potential to yield information that will contribute to an understanding of Tasmania's history.

Woolmers Estate, as an outstanding example of a homestead complex dating from the early nineteenth century, has the potential to yield information that will contribute to a greater understanding of Tasmania's history.

Potential for further investigation exists in occupation deposits and structural features associated with standing buildings, the farming landscape and the number of buildings which have fallen into ruin or been demolished. Topics could include issues relating to colonisation, exploration of resources, cultural change, consumer behaviour, technological adaptation and innovation and environmental impacts.

In addition, the vast collections and documents relating to Woolmers Estate provides the potential to uncover aspects of the farms operations and nineteenth century colonial life.

d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.

Woolmers Estate demonstrates the principal characteristics of an early to mid-nineteenth century farming and pastoral complex on a large and grand scale. These characteristics are found in a number of the buildings and structures at Woolmers, namely, the main homestead, Woolmers Cottage, woolshed, chapel, store, blacksmith's shop, stables and coach house, workers cottages, coachmans cottage and bakehouse cottages.

The main homestead has architectural significance in demonstrating the principal characteristics of a single-storey weatherboard and brick nogged Old Colonial Georgian residence. These characteristics are found in the use of a symmetrical facade, medium pitched hipped roof, verandah under the main roof with slender posts, panelled door and simple chimney. The c.1842 addition to the main homestead has architectural significance in demonstrating the principal characteristics of the Victorian Italianate style of architecture. These characteristics are found externally in the use of asymmetrical massing, a prominent tower employing classical motifs, colonnaded loggia, and stucco wall finish.

Woolmers Cottage has architectural significance in demonstrating the principal characteristics of a Victorian Regency villa, through smooth textured walling and sash windows.

The Gardener's Cottage has architectural significance in demonstrating an Old Colonial Gothick Picturesque residence, through the use of stucco walling, an asymmetrical facade, and a medium steep pitch roof.

e) The place is important in demonstrating a high degree of creative or technical achievement.

The c.1842 addition to the main homestead is of historic cultural heritage significance for its creative achievement. Designed by William Archer, the State's first Tasmanian-born architect, the addition is one of Tasmania's (and Australia's) earliest demonstration of Victorian Italianate architecture. The extension demonstrates the transfer of contemporary international architectural styles to colonial Van Diemen's Land, and the level of sophistication of Woolmers as an example of the grand estate.

f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.

Woolmers is a well known and prominent historical place. On a grand scale, the combination of historic built elements and collections, within the setting of established gardens, plantings and a working farm contribute to the community's appreciation of the place. Under the management of the Woolmers Foundation, the place is now a popular heritage tourism attraction.

g) The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.

Woolmers Estate, Longford, is of historic cultural heritage significance for its association with colonial administrator, landowner and politician Thomas Archer, who received the original land grant and developed the estate. This place is also of significance for association with his third son, prominent Tasmanian-born architect William Archer, who grew up there and designed the extension to the main house.

Its links to the other Archer family properties in northern Tasmania emphasise the contribution the Archers made to the development of the State's wool industry.

h) The place is important in exhibiting particular aesthetic characteristics

No Data Recorded

Exhibited

Heritage approval is required for work that will result in changes to the nature or appearance of the fabric of a Heritage place, both internal and external.

Please refer to the Heritage Council's Works Guidelines [REDACTED] information about the level of approval required and appropriate outcomes.

Heritage Advisors are also available to answer questions and provide guidance on

[REDACTED] 1300850332

This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.

Setting:

Woolmers Estate is situated approximately seven kilometres from the rural township of Longford, bounded to the west by the Macquarie River, to the south by Woolmers Lane, and to the east by the driveway to Woolmers Cottage. At the time of European settlement the area was called Norfolk Plains. Views across the alluvial plains take in Brickendon Estate, Elkstone, Harwick Hill with the Great Western Tiers in the distance.

Description:

The property covers an area just over 82 ha, including the homestead, formal garden, a second manor house known as Woolmers Cottage, and an extensive collection of outbuildings and farm infrastructure, avenues of trees and hedges, specimen trees, kitchen garden and National Rose Garden, the historical agricultural fields and archaeological remains. A large collection of items of moveable heritage, dating from the 1820s and subsequent times are contained in the buildings.

Main Homestead:

The original Woolmers home was constructed by convicts c.1819-1821 and beneath weatherboard is a large brick-nog lined Old Colonial Georgian residence. It has a medium pitched hipped roof clad in corrugated iron, flagged verandahs with slender timber posts, and corbelled chimneys. Windows are double hung and of small panes. Beneath the house are four cellar rooms, three with bricklined wells, and one with a large trapdoor in the ceiling providing access into the drawing room. The fittings and most of the furniture are original. Six attic bedrooms are accessed by narrow staircases at the northern and southern ends. These bedrooms contain the original timber ceilings and lining boards papered with c1850s wall papers and iron bars are present on some of the attic windows. The interior of the building retains a high level of integrity, including original lath and plaster ceilings and lining boards, and original timber floors.

An extension, designed by William Archer and built 1842-1843, is Italianate in style with drawing and dining rooms either side of a large front hall and a small tower with a bedroom above. This section has a second storey tower, blind window and portico. Windows are double hung sashes. Prominent quoins feature to the side of this section. The front hall features original oak furniture bearing the Archer crest. The drawing room has a Grecian chimney piece with carytids and the room survives very much as originally furnished. The dining room features a black marble Italianate chimney piece with arched recesses on either side housing fitted bookcases. Two matching mahogany sideboards are fitted in blind arches on the wall facing the windows. Much of the dining room furniture and china bear the Archer crest. It is believed that the furniture in these original rooms was chosen by William Archer. The plaster work in the extension has fashionable papier mche enrichments imported from CF Bielefeld in London.

The kitchen wing building of the main house was built as a small timber building, and was extended in the 1840s to house servants separately rather than in the main house. In the 1940s the kitchen was altered as a garage and workshop. In the 1990s this was reverted to accommodate a commercial kitchen and cafe.

Woolmers Cottage:

Woolmers Cottage, built by convict labour in 1839, is a large brick Regency villa building with cedar joinery, and marble fire pieces. The facade features a verandah with timber posts, and a curved iron roof. There are four underground cellars, with three containing brick lined wells. Attic bedrooms are located in the main section of this building, while smaller attic rooms for the domestic servants are located in the kitchen wing, and accessed via a steep

staircase.

There is evidence of an early garden around the cottage, including the oval carriage way and brick borders of the garden beds. Mature pines form a windbreak from the north.

Other buildings:

Woolmers Estate also includes the following buildings and structures :

Exhibited

Pump House (1840s) - an early intact horse-driven water pump remains in an unusual octagonal building near the Macquarie River;

Woolshed (c 1819) - believed to be Australia's oldest woolshed still in use. It is a vernacular two-storey building, constructed from split weatherboards of local hardwood on a rubble foundation. The woolshed is one of the oldest buildings on the Estate. It was built by convicts who also worked in the shed. It contains an early timber-framed manual wool press which may have been constructed on the estate as the iron work is handforged. The main beam is inscribed with the words 'England Expects Every Man Will Do His Duty Admiral Nelson Duke of Bronte Trafalgar 1805'.

Cider House (1840s) - weatherboard building abutting the woolshed housing a timber and stone apple crusher;

Store (1820s) - located in close proximity to the main homestead. This two-storey pebble dash masonry building has a gabled roof form and a decorative Italianate water tower. The original lead-lined water tank and reticulation system is a rare surviving example of an early system of water supply and storage;

Coach House (1847) - located adjacent to the walled garden. This is a symmetrical building with loft, constructed of rough cast walls in the Georgian vernacular tradition. Opposite the stables is the coachman's cottage intended by Thomas Archer to provide accommodation for free settlers;

Chapel (c.1840s) - the former chapel was designed to ensure the religious wellbeing of the workers, which was a common practice on an estate of this size. It is a gabled structure with a porch over the southern entrance;

Gardener's Cottage (late 1840s) - a Picturesque Gothic cottage;

Gardeners Cottage Shed (c1900) - a small weatherboard shed;

Farm Stables (1840s) - open farm stables in a long gabled building of rendered masonry with central pilasters. The original horse staff partitions remain.

Workers' Cottages (1840s) - five semi-detached workers cottages have one ground floor room with a fireplace and one room upstairs.

Jacob Mountgarrett's Cottage (c.1820s) - a simple weatherboard cottage located adjacent to the chapel. The cottage was constructed for Colonial Surgeon Jacob Mountgarret sometime before 1826, and relocated to Woolmers in 1830. The building is vernacular in style, with a chimney to one end. An open weatherboard skillion extension has been added;

Blacksmith's Shop (c1822) - a rendered masonry single room with a slate roof (for fire protection), central chimney breast, hearth and timber work bench, Some early blacksmithing equipment remains;

Bakehouse Cottages (1840s) - two cottages with a central bakehouse constructed of brick and pebble-dash. The central building was the primary bakehouse and at the rear of the smaller building is the large oven used for baking breads;

Timber Windmill (c1890-1921) - thought to be the last remaining one of its type in Australia. This was constructed in the American style with sails made from narrow boards radially arranged. The windmill has recently been restored;

Metal Windmill (c1930) - the direct acting pumping machinery survives but has lost some of its sails;

Modern Pump House - Water is now pumped by an electric pump in the shed.

Gardens/ Plantings:

Woolmers garden was modelled in the Gardenesque style in the 1840s, and is enclosed by a wall and a pair of elaborate dowelled gates. Original features which survive include a garden pavilion, a garden smoking room, and two

Exhibited

garden toilets.

Archaeological Remains:

Archaeological remains which may be evident sub-surface include occupation deposits and structural features associated with the standing buildings, and remains of the glass house (in the National Rose Garden), the site of the punt man's cottage, the early Woolmers Cottage garden, male convict quarters, the carpenter's shop, a Dutch barn and granary, and the third bakehouse cottage.

Collections:

A large number of original fittings, furniture, paintings, dinner services, glassware, cutlery, toys, motor vehicles, farm equipment and related moveable cultural objects remain at the site. There is also considerable documentary material covering the property, family and estate workers, much of which is held by the Archives Office of Tasmania.

History:

Woolmers was established by Thomas Archer (1790-1850), son of William and Martha Archer of Hertford England, who came to Van Diemen's Land as a commissariat officer at Port Dalrymple. While working at Port Dalrymple in 1817 he was granted 800 acres on the banks of the Macquarie River. This was the first of the land grants that was later to form Woolmers. The property passed through six generations before Thomas Archer V 1 bequeathed the Estate and its contents to the Archer Historical Foundation in May 1994.

Thomas Archer's successes inspired his brother Joseph (1795-1853) to emigrate and they were subsequently joined by two other brothers, William (1788-1879) and Edward (1793-1862), and their father, William Snr (1754-1833). Joseph arrived in the colony in 1821 and sought land at Panshanger, William arrived in February 1823 and sought land at Brickendon, and Edward purchased land and established Leverington in the 1830s.

Associated with the core estates were also a number of outstations:

Woolmers - Fairfield and Cheshunt;

Brickendon - Munden, Palmerston and Saundridge;

Panshanger - Burlington;

Leverington - Woodside and Northbury.

The Archer brothers were good farmers, earning praise from even the land commissioners and their properties became a memorial to their taste and sagacity (Stilwell in ABD: 1966, pp25-26).

Woolmers Estate is located on four of the ten grants originally made to Thomas Archer. In 1821 Archer resigned from the colonial administration to concentrate on his farming interests. Between 1825 and 1845 he used his property primarily for sheep grazing, and this became the foundation for his wealth. In 1825 he had more than 6000 sheep, including Pure Merinos which had been expensively imported. Archer also had many English cattle and a valuable stud of horses and brood mares. The alluvial soils of the Macquarie and South Esk Rivers flood plains were cultivated for wheat, barley, oats, hay, turnips and rape seed. Up until at least 1865 Woolmers continued to grow wheat and oats.

A survey and valuation of the land in 1826 noted that, by then, the estate included a large weatherboard house and a brick store. At this time, Archer also had carpenters, sawyers, bricklayers, blacksmiths, convict labourers, a hundred working oxen and about 10,000 sheep. Also at this time, Woolmers was considered the largest establishment by any individual in the Australian colonies. The estate was typical of others in the area in the manner it had developed a viable financial income from pastoralism and agriculture, which ensured the economic fortunes of the European settlers up until c.1850. Government records of 1820 show that Thomas Archer had five assigned servants and 10 merino rams. In 1824 he employed 40 convicts and had 6,000 sheep (Lucas: 2008). There are few historical records of the convicts at Woolmers. Generally, it can be said that the work was seasonal, reflecting events such as the planting of crops and shearing of sheep. Orchardng also would have required a fair degree of labour.

The 73,000 convicts transported to Van Diemen's Land in the first half of the 19th century provided cheap labour for the development of the colony. The convicts were funded by the British government, and also were the progenitors of later generations (Alexander 2007:85).

Most of the original convicts were assigned labour, employed both by the colonial government and the free settlers, and provided the bulk of the labour force for developmental works in the new colony.

Following the assignment system came the probation system - an experiment in penal discipline introduced to Van Diemen's Land in 1839. Its key principles were that both punishment and reform could be achieved by separate confinement and a regime of hard labour, religious instruction and education. Once prisoners passed through the different levels of probation they became available for hire to the settlers. More than 80 probation stations operated throughout the settled districts until the probation system was abandoned with the abolition of transportation to the colony in 1853 (Sprod in Alexander 2005:290). Many of the convicts who passed through the probation system

became labourers on farming estates.

At Woolmers, domestic servants lived within the Main House Precinct. The accommodation and working conditions of the free emigrant were generally superior to that of convicts. In 1849 Thomas Archer, a strong advocate of the abolition of transportation, constructed the small duplex workers cottages to 'render (the emigrant) more comfortable than they could have been in England'.

Between 1826 and 1845 Thomas Archer was a member of Van Diemen's Lands first Legislative Council. His honesty, integrity and fair-mindedness impressed everyone. Lady Jane Franklin, wife of Lt-Gov John Franklin, partly in allusion to his physical size, once called him 'the bulk of the Legislative Council' (Stilwell in Australian Dictionary of Biography: 1966, pp25-26).

During the 1840s Thomas Archer's third son, William, home after completing his architectural studies in England, exerted his influence at Woolmers. The main house was aggrandized to a standard more befitting Thomas Archer's social standing. The three large rooms were built at the back of the house and the residence re-oriented to face a private garden.

Architecturally, the extension to the main house was very advanced and avant-garde. The three large rooms were the drawing room and dining room, perpendicular to each other on opposite sides of a new entry hall. Two of these rooms continued the Italianate theme of the exterior, while the drawing room was more Grecian. Above the entry hall a new bedroom overlooking the new garden was constructed.

It is probably at this time, or perhaps a little earlier, that a number of alterations were also made to the original part of the house, including an easterly extension to the north side of the bungalow. The Coach House was extended and provided a picturesque element at the end of the garden.

At the end of this decade Thomas Archer, a large man, was in poor health. Aware that it would be impossible to remove his coffin from the house through the narrow hall, he had the windows enlarged in the principal bedroom prior to his death.

When Thomas Archer died, in 1850, the Woolmers estate passed to his grandson, Thomas Chalmers Archer, then aged ten, to be managed by trustees until he became of age. The young boy's father Thomas William Archer had passed away six years earlier.

The estate at this time totalled some 12,271 acres and, following her husband's death, Susannah Archer was permitted to 'hold and enjoy' the house along with the garden, coach house and coachman's house for the rest of her life. However, from 1850, the Archers began to be separated from Woolmers with Susannah spending much of her time at Mona Vale, the home of her daughter, Martha, and son-in-law, Robert Kermod. Chick (1991:294) suggests that it is with the absence of Susannah from Woolmers that a pattern of Archer family absence from Woolmers was established, resulting in two generations of Archers leasing the property to a succession of managers and tenants who operated the pastoral activity of the estate.

In February 1855, the estate, then covering 11,000 acres including Woolmers Main House, was advertised for lease. The property was advertised as having 'innumerable offices for domestic and farm servants, a large wool house, Dutch barn, capable of containing 2000 bushels of grain in the straw, besides granaries, coach houses, stabling for 24 horses, cart sheds, stock yards, blacksmiths' and carpenters' shops'. The estate also had 10 acres given to garden and orchard. No arrangements were made to lease the farm and in March 1856 a manager took over the running of the property.

Thomas Chalmers Archer, came of age in 1861, but showed little interest in farming and the pastoral side of the property continued to be either managed by others or leased. During the 1870s, T.C. Archer was recorded as the proprietor of Woolmers although he chose to live at Longford Hall. Until 1875 Robert Kermod, Thomas Chalmers' uncle, occupied the house. It is possible that Kermod was in the house as early as 1863, when he paid for the installation of the Colebrookdale fountain.

In 1875 Thomas Chalmers Archer had moved into the main house at Woolmers. Both Woolmers main house and Woolmers Cottage were again occupied by members of the Archer family. At this time Woolmers was still described in assessment rolls as a sheep run, the property rented by Thomas' nephews, Edward Archer of Leverington and Basil Archer of Northbury. Thomas Chalmers died in 1890, leaving Woolmers to Thomas Cathcart Archer. At this stage the house was unoccupied.

Until 1912, pastoral land at Woolmers was occupied by tenants. In that year the government acquired 6,147 acres of the southern part of Estate for the Closer Settlement Scheme.

Of the remaining homestead area of 34 acres, Thomas Cathcart's son, Thomas Edward Cathcart Archer, was given some land to develop in 1921, but he did not become involved in managing the pastoral activities at this stage.

Woolmers passed to TEC Archer following his father's death in 1934. He subsequently bought back the lot adjoining the homestead comprising 698 acres and 8 perches. This land included the majority of the outbuildings east of the present drive. By this time, the largest of the three orchards had been grubbed out. Sheep were bought and within a few years were providing more income than the fruit. In 1947, a further 5,856 acres were resumed for the Soldier Settlement Scheme. There has been little change in the agricultural use of the property since this time.

Thomas Edward Cathcart Archer married Marjorie Patten in 1915 and records indicate that Marjorie bought many items of furniture for the house between 1927 and 1932. Much of the existing decor, including wallpaper, decorations and dominant colour schemes, dates from Marjorie's days. Thomas and Marjorie remained in the house until their deaths, with Thomas dying in 1974.

Thomas and Marjorie's only son, Thomas William Archer, inherited the property upon his father's death. In the 1970s he redecorated the tower bedroom and back hall. He adapted the bakehouse cottages in the 1980s to provide accommodation for paying guests. This led to the insertion of the kitchen and bathroom fittings in the larger building and minor modification of the original fabric. Windows in the small building appear to be enlarged and fitted with frames and sashes salvaged from other buildings on the site.

This process of evolution and development of Woolmers Estate continues to the present when it is managed as a tourism site. The National Rose Garden, established in 2001, is a contemporary example of the continuing evolution. Established as not-for-profit by volunteers, the two-hectare National Rose Garden displays all recognised rose families within a formal and symmetrical garden plan sympathetic to the nineteenth century context in which it sits.

Thomas William Archer died without heir in 1994 and, after passing through six generations of the Archer family, Woolmers was bequeathed to the Archer Historical Foundation. The Estate was opened to the public in 1995 and achieved public museum status in 1997. In October 2001, the foundation restructured the organisation and changed its name to become the Woolmers Foundation Incorporated. The mission of the Woolmers Foundation Incorporated is 'to research, collect and preserve the heritage, culture and history of this unique place and the Thomas Archer family legacy and to conserve, interpret and promote Woolmers Estate for the benefit of future and current generations' (Woolmers Brochure: 2006).

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Exhibited

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Exhibited

6.4 Appendix D

Department of the Environment and Heritage 2007 *Woolmers Estate (Place ID 105976)*. Australian Heritage Database. Retrieved 5 June 2025 from: <https://www.environment.gov.au/cgi-bin/ahdb/search.pl?mode=place_detail;place_id=105976>.

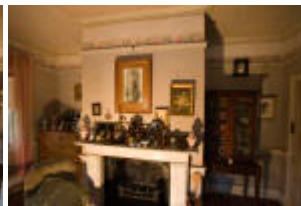
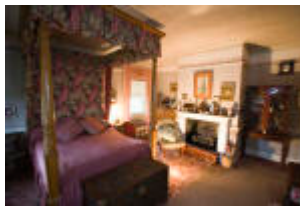
Place Details

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Woolmers Estate, Woolmers La, Longford, TAS, Australia

Photographs

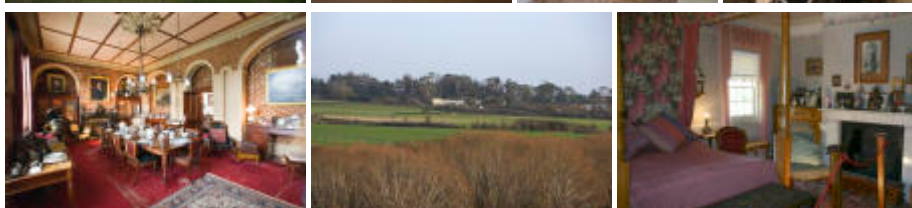
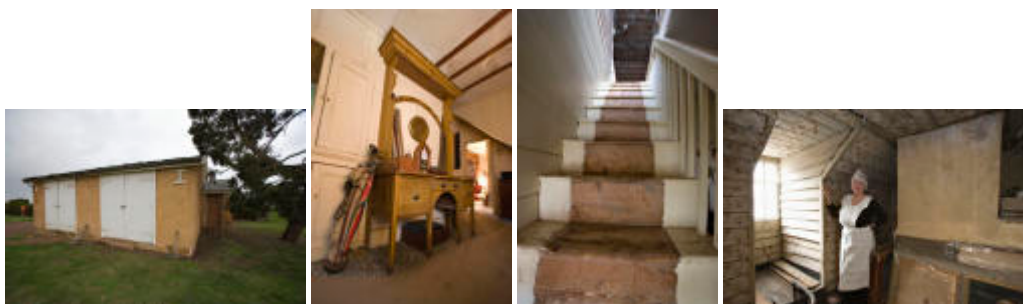
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List	National Heritage List
Class	Historic
Legal Status	Listed place (23/11/2007)
Place ID	105976
Place File No	6/03/071/0006

Summary Statement of Significance

Established on a land grant in 1817, Woolmers Estate is significant for its history of property development using assigned convict labour. Convict labour was employed in exchange for food and clothing. The assignment system helped to develop the colonial infrastructure, reform convicts, assist settlers in establishing their estates, and in the case of Woolmers, develop the foundations of a successful pastoral property.

The homestead assemblage of Woolmers provides evidence of the use of an assigned convict labour force in the extant convict workplaces such as the woolshed, blacksmith shop, stables, gardens and paddocks. The former chapel was built to assist convicts in their reformation. The layout and architecture of the estate demonstrate the strong distinction between master and servant and how that facilitated the assignment system.

Woolmers retains an outstanding range of extant buildings that comprises houses, formal gardens, outbuildings, workshops, cottages, plants that along with numerous artefacts provide a rare record of the scale and range of operations of a substantial pastoral estate owned by wealthy colonial pastoralists. Associated with the buildings are fittings, furnishings, associated collections of movable cultural heritage and extensive documentary and pictorial evidence, from the early 19th century 'assignment' period to the late 20th century.

Woolmers is uncommon in its survival as a largely intact colonial homestead complex with an unbroken chain of family occupancy, allowing the survival of the range of significant buildings, interior features, and artefacts of every period of its history to the present.

Records associated with Woolmers from surviving musters, farm diaries, correspondence, and conduct reports identify the convict farm workers and enable a greater understanding of an important part of the working population of the property. The integrity of the assemblages and their inter-relationships makes Woolmers a rich source for future study. As no archaeological excavations have yet been undertaken, the place has the potential to yield nationally significant information on aspects of the living and working conditions of convicts during the assignment period.

Official Values

Exhibited

4.3.2026

Criterion A Events, Processes

Woolmers Estate is a pre-eminent example of a property established on an 1817 land grant which exemplifies the use of convict labour in the assignment system to establish a large pastoral estate.

The assignment system was set up to provide convict labour to settlers in exchange for food and clothing, and the government saw the employment of convicts as a cost effective measure to develop colonial infrastructure and assist settlers in establishing rural and commercial enterprises, while at the same time reforming the convict through industry. The large country estate quickly became established as the archetypal symbol of the assignment system. Estate architecture was regarded as vital in achieving the aims of the system.

The development of Woolmers is nationally significant as the homestead group provides important evidence of the use of an assigned convict labour force in the evolution of a pastoral property based on wool production. The place contains convict workplaces such as the blacksmith shop, stables, gardens and paddocks, as well as the woolshed, which is one of the oldest in Australia. It contains the former chapel built for convicts to provide for their reformation. The layout and architecture of the estate makes a strong distinction between master and servant which the colonial authorities believed was an important aspect in the reformation of convicts.

Woolmers is outstanding for the longevity of ownership in one family and the retention of buildings, artefacts, and records which provide an important insight into the evolution of the estate as a pastoral property over the course of the 19th and 20th centuries.

Criterion B Rarity

Woolmers is rare as a surviving 19th century agricultural homestead group developed during the convict era, along lines to facilitate the convict 'assignment' system. Many large farming estates were established during the assignment period in NSW and Tasmania. However, Woolmers is uncommon for the degree of intactness, and range of buildings combined with the continuity of family ownership.

Woolmers remains as an uncommon representative of an early 19th century colonial rural homestead group, comprising complexes with houses, formal gardens and outbuildings which demonstrate a high degree of integrity. The range of buildings still extant at Woolmers is outstanding. These extant outbuildings, workshops, cottages, plant and artefacts are a rare record of the scale and range of operations of a substantial colonial pastoral estate owned by wealthy colonial pastoralists.

Unlike many other colonial houses, Woolmers is also uncommon for the range of related movable cultural objects. It is uncommon in its survival as a largely intact colonial homestead with an unbroken chain of family occupancy, allowing the survival of a range of significant buildings, interior features, and artefacts of every period of its history to the present.

Woolmers is a pre-eminent and rare example of the large rural homestead groups which evolved during the assignment period and which retain a range of buildings which demonstrate the evolution of a highly successful agricultural and pastoral property based on a convict labour force during this period.

Criterion C Research

Woolmers contains an outstanding array of buildings, fittings, furnishings, associated collections of movable cultural heritage and extensive documentary and pictorial evidence, from the early 19th century 'assignment' period to the late 20th century.

Records associated with Woolmers provide the opportunity to reconstruct life during successive periods at Woolmers. Many of the early 19th century farm workers at Woolmers were convicts and they can be identified from surviving musters, farm diaries, correspondence, and conduct records. This enables a reconstitution of a large and important part of the working population of the property. When combined with the high degree of integrity of the remaining built fabric and the large number of in situ artefacts, the integrity of the assemblages and their inter-relationships makes Woolmers a rich source for future study, and presents significant research opportunities.

The place also has a high degree of archaeological potential, as no archaeological excavations have yet been undertaken. This has the potential to yield nationally significant information on aspects of the living and working conditions of convicts during the assignment period.

Description

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Exhibited

The Woolmers estate is located close to Longford in the Northern Midlands of Tasmania. The house, gardens and associated outbuildings are located on a rise overlooking the Macquarie River with extensive views across alluvial plains including Brickendon Estate, Elkstone, Harwick Hill and the Great Western Tiers. The property covers a total of just over 82 hectares, which includes the 15.63 ha (34 acre) portion known as Homestead Area plus an additional 66.41 ha, both portions being part of a 2,905 acre grant to Thomas Archer. Bounded by the Macquarie River to the west, Woolmers Lane to the south and the driveway to Woolmers Cottage to the east, the homestead was formerly defined by hedges to the north. The estate comprises the house and formal garden, a second manor house known as Woolmers Cottage and an extensive collection of outbuildings, avenues of trees and hedges, specimen trees and archaeological remains. The principal components of the Woolmers Estate are listed below. In addition there is an immense collection of movable items or artefacts including furniture, soft furnishings, floor coverings, artwork, books, photograph albums, household items, journals, farm machinery and plant which date from the 1820s and are contained in the buildings and in many cases are integral to the buildings and/or spaces.

Four main precincts have been identified:

Woolmers Main House Precinct

Woolmers Main House (original building): Constructed by convicts in 1819-21 it is a large brick-nog lined building with a hipped roof and flagged verandahs. The rooms have a high degree of integrity with original lathe and plaster ceilings and lining boards and original timber floors. Ceilings throughout the house generally are reinforced with 1890s battens. While all of the collections in the house relate to the Archer family's occupancy of the house from the 1820s on, the fittings and most of the furniture are original. The wallpapers and carpets in the bedrooms, dressing room and sitting room are from the 1930s. Beneath the house are four cellar rooms, three with brick lined wells and one with a large trapdoor in the ceiling providing access into the drawing room. Six attic bedrooms with original timber ceilings and lining boards papered with c1850s wall papers are accessed by narrow staircases at the northern and southern ends. Iron window bars are in situ on some of the attic windows.

Woolmers Main House (extension): Designed by William Archer and built in 1843 in part using convict labour, the extension comprised an Italianate addition with drawing and dining rooms on either side of a large front hall, and Italianate porch below a small tower with a bedroom above. The kitchen and service wing was remodelled at the same time. Elaborate Italianate chimneys replaced earlier stacks, the large sash windows have plate glass while the brick walls are plastered as ashlar with rusticated quoins. It is a very early example of Victorian Italianate marked by a squat tower and a blind window (Apperly, Irving Reynolds 1989:71).

The front hall is a very intact early Victorian room with original oak furniture bearing the Archer crest. The drawing room has a Grecian chimney piece with carytids similar to one at the neighbouring property Panshanger, built by Thomas Archer's brother Joseph. The room survives very much as it was originally furnished; the suite of Brazilian rosewood furniture, the body and border carpet and the gilt cornice poles, the moiré valance and early Victorian crimson tabaret curtains with their bullion fringe are original. The papier mâché in the cornice was purchased in London at Jackson & Son in 1859. Only the wall paper, frieze and picture rail are Edwardian alterations and the lace under curtains are Edwardian replacements (Lucas and Joyce 1994:49).

In the dining room the wall opposite the windows is broken with three blind arches, two with matching mahogany sideboards. The end wall has a black marble Italianate chimney piece with arched recesses on either side housing fitted bookcases. The walls in the dining room, originally painted blue were papered with Victorian baroque flock wall paper which was purchased at Simpson's in London in 1859. Much of the dining room furniture and the china bear the Archer crest. Much of the furniture in the principal rooms was chosen by William Archer: the oak furniture in the hall, handsome rosewood furniture and curtains in the drawing room and mahogany furniture and red flock wall paper in the dining room. The carpet in the dining room is a Victorian replacement and the lathe and plaster ceiling has been battened for safety as well as taste. The plaster work in the house extension has fashionable papier mâché enrichments imported from CF Bielefeld in London (Lucas and Joyce 1994:48).

A service passage behind the dining room connects the extension to the kitchen wing and servants' quarters. A staircase leads to the tower room which abuts the attic bedrooms of the original house. Service rooms built in 1845 at the rear of the extension include a lavatory, potting shed, store room, dairy and still room and connect to the 1820s house forming a courtyard.

Kitchen Wing Building: Built as a small timber L-shaped building the kitchen and servants' quarters were extended in the 1840s to house servants separately rather than in the attics of the main house. The building was a place where assigned female convicts lived and worked. The kitchen was altered in the 1940s for use as a garage and workshop. The building was altered in the 1990s to accommodate a commercial kitchen and café.

Woolmer's Garden: Modelled in the Gardenesque style in the late 1840s the garden is enclosed by a wall and a pair of elaborate dowed gates. Many original features survive including a garden pavilion, largely rebuilt probably in the

1930s (Lucas Stapleton 1996: vol 2, 55), a garden smoking room, a double thunderbox lavatory and a garden privy which are contemporary with the garden wall (1840s). The formal gardens contain rare examples of early technology including watering systems. A cast iron fountain from Colebrookdale purchased in 1864 is centrally positioned within the carriage circle. An iron fence borders the garden to the south and south west.

Other buildings in the precinct are the kitchen wing shed and kitchen wing skillion shed.

Coach House and Orchard Precinct

Stables and Coach House: Built in 1847 and located adjacent to the walled garden the two storeyed symmetrical stables and coach house with rough cast walls are constructed in the vernacular Georgian tradition. The coach house was one of a number of picturesque features designed to ornament the new approaches to the remodelled house. In later years it was used to house motor vehicles and Thomas Cathcart Archer's Wolseley is still kept there. The acetylene gas manufacturing equipment from Crossley Bros of Manchester which produced gas for the main house is stored in the loft. It was previously located in Jacob Mountgarrett's Cottage.

Coachman's Cottage: Built in the late 1840s around the same time as the Coach House the Cottage probably provided accommodation for two families. Alterations completed in the early 1980s by Robert Morris Nunn were awarded a Royal Australian Institute of Architects (Tasmanian Chapter) Merit Award in 1984. The cottage is currently used for accommodation.

Coachman's Cottage Shed: A small weatherboard shed with a skillion roof, not shown in the 1947 aerial photograph of Woolmers. The original use is unclear.

Garage: The weatherboard garage appears to date from the early 20th century. It is visible in a 1921 aerial photograph of the site and was probably built to house the family's collection of cars, a 1953 Dodge is still kept there.

Former Chapel: Built in the 1840s to provide religious instruction to convict workers in accordance with the reformatory philosophy of the time, it is a gabled building with a porch over the southern entrance. The Chapel was almost certainly unused when it was converted to house an apple grader for the orchard in the 1920s. During the conversion the west wall was extended and the roof pitch altered to accommodate the extension which is brick with pebbledash render. Two sets of double doors in the west wall provided access for loading and unloading fruit. An apple grader, manufactured by D Harvey of Box Hill, Victoria is still located in the building.

Jacob Mountgarrett's Cottage: Originally constructed for the colonial surgeon Jacob Mountgarrett prior to 1826 and moved to Woolmers in 1830, the buildings is a simple weatherboard cottage with a brick chimney at one end. An open skillion weatherboard addition was added in the 1920s. Numerous layers of wall paper suggest that it was most likely constructed by convict labour and lived in for a long time. A 19th century saw bench and its mounting survive in the skillion.

Gardener's cottage: Constructed as part of the remodelling of the approach to the property when it was approached via Woolmers Cottage in the late 1840s. The house, designed in the Picturesque Gothic style, is more consciously a cottage orné (Lucas and Joyce 1994:47).

Gardener's Cottage Shed: A small weatherboard shed probably built c1900.

Orchard Privy: A small weatherboard privy at the west end of the site of the former orchard, probably built for the use of orchard workers. The original thunderbox is in situ.

Ruins: West of Gardener's Cottage, now situated in the National Rose Garden, may be the remains of the glasshouse.

Site of Manager's House: A weatherboard house constructed in the 1850s in the south east corner of the orchard following the death of Thomas Archer. The house was relocated to Union Street, Longford, around 1900. The site of the Manager's House, its construction and removal, shows evidence of the changes in management at Woolmers Estate over time.

Site of early Drive: Following the construction of Woolmers Cottage and the aggrandisement of the main house, the house was approached along a drive which left Woolmers Lane opposite Panshanger Road leading directly to Woolmers Cottage and then turned to the main house. This formal entry to the main house was later replaced by the current drive through the outbuildings.

Site of Orchards: Orchardng appears to have commenced by 1832 at Woolmers and it was still in production in 1865. Three extensive orchards were planted in the early 20th century. By 1947 the largest orchard had been removed. In 1992 the National Rose Gardens was established which extends over part of the former orchards. The Gardens do not form part of this assessment.

Outbuildings Precinct

Farm Stables: Built in the 1840s, a long gabled building of rendered masonry with central pilasters, it was constructed to house the estate's working livestock and farm equipment. The building is a vernacular version of the more elaborate coach house and still contains some of its original stall partitions and mangers. On the west side an open skillion houses an assortment of surviving farm machinery.

Woolshed: Constructed in the 1820s the Georgian vernacular woolshed is one of the earliest buildings in the complex and probably the oldest in Australia (Lucas and Joyce 1994:47). It was a place both built by and worked by assigned convicts. Constructed from split weatherboards of local hardwood on a rubble foundation the shed contains an early timber framed manual wool press which may well have been constructed on the estate as the iron work is hand forged.

Other machinery includes a Cooper shearing machine. Graffiti on the main beam is inscribed with 'England Expects Every Man Will Do his duty Admiral Nelson Duke of Bronte Trafalgar 1805'.

Cider Press: In the 1840s the orchards were sufficiently developed to warrant the construction of a cider press. The weatherboard building was built abutting the woolshed, originally with a shingled roof, now corrugated iron, to house a timber and stone cider apple mill which still is in situ. The cider pulp press is typical of the English eastern counties where, because a variety of fruits were pressed, a box was used in place of a press bed (Morris-Nunn 1986:21). The press was operated by a pole or lever.

Blacksmith's Shop: Probably built in 1822, most likely by convict workers, it is a rendered masonry one room building with a slate roof for fire protection, a central chimney breast, hearth and timber work bench. Some remnant blacksmithing equipment still survives. The Blacksmith's Shop provides evidence of the early development of Woolmers estate.

Workers' Cottages: Five two roomed semi-detached workers' cottages built in the 1840s remain of the six originally constructed. It was likely that these cottages accommodated free settler workers. They are all two-roomed cottages, one room upstairs and one on the ground floor with a fireplace in the main room. Built in pairs, they are simple gabled structures with corrugated iron roofs (probably originally shingled) and elaborate chimneys. The cottages are currently used for accommodation.

Bakehouse Cottages: Two of an original three cottages survive which were built in the 1840s. The third cottage was demolished in the 1920s. At the rear of the smaller building is the estate bread oven. The two simple vernacular cottages, similar in style and construction to most of the other outbuildings. Probably they were used to accommodate the bakers although the surviving one contains three fire places suggesting that it was also used as a baking or possibly a cookhouse. The design and siting indicates the importance and role of the bakehouse in the infrastructure of the estate. The cottage is currently used for accommodation.

Store: This two storey building with its integrated water tower completed by the time the land commissioners visited Woolmers in 1826 was built by convicts and was also a likely convict workplace. A pebble dash masonry building with a hipped roof topped by a decorative Italianate water tower and decorative recessed arches to the ground floor window and the water tower. The original lead-lined water tank and reticulation system is a rare surviving example of an early system of water supply and storage. The store's location close to the house shows its importance for easy access of goods, and for control and security.

Pump House: An early intact horse driven water pump probably built around 1840 as it is shown in an 1840's sketch by Mrs Nixon. As the building can be seen from the Longford approach road it was constructed as an octagonal building in the picturesque gothic style. The pump machinery was manufactured by Braithwaite, Milner & Co., London. Like many of the buildings at Woolmers, the Pump House was probably constructed by the estate's convict mechanics and stands testimony to their skills. It is a rare surviving example of a horse driven water pump remaining in situ.

Timber Windmill: Built between 1890-1921 the windmill replaced the horse driven pump in the Pump House. It was built in the American style with sails constructed from narrow boards radially arranged. The direct acting pump machinery survives. The windmill has been recently restored. It provides evidence of the elaborate and evolving system of water management.

Metal Windmill: The third in the series of constructions, it was used to supply water to the estate. The direct acting pump machinery survives but it has lost some of its sails.

Modern Pump House: The machinery is part of the sequence of water supply systems for the estate. It replaced the metal windmill and is still in use.

Sites including the sheep dip: The site of the sheep dip is located between the farm stables and the woolshed. Other sites include remnant footings east of the farm stables, and north of the blacksmith's shop. The sites of other buildings including the male convict barracks may exist.

Site of Puntman's Cottage: The construction date is not known but it is shown in an 1840's sketch of the property by Mrs Nixon. The sketch shows a picturesque gothic building similar in character and scale to the gardener's cottage. Some stone footings remain.

Woolmers Cottage Precinct

Woolmers Cottage: Built in 1839. A good example of a Regency villa built using assigned convict labour overlooking the river and the neighbouring Archer estate at Brickendon, underscoring the close relationship that existed between the operation of the two estates which regularly shared farm equipment and labour. Four underfloor cellar rooms, with trapdoor access to the drawing room and containing three brick lined wells, and attic bedrooms are in the main house while small attic bedrooms for the domestic servants in the kitchen wing are accessed by a steep staircase from the kitchen. The cottage also contains an early water pump linked to an underground cistern to hold roof water.

Woolmers Cottage Garden: There is evidence of an earlier planned garden, including the oval carriage way and brick borders of the garden beds. Mature pines form a windbreak from the north.

Woolmers house, gardens, cottage and associated outbuildings are remarkably intact. The integrity of the physical fabric is one of its outstanding features. While some structures, notably the chapel, have been converted to other uses, and parts of the original service wing were replaced in the 1840s, few original features have been lost. Some buildings which are documented have been demolished or removed. Demolitions include the male convict quarters, the

carpenter's shop, possibly a wheelwright/cooper's shop, (Morris-Nunn 1986:4), a Dutch barn and granary, the puntman's cottage and the third bakehouse cottage. The manager's cottage was relocated to Longford. Some surviving individual features are rare: the woolshed, cider press, store, the range of water pumps, smoking room and the chapel (now an apple sorting shed).

Woolmers also contains a large number of its original fittings, furniture, paintings, dinner services, glassware, cutlery, toys, motor vehicles, farm equipment and related movable cultural objects. Considerable archival correspondence relating to the property, the family and estate workers, much of it in the Archives Office of Tasmania, also survives. The property is actively managed and maintained by the Woolmers Foundation.

History

Exhibited

The penal colony of Van Diemen's Land was established in 1803 with a small population of convicts, soldiers and some free settlers. From 1788-1830s free grants of land were distributed to settlers in the colony. A small but wealthy farming and trading community emerged (Petrow 2000:4). However, unlike NSW very few ex-convicts, known as emancipists, prospered and became prominent in public life (Petrow 2000:5). Through grants and purchases of land free settlers in Tasmania owned 'a very large proportion of all the property' and became very influential. The wealthier settlers in the north 'could build pastoral empires at the expense of their struggling neighbours' (Morgan 1992:34).

Brickendon and Woolmers Estates are located in the Norfolk Plains, a district that was well watered by the Macquarie and South Esk rivers. The agricultural and pastoral potential of the area meant that it was quickly exploited. Many early land grants were made in the area, the most significant being that awarded to Thomas Archer. Having arrived in Australia in 1811 aged 21 to take up a posting with Commissariat Department in Sydney, Thomas Archer was later transferred to Port Dalrymple in northern Tasmania where he was granted Woolmers in 1817. His brother William arrived in the colony in 1823 and settled on adjoining land, Brickendon which remains in Archer family ownership. In Tasmania the government purchased through the Commissariat Store items such as meat and wheat at fixed prices to provide food to newly arrived settlers and convicts. The Commissariat settled all business in cash or treasury bills and represented a secure market. Many who established themselves as a colonial elite in the pre-1820 era were either closely associated with the operation of the store, or were amongst its major suppliers. As the principal engine of the economy, sales to the Commissariat Store laid 'the foundation of many a Van Diemen's Land fortune' (Robson 2005:13).

In the 1820s, at a time when the Bigge Report was encouraging pastoralism as an economic base for the colony, the British woollen industry was expanding. Its promotion of colonial wool stimulated the industry in Australia. By 1817 there were more sheep in Tasmania than NSW, and from the 1820s the Tasmanian Midlands became a major merino breeding centre. By 1821 Van Diemen's Land was depasturing more sheep than NSW and had taken the lead in improving the quality of merino wool' (Pearson and Lennon, 2006:12).

Having arrived at an early date in 1817, Thomas Archer was able to quickly establish himself as the most significant settler in the district. By 1825 he had been granted a total of 5,545 acres and had purchased a further 2,142. In later years he acquired substantial other landholdings, notably the neighbouring properties of Fairfield and Cheshunt. He also extended the area covered by Woolmers estate which in 1855 consisted of a total of 12,271 acres. The estate remained one of the largest privately owned properties in the colony.

The construction of Woolmers house probably commenced in 1819. It appears to have been largely complete by the time Governor Macquarie stayed there in 1821 and is still largely extant. Woolmers was a significant early pastoral property. The Land Commissioners in 1826 described everything as being '*on a most extensive scale. Carpenters, Sawyers, Bricklayers, Blacksmiths and a long list of Labourers' not to mention the 'Hundred working Oxen'. He also owned a 'numerous herd of cattle of the English breed,.....and I have as well a valuable stud of Horses and brood Mares, most of which have been imported at considerable expense from New South Wales'* (Morris-Nunn 1986:2). The house was significantly extended in 1845 with the addition of a new Italianate wing transforming the building into one of the finest, colonial estate houses in Tasmania. The 1840s modifications were designed by William Archer, the third son of Thomas Archer and the first architect born in Tasmania. Significantly, much of the earlier house was incorporated into the extended building rather than being destroyed. The house is unusual in that it provides outstanding evidence of the architectural evolution of a gentleman's rural residence over time. The redevelopment of the property in the mid-1840s placed Woolmers in the first rank of colonial estates.

Thomas Archer was amongst the first settlers in Van Diemen's Land to 'improve' his livestock in order to take advantage of the new opportunities in the fine wool export trade. Some of the stud merinos he acquired came from McArthur's flocks in New South Wales and others were imported from England. The Archer family were very successful with several properties established around Longford. Joseph Archer imported a flock of English merinos in 1821, William Archer imported 30 Merino ewes and 2 rams from England in 1824 for Brickendon forming the basis for the very successful stud he established, and on the adjacent Woolmers 50 Spanish Merinos from Ireland arrived in 1822-23 (Pearson and Lennon, 2006:12; Morgan 1992:61). In 1825 Thomas Archer had assessed that there were 'upwards of Six Thousand Sheep most of which have been very highly improved by an Importation of Pure Merinos from England, about five years ago'. By 1836 he was described as having 25,000 sheep and 'sending seventeen wagons of pressed wool to London every year at a value of £6,000' (Morris-Nunn 1986:15). The earliest documented woolsheds in Australia are probably those of Woolmers (1820s), Panshanger (1821) and Brickendon (1820s). Brickendon and Woolmers also retain wool washing sites.

The assignment system was set up to provide convict labour to settlers in exchange for food and clothing. The first convicts were assigned as farm servants and for personal service to officer-farmers who had been authorised to receive land grants in 1793 (Shaw 1971:67). Reports of the Bigge Commission, established in 1819 to enquire into conditions in the colony, recommended tightening the assignment system and encouraging pastoralism by allocating large land

grants to free immigrants with substantial capital. Assignments of convicts to private masters was very much the favoured method of dealing with convicts. The government saw reformative employment as a cost effective measure to develop colonial infrastructure and assist settlers in establishing rural and commercial enterprises. 'In its ideal form, assignment was beneficial to all three parties: the government transferred the upkeep of the convict, the master gained cheap labour, and the convict gained reformation through industrious labour' (Tuffin in Alexander 2005:30). There were still over 23,000 assigned convicts in 1837 (Kercher 2003) and the system continued in NSW and Tasmania until the cessation of transportation to NSW in 1840 (Shaw 1971:272, Kercher 2003).

Sir George Arthur (1784-1854), the lieutenant-governor of Van Diemen's Land from 1824-1836, developed and administered the assignment system in Tasmania and rigorously insisted on the mutual good behaviour of both master and servant. He 'recognised that the settler formed a very important 'cog' in a greater machine. In keeping with this, he governed the settler-master almost as stringently as he governed the convict' (Tuffin in Alexander 2005:30). Colonists were expected to make transportation a feared punishment' (Petrow 2005:4). Convict labour which was in high demand due to the shortage of free labourers and skilled artisans, could be withdrawn by Arthur for a range of offences. Servants were liable to summary punishment for misconduct, but they might be withdrawn if their masters broke any of the many other regulations.

The assignment system included incentives for convicts to reform. Convicts were entitled to tickets-of-leave if well behaved. This 'indulgence' allowed them to earn wages and live independently while they served out the remainder of their sentence. However as convicts they continued to be monitored and a ticket of leave could be withdrawn for bad behaviour. Conditional pardons (convicts had to remain in the colony) were given as inducements for special services, such as the capture of bushrangers or absconders or faithful service as police. Arthur personally scrutinised the records before granting these incentives. His administration of convicts increased the governor's patronage and aroused the bitter hostility of those whose servants were withdrawn (Shaw 1966). While Arthur set up an Assignment Board in 1832 he supervised it closely. He consistently insisted that under his regime transportation was a very severe punishment. Assigned convicts, he said, were slaves, except that their slavery was terminable. They were always subject to their masters' caprices and vaguely defined offences were liable to severe punishment (Shaw 1966).

Working on a large farming property became the most common assignment for convicts. In Tasmania, an average of 54 percent of male convicts were assigned to settlers during the period 1820-1835 (Maxwell-Stewart 2006a:3). The need to provide rations and shelter for convicts favoured larger enterprises, as small farmers were less able to support convicts on a consistent basis and would return them to the colonial authorities for reassignment.

Large farming enterprises were labour intensive. Their development was dependent on the availability of cheap labour. Since convicts and ex-convicts constituted 80 to 90 percent of the potential male labour force in the colonies between 1820-1835 (Butlin 1985:19), convicts were instrumental in the expansion of farming in the colonies. The large country estate quickly became established as the archetypal symbol of the assignment system. As estates were generally managed along paternalistic lines it was thought that masters could instil convicts with habits of industry.

Estate architecture was regarded as vital in achieving these aims. Separate quarters for female assigned servants within the house, clearly defined service areas, service staircases, separate quarters for an overseer and detached barrack-like accommodation for male servants were all considered to be features of the well-ordered estate. Skilled workers, such as gardeners, coachmen and artisans were provided with their own cottage style accommodation whereas other agricultural workers were housed separately in simpler quarters. Ideally the estate complex should also include a chapel where the convict population could be mustered each Sunday (Maxwell-Stewart 2006a:7). The Brickendon and Woolmers Estates exemplify these features and are outstanding examples of assignment era properties. As one of the larger estates, many convicts worked at Brickendon and Woolmers in the period from the early 1820s to the 1850s.

In practice, the Archer families shared labour between the neighbouring properties, Woolmers and Brickendon. This was especially the case during harvest seasons when assigned servants were rotated between the two properties. With a combined convict population of over 100, Brickendon and Woolmers formed the second largest pool of convict labour in private hands in the colony, after the Van Diemen's Land Company. The surviving musters show that between 1830 and 1835 from 41 to 51 male convicts were assigned to Woolmers annually and between 34 to 43 to Brickendon (Archives Office of Tasmania, AJCP, HO/10/47, 48, 49 and 50) William Archer's diary records on 16 October 1847 there were on the entire property 86 men, 15 women and 9 children. A total of 110 people including family members, although some may have been seasonal workers who had already arrived for the shearing (Lucas Stapleton 1996, vol 3:13)..

Properties such as Brickendon and Woolmers are historically significant as they represent the typical convict experience. Unlike road parties, and other punishment regimes, assigned convicts were largely managed by the use of incentives, as opposed to punishment. The estates were places where a premium was placed on particular skills, especially those possessed by convict mechanics (blacksmiths, carpenters, tanners, bricklayers etc) and skilled agricultural hands (ploughman, shepherds, dairymaids etc), and many of these skills are exemplified in the surviving

architecture and layout of the estate. They were also places where male and female convicts worked alongside each other unlike the public sector where, housed in barracks or female factories, they were generally kept apart. As well as being sites of work, they were also sites of leisure and recreation. They were places where many sections of colonial society interacted, a process which estate architecture was deliberately designed to control. Thus, following British practice, the front of the house was the place where the family resided and visitors of status were received, while the back was the area connected with work and service. All of these features are remarkably well preserved at Brickendon and Woolmers.

While the assignment system created opportunities for many convicts to start a new life, opposition to the transportation of convicts grew steadily, culminating in the 1838 Molesworth report. The assignment system was considered inconsistent, a lottery dependent too often on the character of the masters, rather than the nature of the crimes. It was also criticised for the perceived contradiction at the heart of the system – that assignment to a well disposed master meant that transportation could often be a reward for evil-doing (Robson 1983:155).

Withdrawal of the assignment process commenced in Tasmania in 1839, to be replaced with the probation system which sought to punish systematically. In 1840 and 1841 there was a labour shortage as no convicts were assigned to private settlers. Due to the cessation of transportation in NSW the convict numbers increased dramatically from 1841 increasing the convict population by over 40% in four years (Shaw 1971:300). The probation system added to the convicts' misery as the severe depression from 1842 meant that convict pass-holders could not find work. From the settlers' perspective the numbers of convicts increased with no off-setting economic contribution, and they deeply resented the additional imposts levied on them to pay for more police and goals which they considered the responsibility of the British government. Meanwhile revenues fell significantly from falling land sales and a drop in exports (Townsend 1991:61). The failure of the probation system turned the majority of colonists into implacable opponents of transportation itself (Sprod 2005:290). Thomas Archer at Woolmers strongly supported the abolition of transportation (Stilwell 1966:26). Both Thomas Archer and William Archer of Brickendon with other family members signed a petition, published in 1850, for the immediate abolition of transportation (Chick 1991:11).

Following the death of Thomas Archer in 1850 the trustees decided in 1855 to lease the 11,000 acre property. However, no lease was eventually entered into and a manager was appointed. Descendants of the Archer family intermittently lived in the main house at Woolmers and during the second half of the 19th century frequently leased the house and farming estate, often to family or relatives. The land continued to be leased as sheep runs. In 1912 a total of 6,147 acres of the Woolmers estate was purchased by the Government for closer settlement. Most of the remaining area was either leased or turned over to orchards. Following the end of the Second World War a further 5,856 acres was compulsorily purchased by the Government in 1947 under the Closer Settlement Scheme. Only the homestead area of 15.63 ha (just over 34 acres) remained in the possession of Thomas Edward Cathcart Archer. In 1974 the property was inherited by Thomas William Archer who never married and died without issue in 1994. Since then Woolmers Homestead has been owned and managed by the Woolmers Foundation which operates as a tourism attraction.

The property is an example of an intact convict era estate in Australia and contains some exceptionally early and significant buildings including an early woolshed. It provides outstanding evidence of the way in which architecture and estate design was used to reinforce class and gender divisions during the convict assignment period. Until the death of Thomas William Archer in 1994, Woolmers had remained in the hands of one family. As a result it has retained many of its original interior fittings, furniture and other artefacts. Although almost all the agricultural land and pastoral runs associated with the property have been sold, the house and its estate buildings form a cultural landscape which are remarkably intact.

Condition and Integrity

Woolmers house, gardens, villa and associated outbuildings are in remarkably good state of preservation. The integrity of the property is one of its outstanding features. While some structures, notably the chapel, have been converted to other uses, few original architectural features have been lost. Exceptions include the male convict quarters and parts of the original service wing replaced in the 1840s. Unlike many other colonial houses, Woolmers also contains a large number of its original fittings, furniture, paintings, dinner services, glassware, cutlery, toys, motor vehicles, farm equipment etc. Considerable archival correspondence relating to the property, the family and estate workers, much of it in the Archives Office of Tasmania, also survives. The property is actively managed and maintained by the Woolmers Foundation.

Location

About 82ha, 2km south east of Longford, Woolmers Lane, comprising the whole of Lots 1 and 3 Title Reference 135619.

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Report Produced Thu Jun 5 18:56:44 2025

Exhibited

Planning Response

Woolmers Cottage: Internal works

Re: PLN-25-0216 RFI 19/11/2025

Response to Clause 21.3.1 P1

Use: Visitor Accommodation (Change of use)

Clause 21.3.1 P1 of the Tasmanian Planning Scheme requires that a discretionary use in the Agricultural Zone must be consistent with the values of the land, having regard to:

- (a) the significance of the ecological, scientific, cultural or scenic values;
- (b) the protection, conservation, and management of the values;
- (c) the specific requirements of the use to operate;
- (d) the location, intensity and scale of the use;
- (e) the characteristics and type of the use;
- (f) traffic and parking generation;
- (g) any emissions and waste produced by the use;
- (h) the measures to minimise or mitigate impacts;
- (i) the storage and handling of goods, materials and waste; and
- (j) the proximity of any sensitive uses.

1. The Use is Inherently Site-Specific

Woolmers Estate is an established heritage tourism and agricultural property operating as a single integrated landholding. The proposed visitor accommodation is ancillary to, and operates in conjunction with, the primary agricultural and heritage tourism use of the land, rather than constituting a standalone or competing land use.

The proposed accommodation:

- Is dependent upon its association with the heritage estate;
- Operates within an established visitor precinct;
- Relies upon shared estate infrastructure and management;
- Derives its commercial and interpretive value from its location within Woolmers.

Exhibited

The use cannot reasonably be relocated elsewhere within the Agricultural Zone without losing its essential relationship to the heritage agricultural property. It is therefore intrinsically site-specific and satisfies the requirement that the use be located on the site, having regard to Clause 21.3.1 P1(c) and P1(e).

2. Diversification and Value-Adding to the Agricultural Estate

Woolmers Estate is historically and physically an agricultural landholding. Its ongoing conservation and management depend upon sustainable diversified revenue streams, consistent with Clause 21.3.1 P1(e).

The proposal:

- Activates a currently vacant building within the estate;
- Expands the existing heritage tourism operation;
- Generates revenue to support the maintenance of agricultural land, cultural landscape and built heritage;
- Strengthens the long-term economic viability of the rural holding.

The proposed use therefore constitutes diversification and value-adding to the agricultural use on the site in accordance with P1(e). It supports the sustainability of the rural estate rather than introducing unrelated rural residential development.

Existing Agricultural Use of the Landholding

Woolmers Estate comprises an active agricultural landholding of approximately 32 hectares surrounding the core heritage precincts.

The land is subject to ongoing agricultural use, including:

- Grazing of livestock; and
- Periodic cropping, including potato production.

These activities are facilitated through formal lease arrangements, which have historically been renewed on an ongoing basis, demonstrating continuity of agricultural use of the land.

The agricultural use forms an integral component of the cultural landscape of Woolmers Estate, reflecting its historic function as a working rural property and contributing to its World Heritage values.

Relationship of Visitor Accommodation to Agricultural Use

The proposed visitor accommodation directly supports and adds value to the agricultural use of the landholding by:

- Providing an additional revenue stream that contributes to the ongoing management and maintenance of the agricultural land;

Exhibited

- Supporting the retention of the land as a single rural holding, avoiding pressure for subdivision or fragmentation;
- Enhancing visitor engagement with the agricultural landscape, including its historic and contemporary uses;
- Facilitating improved land stewardship outcomes, including opportunities for regenerative land management, native grassland conservation, and coordinated management with neighbouring agricultural properties.

The accommodation is therefore not a standalone tourism use, but forms part of an integrated rural land management model where agricultural, heritage, and visitor uses operate collectively to sustain the estate in accordance with Clause 21.3.1 P1(e) and without conflict with P1(h).

Agricultural Landscape as Heritage Value

The agricultural use of the land is not only an economic activity but also a defining element of the significance of Woolmers Estate. The retention of open paddocks, grazing regimes, and cropping patterns contributes to the legibility of the historic rural landscape.

The proposed accommodation supports the continued viability of this landscape by contributing to the financial sustainability required to maintain both the agricultural and heritage values of the property.

No Loss or Constraint on Agricultural Use

The proposed use does not displace, reduce, or constrain the existing agricultural use of the land.

The accommodation is contained wholly within an existing building located inside the established visitor precinct and does not occupy productive agricultural land. The proposal relates to an existing former dwelling and does not involve new built form or expansion of the development footprint. The change to visitor accommodation represents a change in use only and does not intensify or extend development into agricultural land.

The use does not introduce reverse sensitivity impacts (such as noise, spray drift, or operational conflict), nor does it require buffers or operational changes to the agricultural activities occurring on the balance of the landholding. Accordingly, the proposal maintains full agricultural capability of the site and satisfies Clause 21.3.1 P1(e) and P1(h).

3. Support within the Conservation Management Framework

The use of Woolmers Cottage for compatible adaptive reuse is supported within the adopted Conservation Management Plan for the Estate.

The CMP recognises that:

Exhibited

- Ongoing active use is essential to the conservation of heritage fabric;
- Adaptive reuse of contributory buildings is appropriate where it supports the financial sustainability of the estate;
- Tourism-related accommodation is consistent with the historic and contemporary function of the property.
- The proposed short-stay accommodation aligns with the CMP's conservation policies and ensures continued occupation and maintenance of the building. The use is therefore appropriate from a heritage perspective and reinforces the strategic intent of maintaining Woolmers as a viable rural heritage property.

The CMP support further strengthens the conclusion that the use is not incidental, but integral to the estate's long-term management. The use is therefore appropriate from a heritage perspective and consistent with Clause 21.3.1 P1(a) and P1(b).

4. Containment and Minimisation of Impacts

The cottage is located within the established visitor area of the estate:

- It is separated from productive agricultural land by existing fencing and estate infrastructure;
- It is adjacent to the existing visitor car park;
- Access is via established internal roads;
- No new access points or agricultural land disturbance are required.
- No bulk storage or handling of goods, materials or waste beyond typical residential levels is proposed, consistent with Clause 21.3.1 P1(i)

Traffic generation will be minimal and dispersed. Noise and operational activity are residential in character and contained within an existing developed precinct.

The proposal does not fragment rural land nor compromise agricultural productivity. The proposal therefore satisfies Clause 21.3.1 P1(d), P1(f), P1(g) and P1(h).

Proximity to Sensitive Uses

The proposed accommodation is located within an established visitor precinct and is not in proximity to sensitive uses that would be adversely affected by its operation. The use is residential in nature and consistent with the existing pattern of occupation within the estate. Accordingly, the proposal satisfies Clause 21.3.1 P1(j).

5. Reliance on Existing Infrastructure

The proposed accommodation relies upon infrastructure already established for the heritage tourism operation, including:

- Internal estate access roads;
- Visitor parking;
- Existing servicing and management systems.

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- The use does not require expansion of rural infrastructure and does not create pressure for subdivision or rural intensification

The use is consistent with Clause 21.3.1 P1(b) and P1(d).

Conclusion

The proposed Visitor Accommodation use is required to locate on the site due to:

- Its intrinsic association with the Woolmers Estate heritage tourism operation;
- Its role in diversifying and value-adding to the agricultural landholding under P1(e);
- Its reliance on established site infrastructure under P1(b);
- Its support within the Conservation Management Plan as an appropriate adaptive reuse;
- Its containment within an existing developed precinct without impact on agricultural land.

The proposal not only avoids adverse impact on agricultural use, but actively supports its continuation and long-term viability.

The proposal satisfies Clause 21.3.1 P1, including in particular P1(a), P1(b), P1(d), P1(e) and P1(h), and demonstrates that the use is consistent with the values of the Agricultural Zone.

Received

4.3.2026

Exhibited

PLANNING DOCUMENTATION (REV A)
FOR

WOOLMERS COTTAGE

Alterations and change of use.

LOT 3 / VOL 135619

PID 2037771

WIND SPEED: **N3**

SOIL CLASSIFICATION: -

CLIMATE ZONE: **7**

BAL: -

COUNCIL: **NORTHERN MIDLANDS COUNCIL**

ZONE: **21. AGRICULTURE**

OVERLAY: **TASMANIAN HERITAGE REGISTER #5077**

BUSHFIRE PRONE AREA

LOCAL HISTORIC HERITAGE CODE

SAFEGUARDING AIRPORTS CODE

ARCHITECTURAL

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100 SITE CONTEXT

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105 EXTERNAL PHOTOGRAPHS

106 INTERNAL PHOTOGRAPHS

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200 FLOOR PLAN GROUND PROPOSED

201 DETAIL PLAN CARETAKERS FLAT

202 DETAIL PLAN SIDE LOBBY

203 DETAIL PLAN SIDE LOBBY

204 DETAIL PLAN BACK ENTRY

205 DETAIL PLAN 'BATH' ROOM

206 DETAIL PLAN SIDE RAMPS

207 DETAIL PLAN SKYLIGHT

DRAWINGS TO BE READ IN CONJUNCTION WITH:

HERITAGE IMPACT STATEMENT

NEXT 50 ARCHITECTS

18/02/2026

PROJECT
WOOLMERS COTTAGE
WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
country of the Panninher people of the Northern Midlands nation, Lutruwita

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CONTENTS

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POINT RD
LOT 2 / VOL 135619

'WOOLMERS COTTAGES'
LOT 3 / VOL 135619
PID 2037771

POINT RD
LOT 1 / VOL 115733

'WOOLMERS'
LOT 1 / VOL 135619
PID 2037800

'WOOLMERS COTTAGE'
PROPOSED CHANGE OF USE
AND ALTERATIONS

ENTENT OF WOOLMERS ESTATE,
THR #5077 OVER TWO TITLES:
LOT 1 / VOL 135610 'Woolmers'
LOT 3 / VOL 135619 'Woolmers Cottages'

NO CHANGE TO
EXISTING ENTRY CROSSOVER

'Woolmers Cottages' Buildings

1. Woolmers Cottage
2. Gardeners Cottage (Current use: Short stay accomodation)
3. Visitor Centre
4. Wool Shed
5. Blacksmith Shop
6. Machinery Shed
7. Freesettlers Cottage (Current use: Short stay accomodation)
8. Freesettlers Cottage (Current use: Short stay accomodation)
9. Cottage (Current use: Wood storage)

1 SITE CONTEXT
100 1:5000

PROJECT
WOOLMERS COTTAGE
WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
country of the Panninher people of the Northern Midlands nation, Lutruwita

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SITE CONTEXT

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'WOOLMERS COTTAGES'
 LOT 3 / VOL 135619
 PID 2037771

REPLACE 1x EXISTING
 GLASS SHEET WITH
 NEW OPERABLE
 SKYLIGHT FOR VENTILATION

3. SECONDARY
 ENTRY

2. MAIN
 ENTRANCE

5. VERANDAH
 RAMP

4. KITCHEN
 RAMP

1. GATE

3. SECONDARY ENTRANCE.
 REDEFINE EXISTING DRIVEWAY PAD
 WITH NEW GRAVEL MIX TO MATCH EXISTING.
 CAREFULLY HAND WEED AROUND
 EXISTING BRICK EDGING.

REMOVE MODERN 2000's WASHING MACHINE
 POST.

2. MAIN ENTRANCE
 PROPOSED 3x PARKING SPACES
 TO BE DELINEATED BY
 FLUSH-MOUNTED PAVEMENT STUDS SET INTO
 COMPACTED GRAVEL SURFACE. STUDS TO DEFINE
 FRONT AND REAR CORNERS OF EACH BAY IN LIEU OF
 PAINTED LINE MARKING, CONSISTENT WITH
 RURAL HERITAGE CHARACTER.

MOVE EXISTING 'WOOLMERS COTTAGE'
 SIGN NEXT TO PARKING AREA.

NEW RAMP TO EXISTING COMMERCIAL
 KITCHEN, NEW RAMP TO EXISTING VERANDAH

PREVIOUS TENNIS COURT. REMOVE GRASS
 AND SOIL BUILD UP FROM EXISTING SURFACE
 TO ALLOW FOR FUTURE INTERPRETATION.

1. GATE.
 GUESTS TO ACCESS WOOLMERS
 COTTAGE VIA SECURITY BOOM GATE
 IN SAME MANNER AS CURRENT GUESTS.

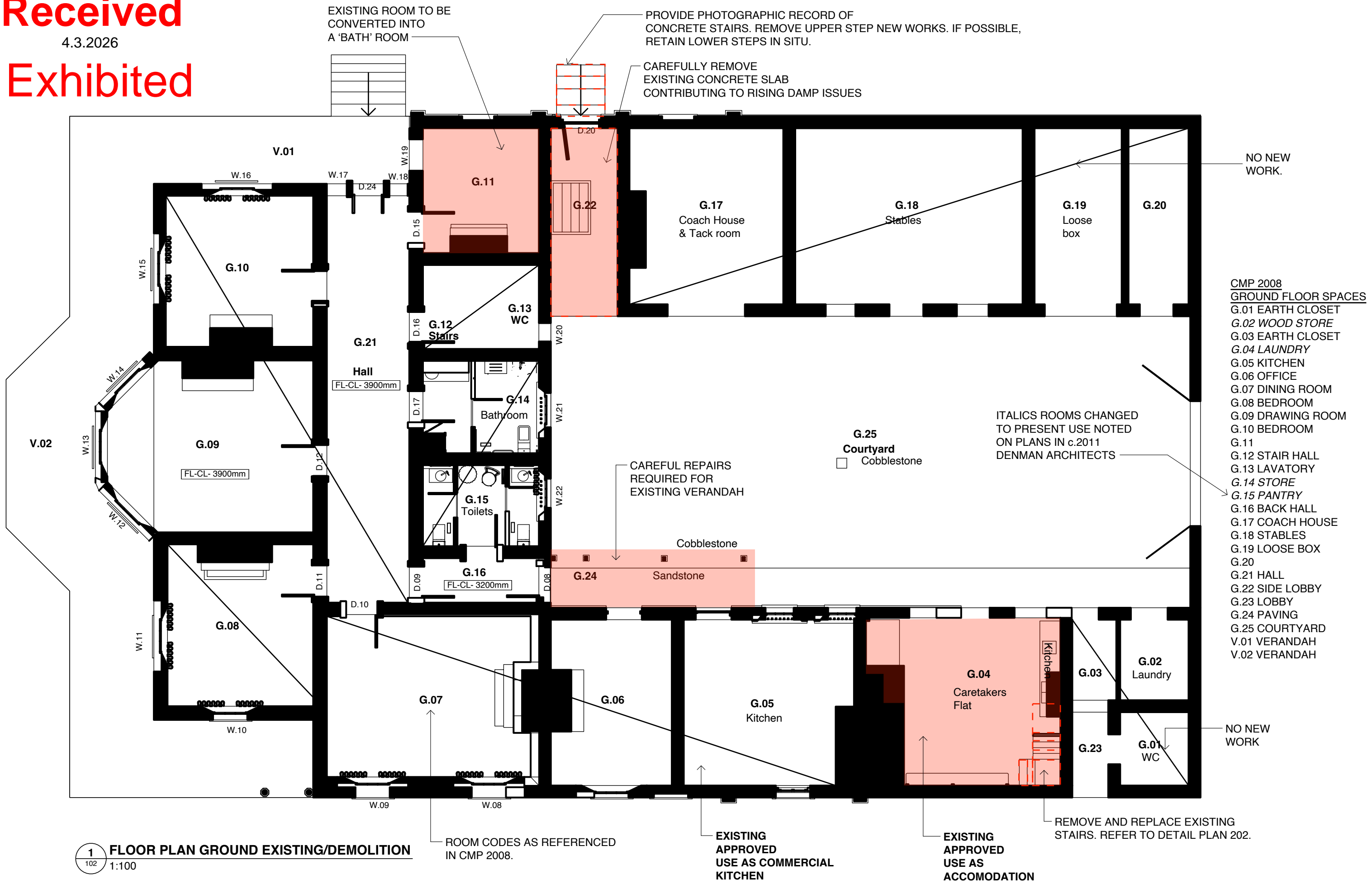
EXISTING CAR PARK

PHOTOGRAPH BY DARREN WATSON, SOUTHERN ARCHAEOLOGY 30-09-2022

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4.3.2026

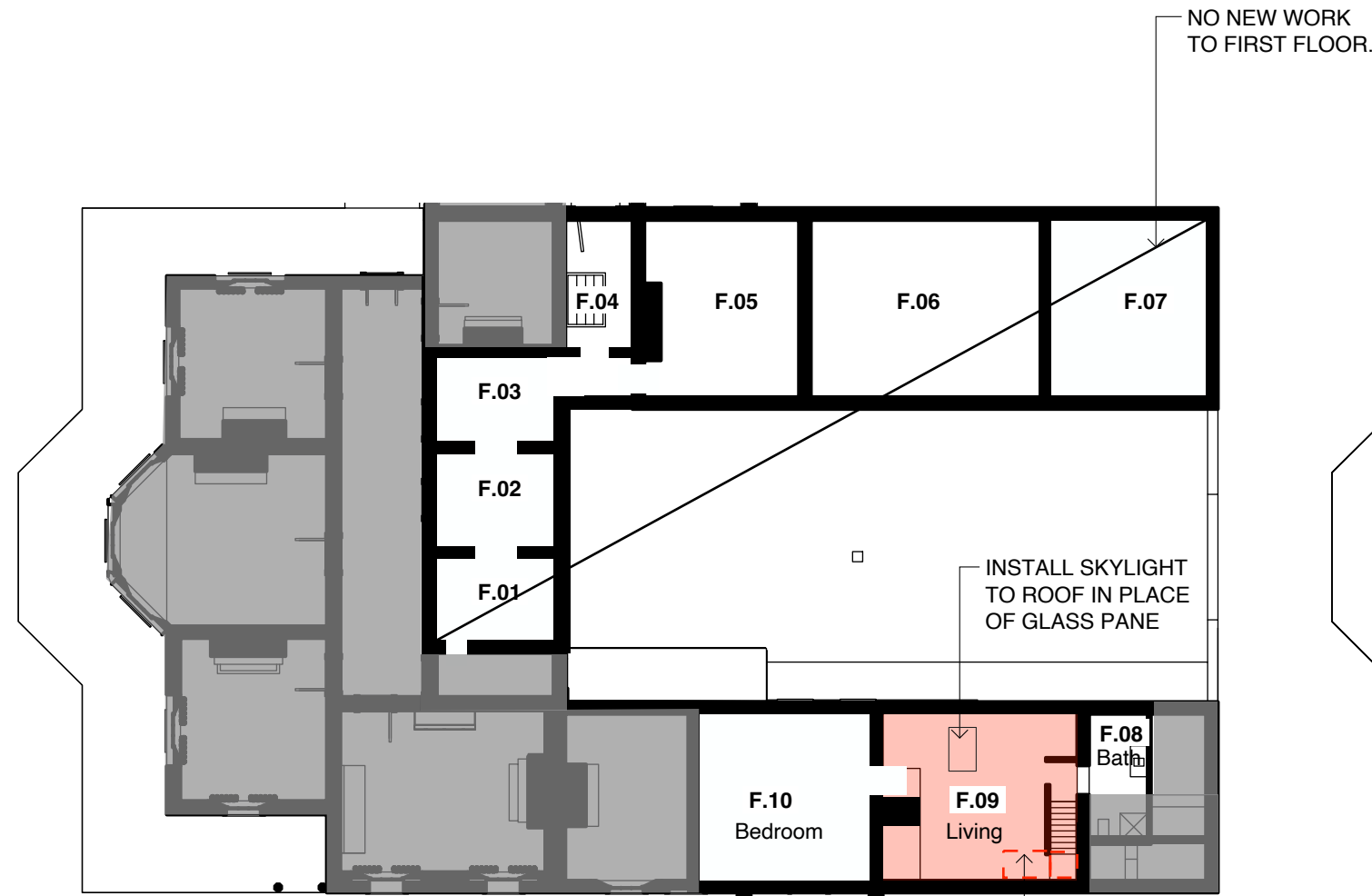
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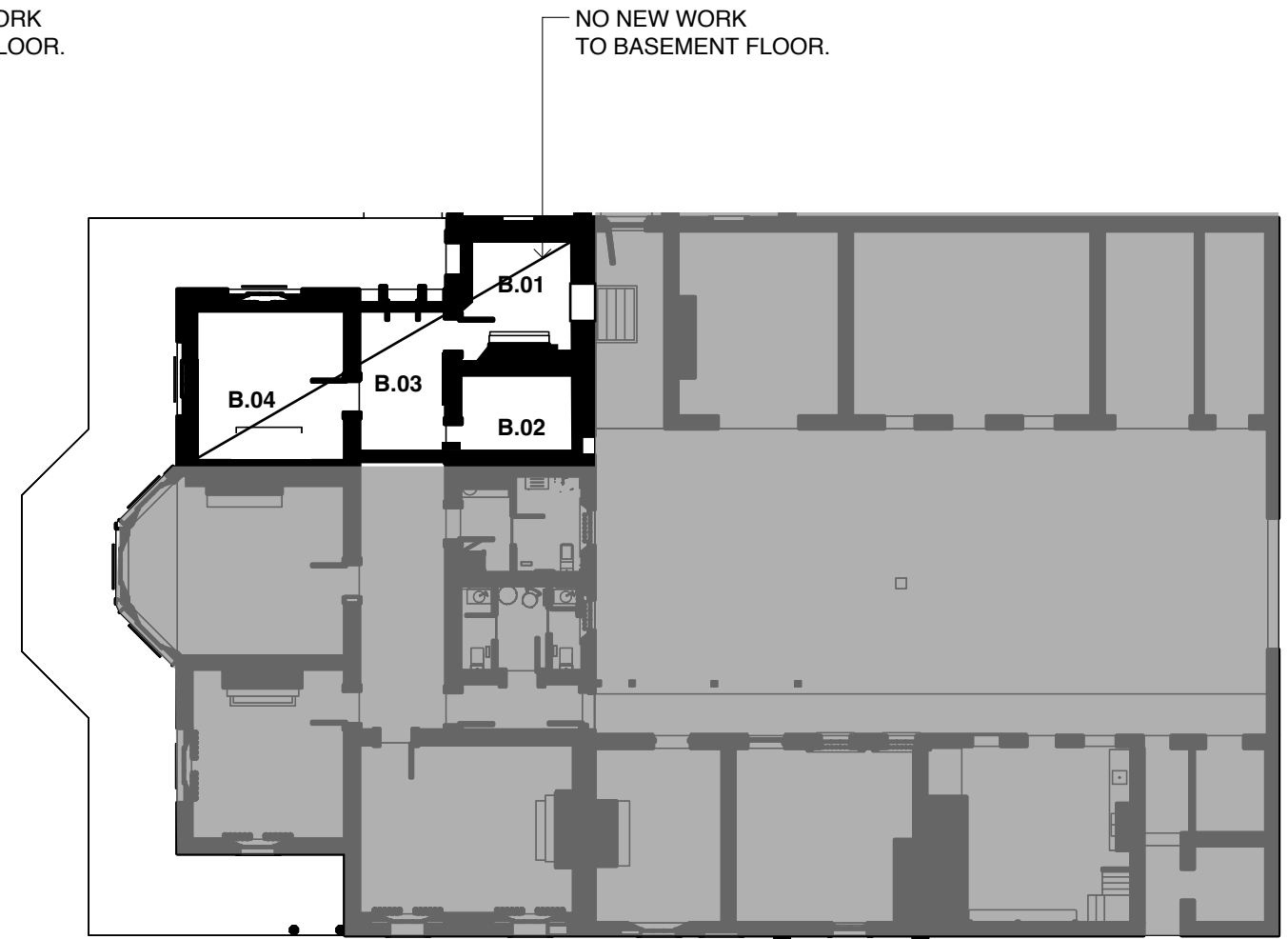
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1 FLOOR PLAN FIRST EXISTING
103 1:200

CMP 2008
FIRST FLOOR SPACES

- F.01
- F.02
- F.03 STAIR HALL
- F.04 SERVANTS
- F.05 SERVANTS
- F.06
- F.07
- F.08
- F.09
- F.10



2 FLOOR PLAN BASEMENT EXISTING
103 1:200

CMP 2008
BASEMENT SPACES

- B.01
- B.02
- B.03
- B.04

**NO CHANGES TO BASEMENT OR FIRST FLOOR.
NO PROPOSED PLANS SHOWN**

PROJECT
WOOLMERS COTTAGE
WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
country of the Panninher people of the Northern Midlands nation, Lutruwita

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**FLOOR PLAN
BASEMENT, FIRST**

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'WOOLMERS COTTAGE'

PROVIDE ADDITIONAL GRAVEL TO EXISTING GRAVEL WHEEL STRIPS. WHERE BRICK EDGING PRESENT, HAND WEED AND TAKE CARE WHEN TOPPING UP GRAVEL TO RETAIN IN SITU.



1. GATE - ENTRANCE TO WOOLMERS COTTAGE



RELOCATE EXISTING WOOLMERS COTTAGE SIGN



PROVIDE GRAVEL TOP-UP TO EXISTING DRIVEWAY

2. LEVEL ACCESS AND PARKING



PARKING SPACES TO BE DELINEATED BY FLUSH-MOUNTED PAVEMENT STUDS SET INTO COMPACTED GRAVEL SURFACE. STUDS TO DEFINE FRONT AND REAR CORNERS OF EACH BAY IN LIEU OF PAINTED LINE MARKING, CONSISTENT WITH RURAL HERITAGE CHARACTER.



TRADE ENTRANCE (LOBBY)

NEW RAMP PROPOSED TO ACCESS COMMERCIAL KITCHEN

FORMAL ENTRY HAS NO EXTERNAL KEYHOLE - SERVANT REQUIRED TO OPEN FROM THE INSIDE. NOT PROPOSED FOR GUEST ENTRANCE/USE.

EXISTING CONCRETE MODERN STAIRS, RECORD AND REMOVE FOR NEW WORKS

PROVIDE ADDITIONAL GRAVEL TOP UP

3. SECONDARY ENTRY



4. KITCHEN RAMP



NEW DDA RAMP PROPOSED TO ACCESS VERANDAH

5. VERANDAH RAMP

ALL PHOTOGRAPHS BY B.NEWMAN 03/06/2025

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WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
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CHASE NEW FLASHINGS INTO BRICKWORK TO FLASH TOP OF GALVANISED SHEET (CURRENTLY OPEN AND LETTING IN WATER).

REMOVE OVERSIZED LOOSE FLASHING. REPLACE WITH CHASED FLASHING FOLLOWING BRICKWORK.

REPAIR OR REPLACE SEVERLEY CRACKED AND UNEVEN PAVERS (TOTAL OF 2)

CAREFULLY REMOVE CONCRETE MORTAR AND REPLACE WITH LIME MORTAR



DETACHED ROOF BATTEN TO BE RESCREWED

ROTTEN RAFTERS ENDS TO BE SCARFED AND REATTACHED

ROTTING POST TO BE REPAIRED AND REATTACHED TO FRAMING



ALL PHOTOGRAPHS BY B.NEWMAN 22/01/2026

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NO NEW FINISH
TO EXISTING WALL

4.3.2026



REMOVE WALL
ONLY AS
REQUIRED
FOR HEAD
HEIGHT
CLEARANCE

ORIGINAL EXISTING
LANDING AND DOOR OPENING
INTO BATHROOM, LIMITED STAIRS
FROM EXTENDING IN THIS DIRECTION.

REMOVE PART OF WALL
AS REQUIRED FOR NEW
STAIR HEAD HEIGHT OPENING.
RETAIN AS MUCH AS POSSIBLE.
RETAIN SKIRTING SECTION ON SITE.

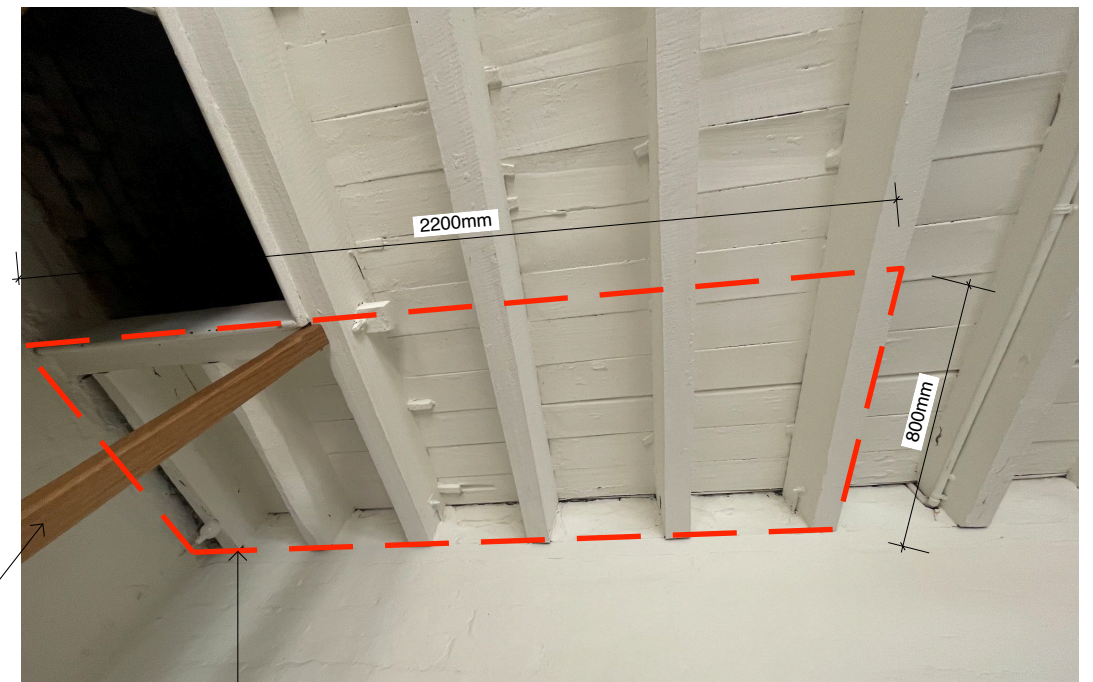
REMOVE COMPONENT OF
WALL AND SKIRTING BOARD
FOR NEW OPENING. RETAIN
SAMPLE OF WALLPAPER,
AND CONSERVE AS PART OF RECORD.

NEW MUSEUM GRADE CAST ACRYLIC
SCREEN IN FRONT OF
EXISTING WALLPAPER FOR PROTECTION

RETAIN SKIRTING BOARDS
IN EXISTING LOCATION
ON WALL ONCE FLOOR REMOVED
(AS TRANSITION BETWEEN RENDERED
WALL BELOW, AND NON-RENDERED
WALL ABOVE).

REMOVE EXISTING FLOOR JOISTS,
TIMBER FLOOR. RETAIN FABRIC ON SITE.

EXISTING MODERN
POST TO BE REPLACED



SCOPE OF JOISTS TO BE CUT
DOWN. RETAIN ALL JOISTS, TIMBER FLOOR CHOCKS,
BOLTS AND FIXINGS REMOVED.

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WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
country of the Panninher people of the Northern Midlands nation, Lutruwita

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**INTERNAL
PHOTOGRAPHS**

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CARETAKERS UNIT ORIGINAL STAIRS. STAIRS HAVE DETERIORATED AND ARE NO LONGER SAFE TO USE. PROPOSED REMOVAL OF STAIRCASE, RETAIN INTACT AND HANG ON WALL.



~250mm



90DEG

MORTAR JOINTS

C.2011 STAIRCASE SOLUTION TO PROVIDE SAFER ACCESS TO BE DEMOLISHED.



INDIVIDUAL TREADS HAVE A SIGNIFICANT SLOPE. STAIRS MUST BE USED BACKWARDS LIKE A LADDER.

SIGNIFICANT DAMAGE TO EDGE OF STAIRS

SIGNIFICANT DAMAGE TO EDGE OF STAIRS THROUGHOUT MOST TREADS

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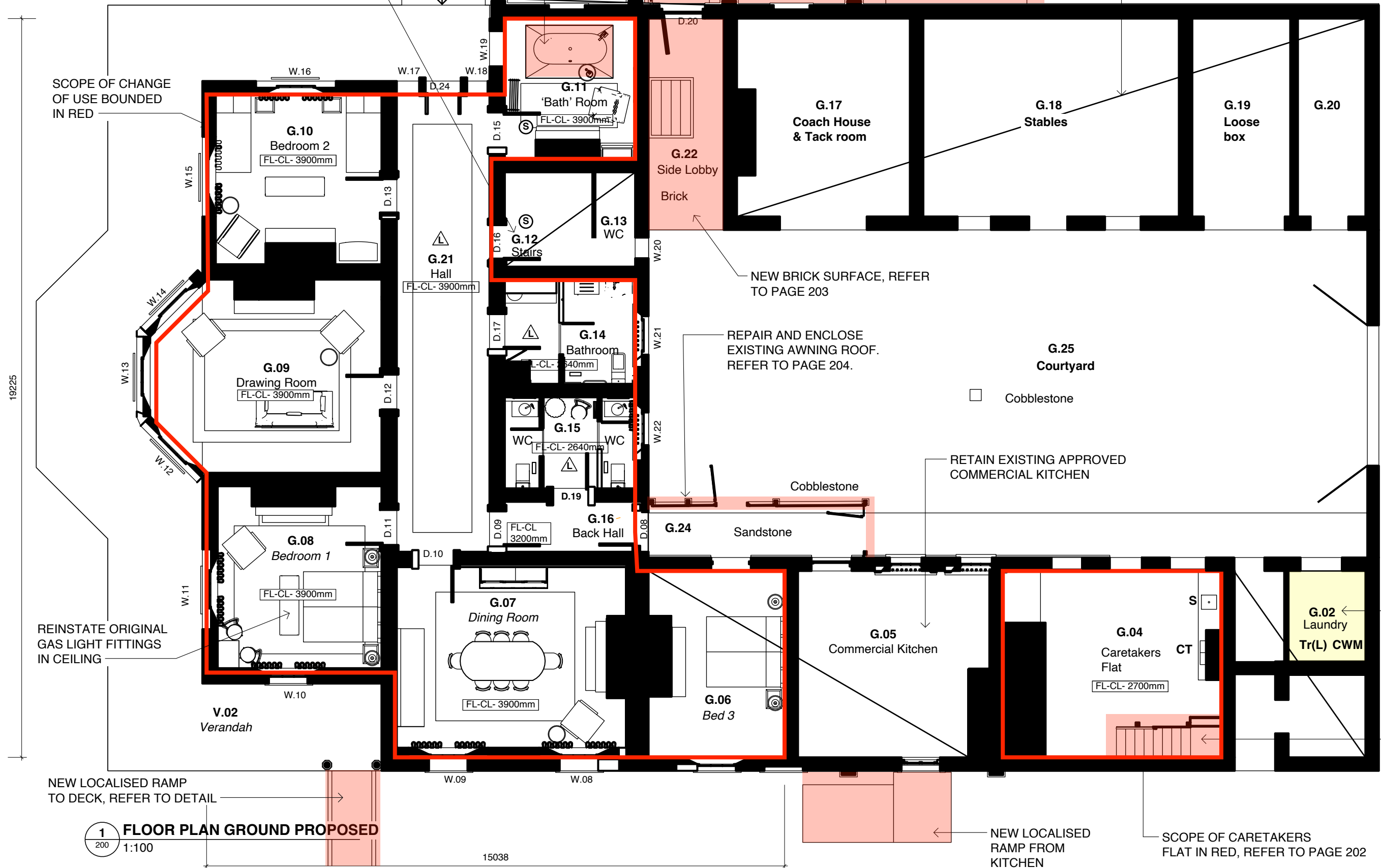
NO NEW WORK
DOOR TO BE KEPT LOCKED,
NO ACCESS TO BASEMENT
OR FIRST FLOOR.

NEW BATH FITTING
INTO EXISTING
ROOM, REFER
PAGE 205

NEW TRADES ENTRANCE
RAMP TO SIDE LOBBY. REFER TO PAGE 202 & 203.

NO NEW WORK

SCOPE OF CHANGE
OF USE BOUNDED
IN RED



19225

REINSTATE ORIGINAL
GAS LIGHT FITTINGS
IN CEILING

NEW LOCALISED RAMP
TO DECK, REFER TO DETAIL

1 FLOOR PLAN GROUND PROPOSED
200 1:100

15038

NEW LOCALISED
RAMP FROM
KITCHEN

SCOPE OF CARETAKERS
FLAT IN RED, REFER TO PAGE 202

EXISTING LAUNDRY
FOR ACCOMODATION
NO PROPOSED
CHANGES.

NEW STAIRCASE
TO UPPER LEVEL.
REFER TO DETAILS.

RETAIN EXISTING APPROVED
COMMERCIAL KITCHEN

REPAIR AND ENCLOSE
EXISTING AWNING ROOF.
REFER TO PAGE 204.

NEW BRICK SURFACE, REFER
TO PAGE 203

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WOOLMERS COTTAGE
WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
country of the Panninher people of the Northern Midlands nation, Lutruwita

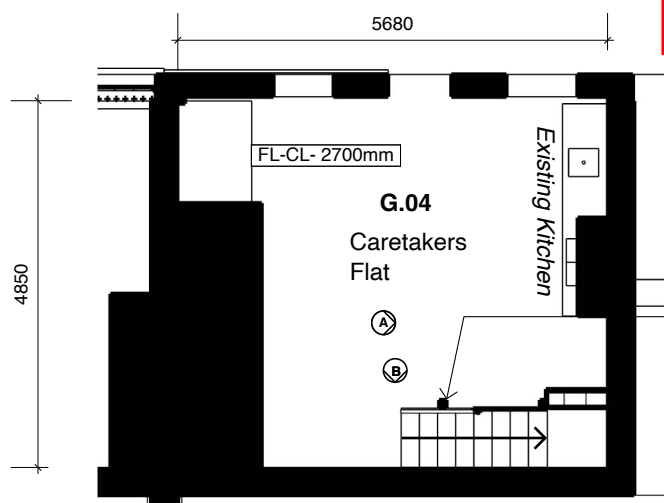
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**FLOOR PLAN
GROUND PROPOSED**
DRAWING NO. 35724_200
TRUE NORTH 15.09°

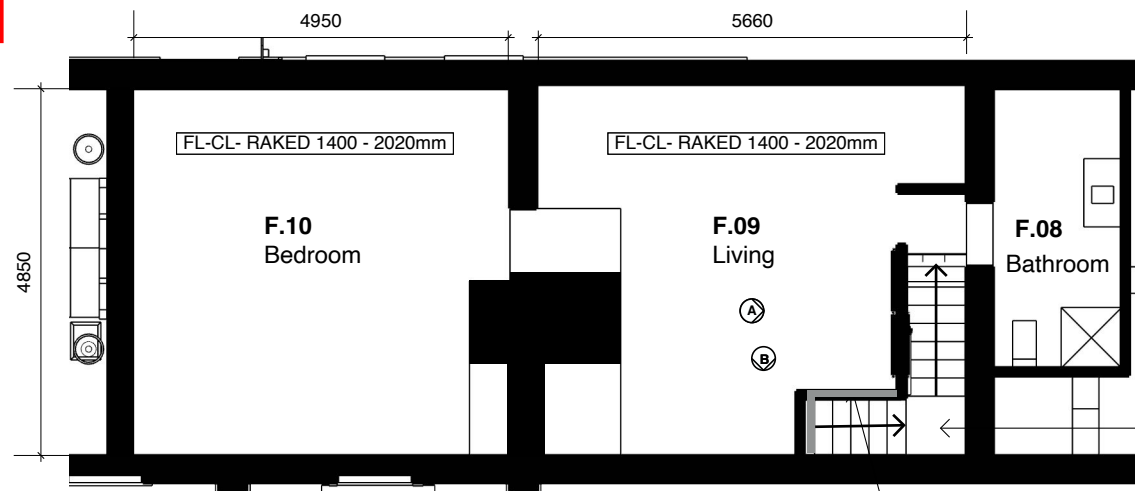
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TWO NEW POSTS SUPPORTING EXISTING FLOOR JOISTS. USE REMOVED TIMBER TO SUPPORT EDGE.



NEW PARTITION WALL AROUND STAIRS



CLEAR NON-SLIP TAPE TO EDGE. STAIR NOSING.

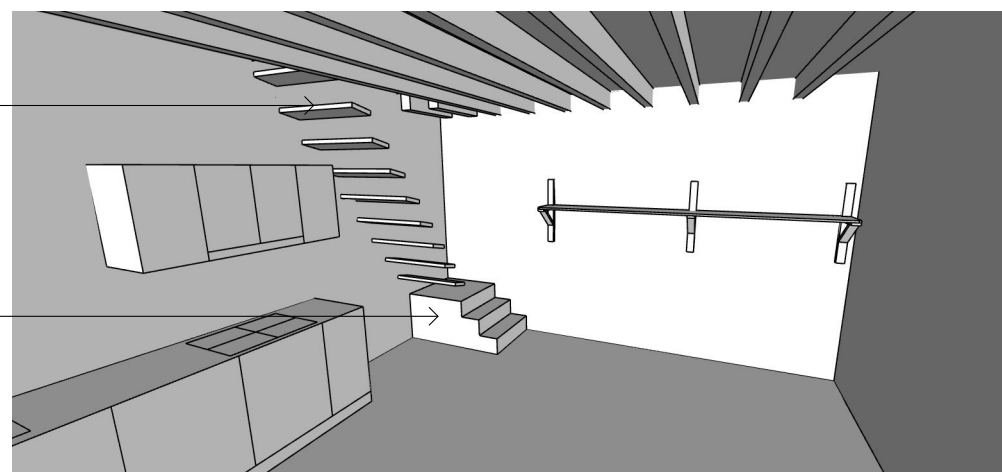
NEW TIMBER STAIRS MAX RISE 190mm AND MIN WIDTH 240mm ENCLOSED STRINGER TYPE WITH VERTICAL TIMBER ENCLOSING UNDERSIDE TO MATCH EXISTING. STAIR TO BE STAINED IN DARK COLOUR.

1 201 1:100 **DETAIL PLAN GROUND - CARETAKERS FLAT**

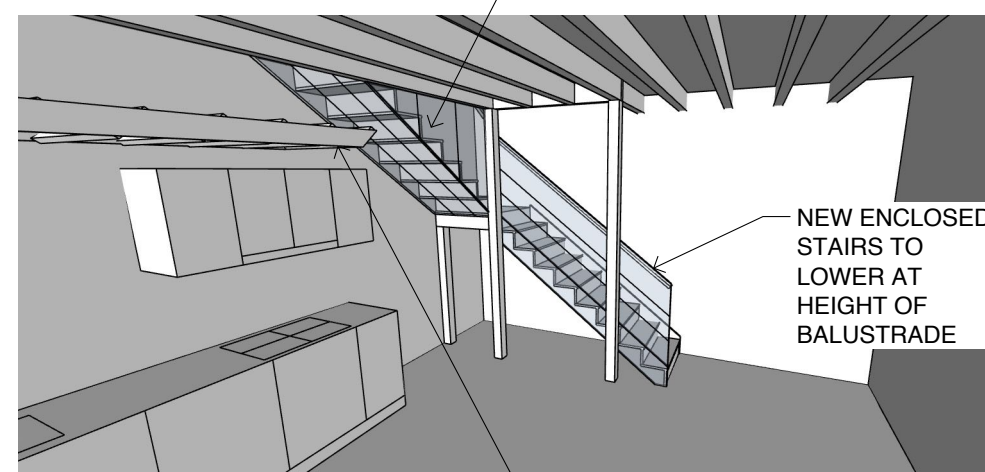
2 201 1:100 **DETAIL PLAN FIRST - CARETAKERS FLAT**

EXISTING STAIRS ~250mm IN HEIGHT EACH WITH OVERLAPPING TREADS ON ANGLE

REMOVE COMPLIANT MDF C.2011 TREADS



EXISTING STAIR 3D
(SHOWN WITHOUT STRINGERS FOR CLARITY OF TREADS)

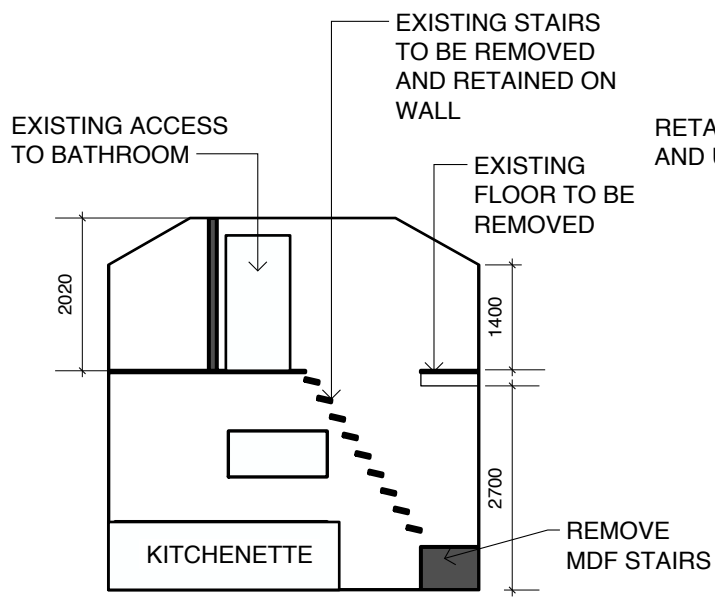


PROPOSED STAIR 3D
(PANELS/STRINGERS SHOWN TRANSPARENT BLUE)

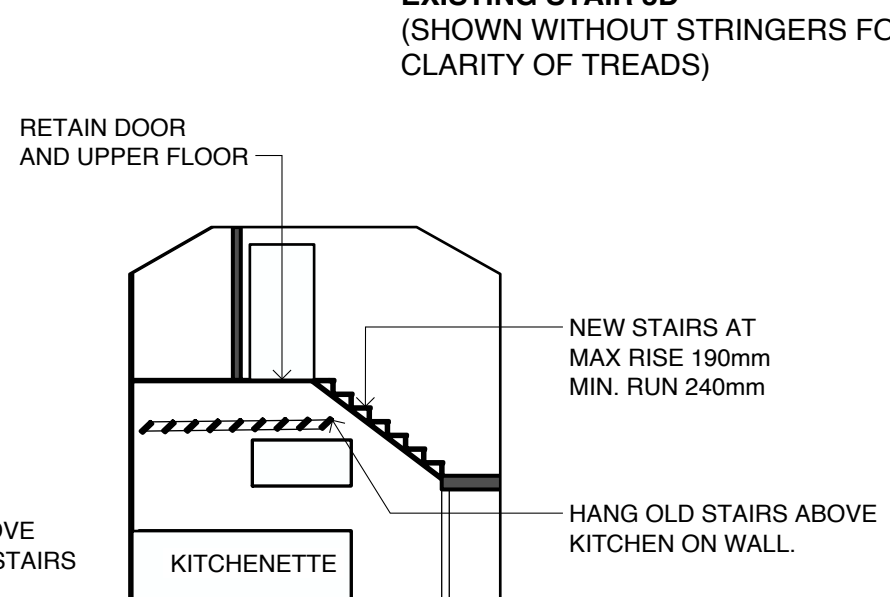
ENCLOSE STAIRS TO UPPER

NEW ENCLOSED STAIRS TO LOWER AT HEIGHT OF BALUSTRADE

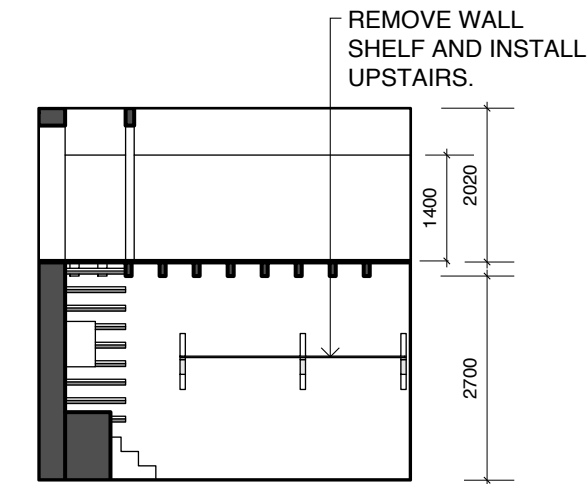
STAIRS ON KITCHEN WALL. SUSPEND FROM EXISTING JOISTS WITH MINIMAL SCREWS INTO FABRIC.



3 201 1:100 **EXISTING STAIR SECTION A**

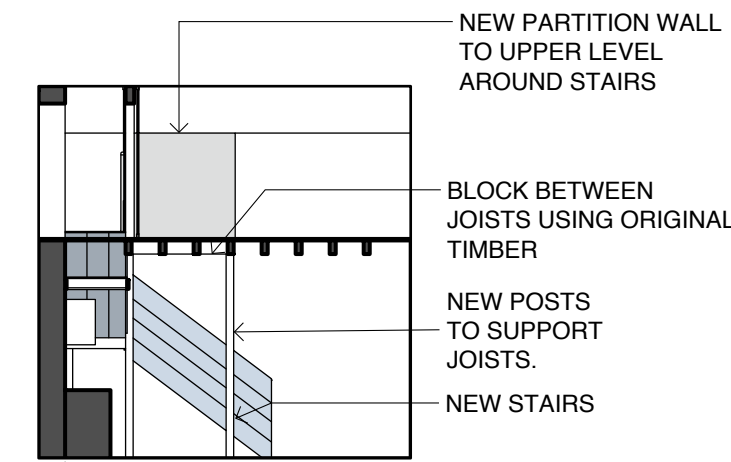


4 201 1:100 **PROPOSED STAIR SECTION A**



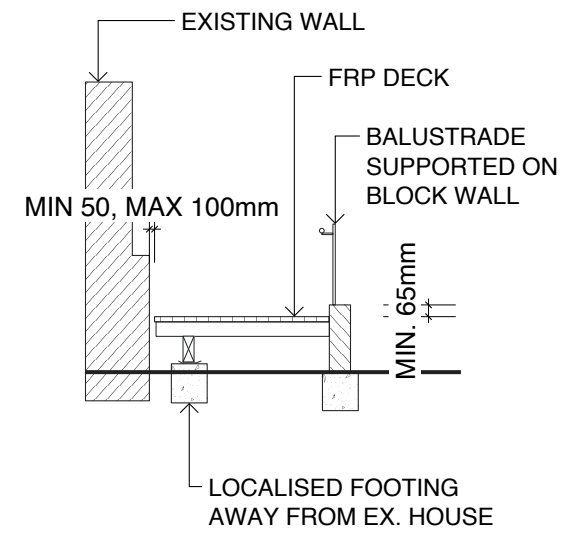
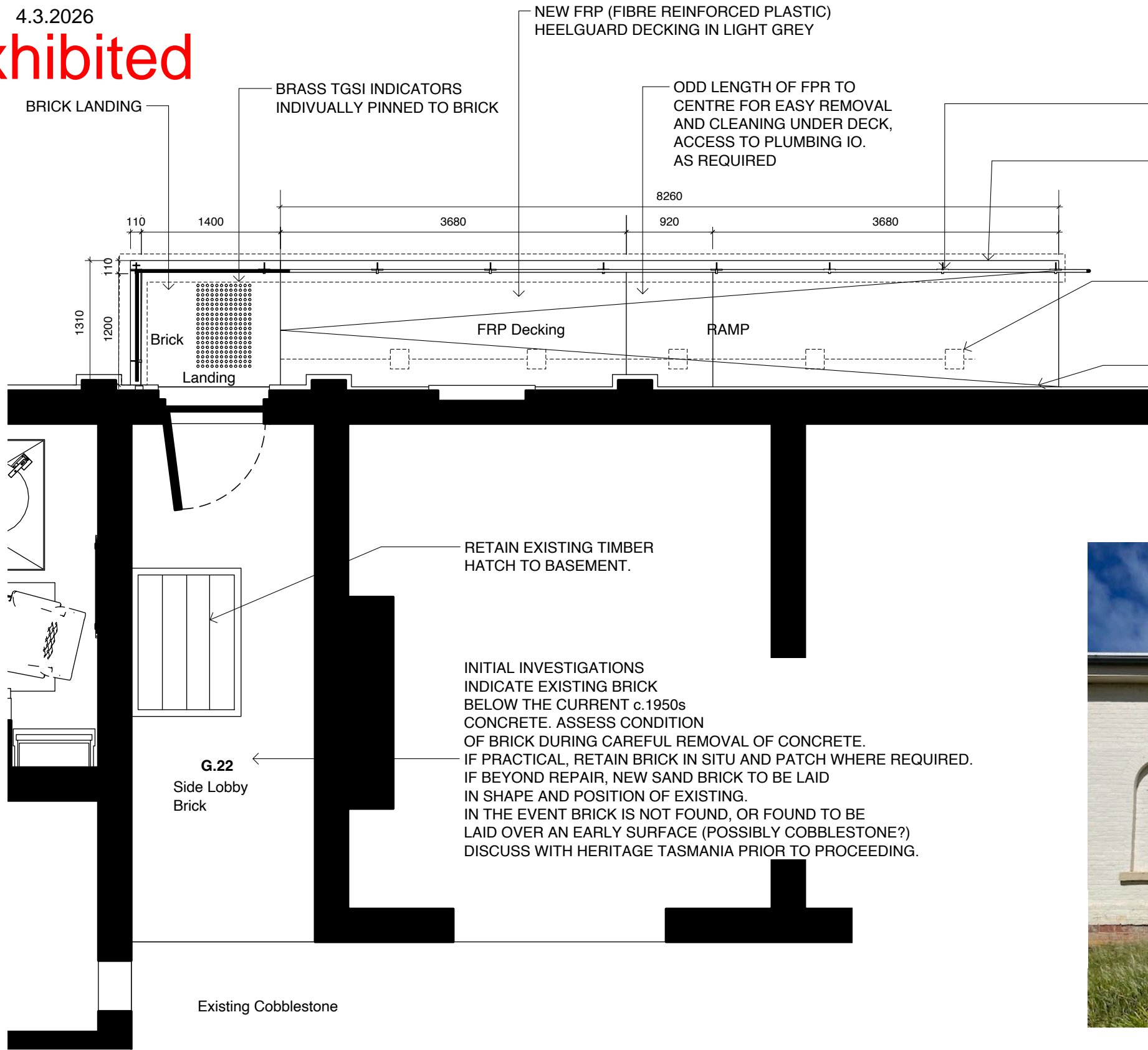
5 201 1:100 **EXISTING STAIR SECTION B**

EXISTING DEFICIT OF 1.52m TO ACHIEVE COMPLIANT STAIRS



6 201 1:100 **PROPOSED STAIR SECTION B**

4.3.2026



SCHEMATIC SECTION



EXISTING HARLING RENDER PLINTH

EXISTING CONCRETE OVER SUSPECTED BRICK STAIRS

EXISTING DAMAGED SANDSTONE PLINTH THAT HAS BEEN PATCHED WITH BRICK AND CONCRETE BLOCK

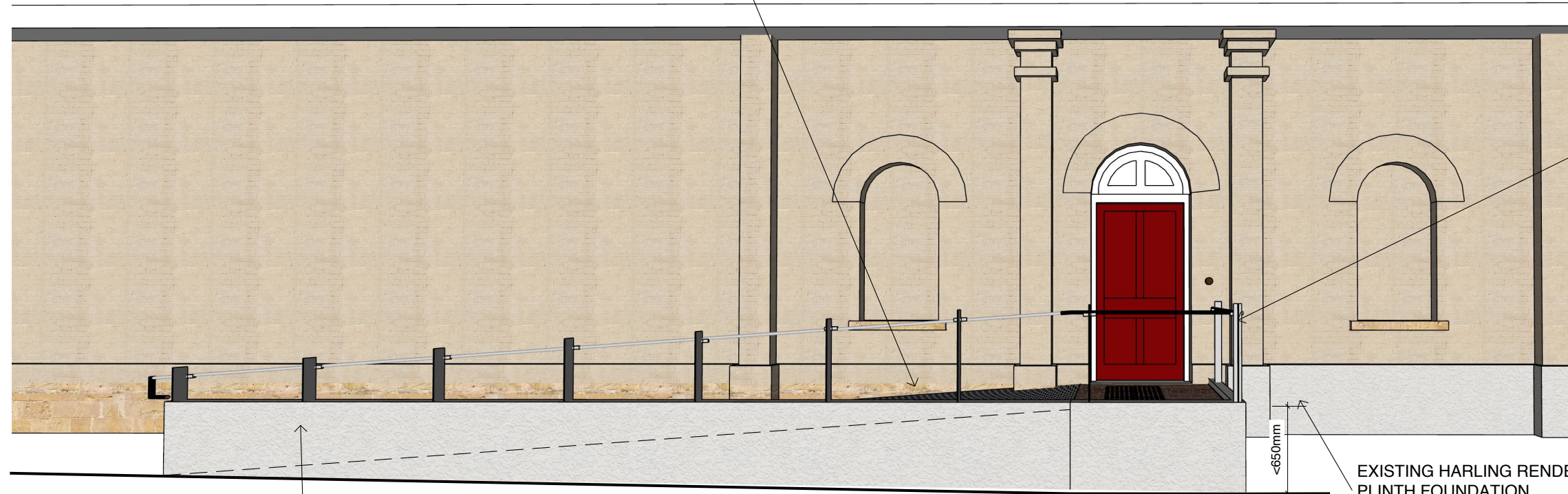
3
202
ELEVATION PHOTOGRAPH EXISTING
1:50

1
202
DETAIL PLAN GROUND - SIDE LOBBY
1:50

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SANDSTONE PLINTH FOUNDATION IN POOR CONDITION. STONE REPAIRS TO PREVENT FURTHER DETERIORATION.



STEEL FRAME AND HANDRAIL. DROP LESS THAN 650mm. MINIMUM AS REQUIRED FOR ACCESS ONLY.

EXISTING HARLING RENDER PLINTH FOUNDATION (OVER SANDSTONE)

NEW PROPOSED HARLING RENDER OVER NEW BLOCK SUPPORTING WALL BEHIND, TO MATCH EXISTING COLOUR.

1
203
ELEVATION SIDE LOBBY
1:50



RETAIN AND REPAIR EXISTING DOORBELL

PLINTH SITS 65mm HIGHER THAN SURFACE TO ACT AS KERB

2
203
3D SIDE LOBBY
NTS

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WOOLMERS COTTAGE
WOOLMERS FOUNDATION INC.
WOOLMERS LANE, LONGFORD, TASMANIA, 7301
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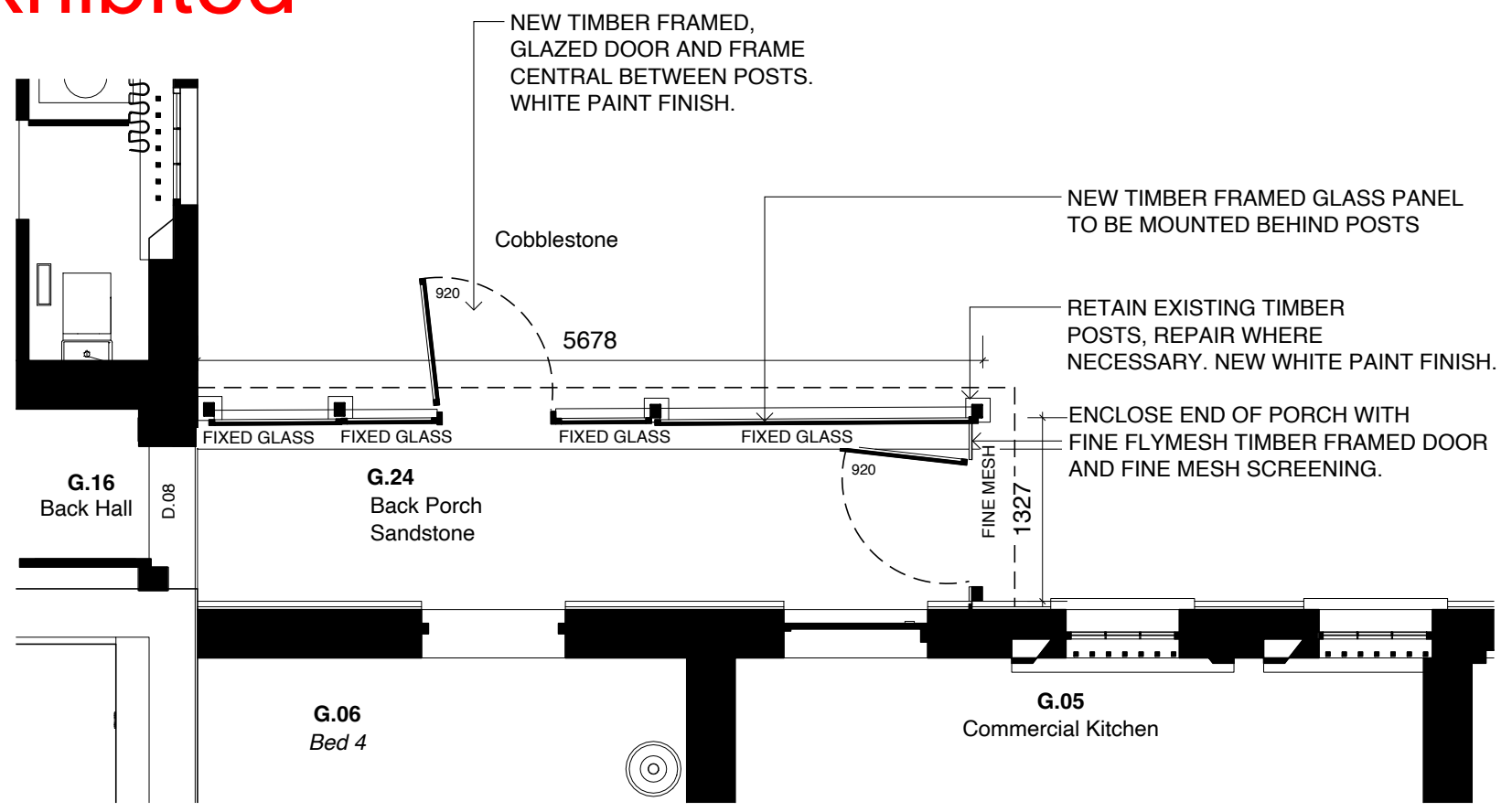
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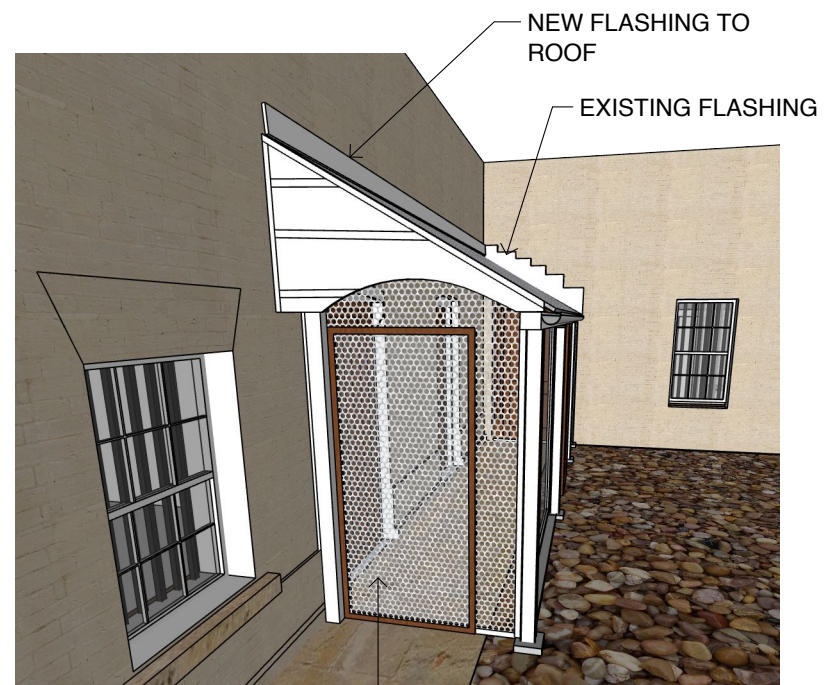
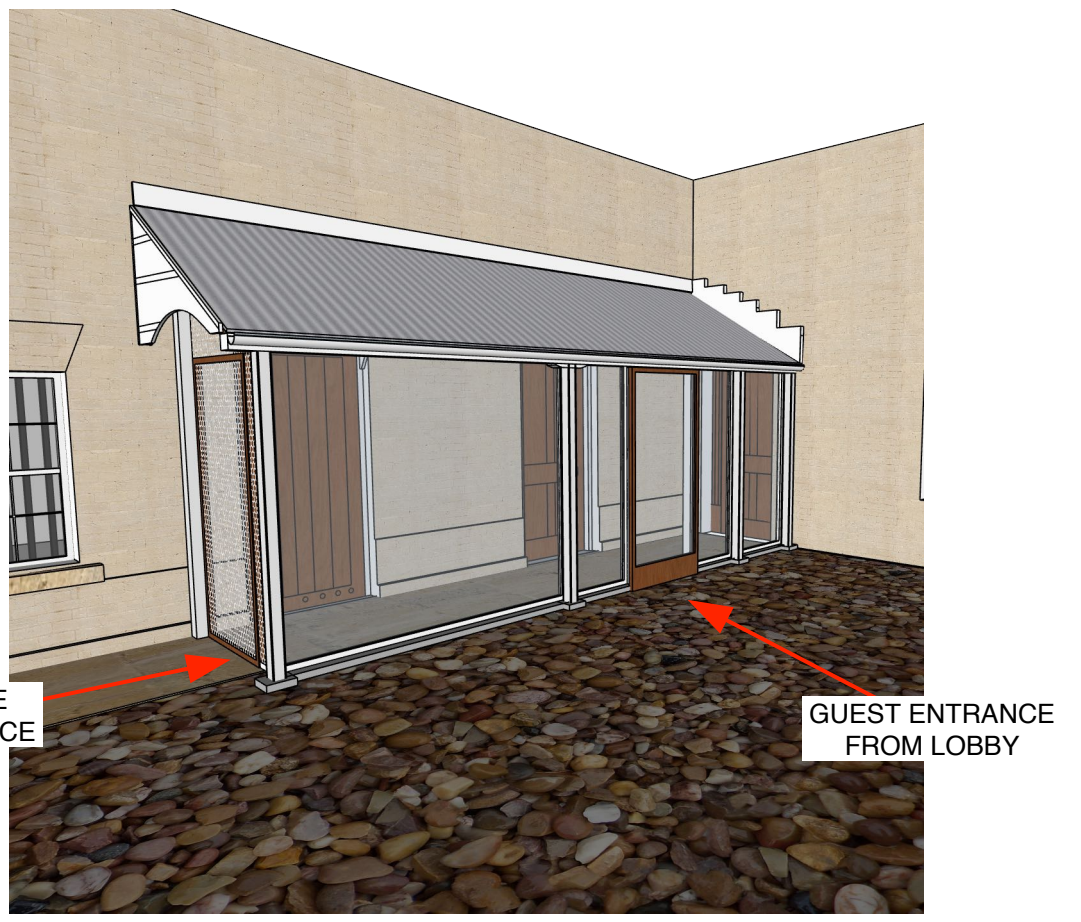
DRAWING
**DETAIL PLAN
SIDE LOBBY**

DRAWING NO.
35724_203

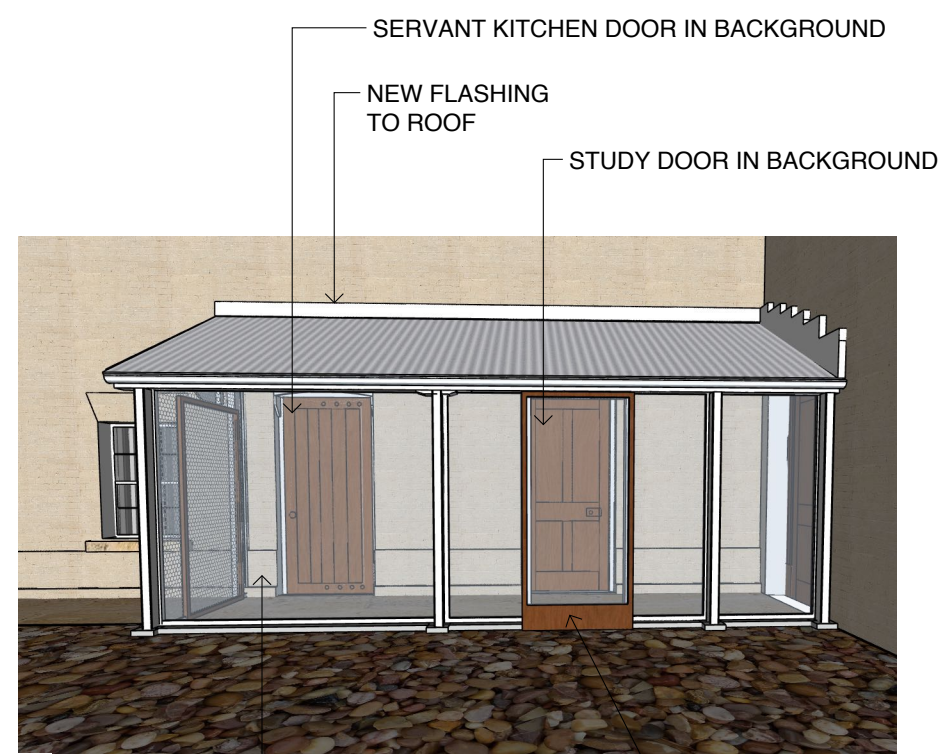
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1 FLOOR PLAN BACK PORCH
204 1:50



FINE MESH SCREEN TO THIS SIDE OF PORCH (COMMERCIAL KITCHEN TRADE ENTRANCE)

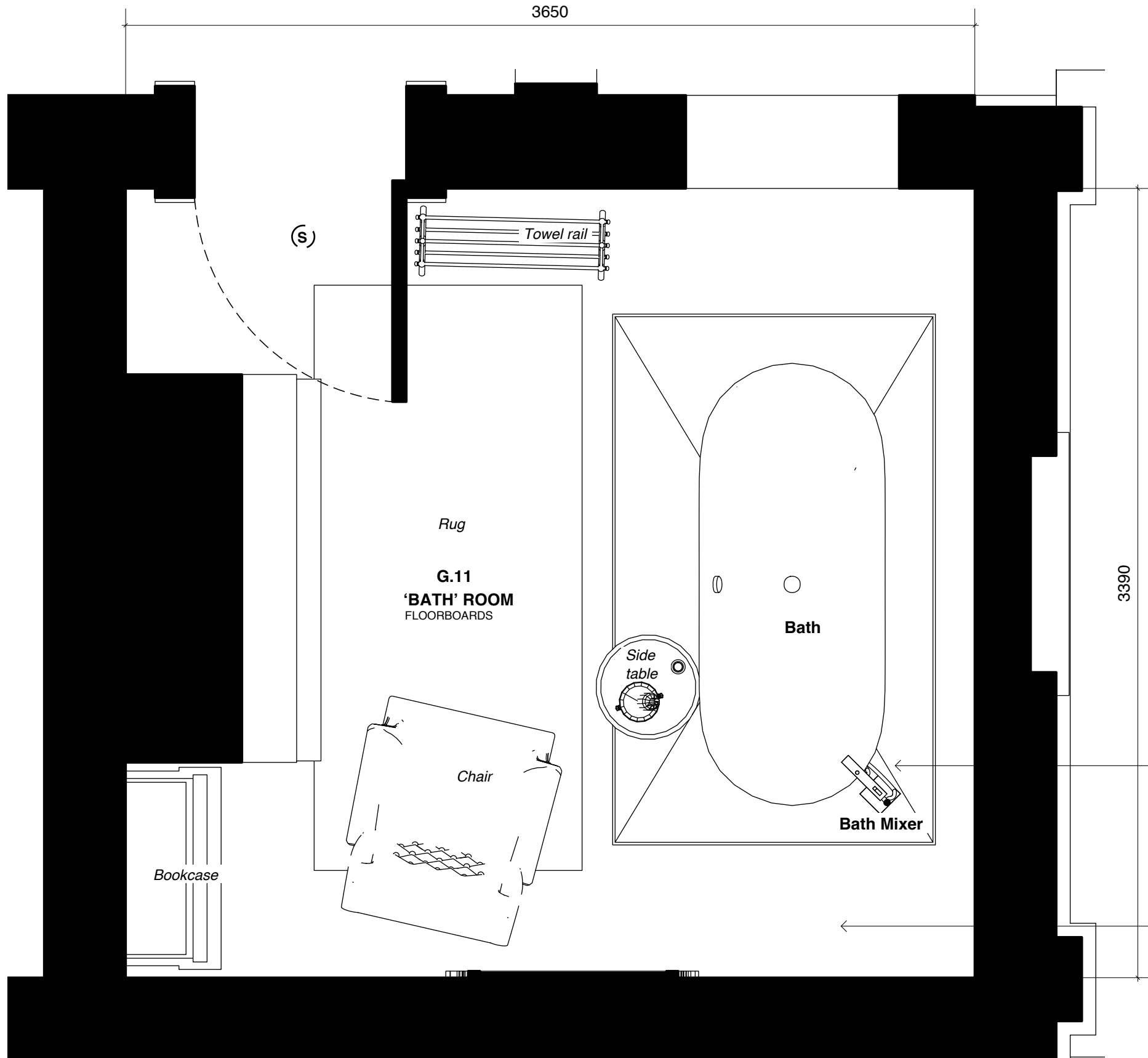


FIXED GLASS SCREENS BEHIND EXISTING POSTS

NEW GLASS TIMBER FRAMED DOOR

THE PROPOSED ENCLOSURE OF THE BACK PORCH SERVES SEVERAL FUNCTIONAL AND CONSERVATION-RELATED PURPOSES:

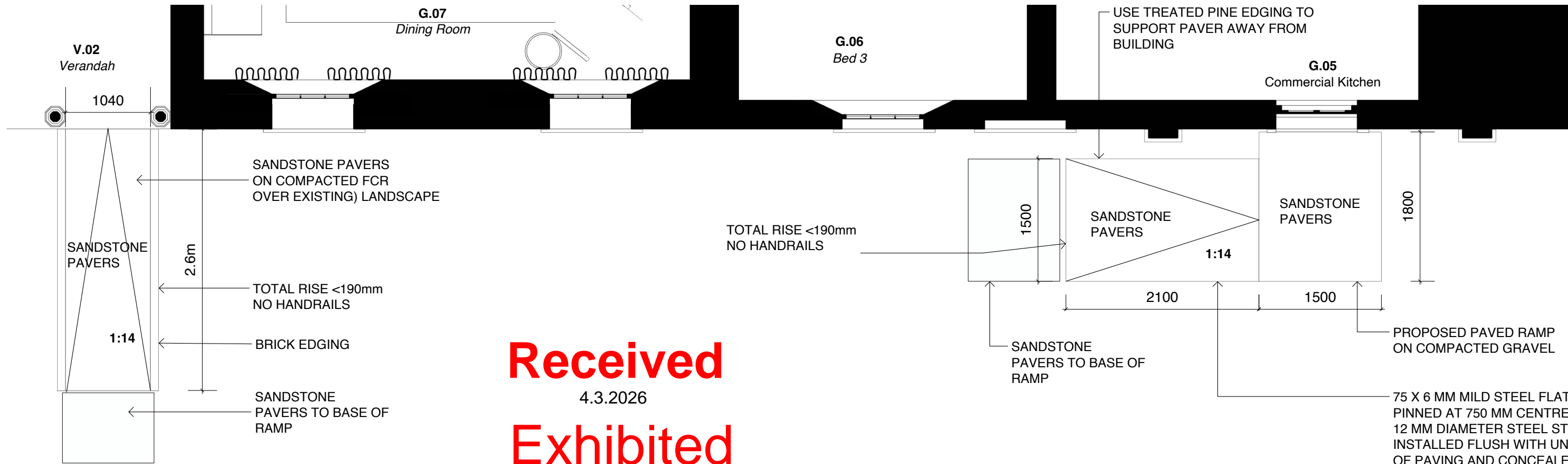
1. ALLOWS FOOD TO BE TRANSFERRED FROM THE EXISTING COMMERCIAL KITCHEN TO THE ACCOMMODATION AREAS WITHOUT EXPOSURE TO FLIES OR EXTERNAL ENVIRONMENTAL CONDITIONS, WHICH IS OF CONCERN GIVEN THE RURAL SETTING OF THE PROPERTY.
2. FACILITATES THE REPAIR OF DETERIORATED TIMBER FRAMING, WHICH HAS SUFFERED ROT AND DEGRADATION OVER TIME DUE TO PROLONGED WATER INGRESS.
3. PROVIDES A NEW, CONTROLLABLE THRESHOLD FOR GUEST ACCESS. GUESTS WILL BE ISSUED WITH KEYS FOR ENTRY VIA THE BACK PORCH, REDUCING RELIANCE ON THE EXISTING TRADITIONAL RIM LOCK, WHICH CAN BE DIFFICULT TO OPERATE. THIS APPROACH MINIMISES THE NEED FOR FURTHER MODIFICATION TO THE ORIGINAL DOOR FABRIC (D.08), INCLUDING THE INSTALLATION OF NEW LOCKS.
4. ENABLES BEDROOM 4 TO ACCESS THE BATHROOM AND TOILET WITHIN A PROTECTED AND CONTROLLED ENVIRONMENT.



NEW FREESTANDING BATH AND FLOOR MOUNTED MIXER TAP. FREESTANDING BATH TO BE SITUATED ABOVE FC SHEET, WITH METAL TRAY OVER FLOORBOARDS. PLUMBING TO RUN UNDERFLOOR IN THE BASEMENT, CONNECT TO ADJACENT WC PLUMBING.

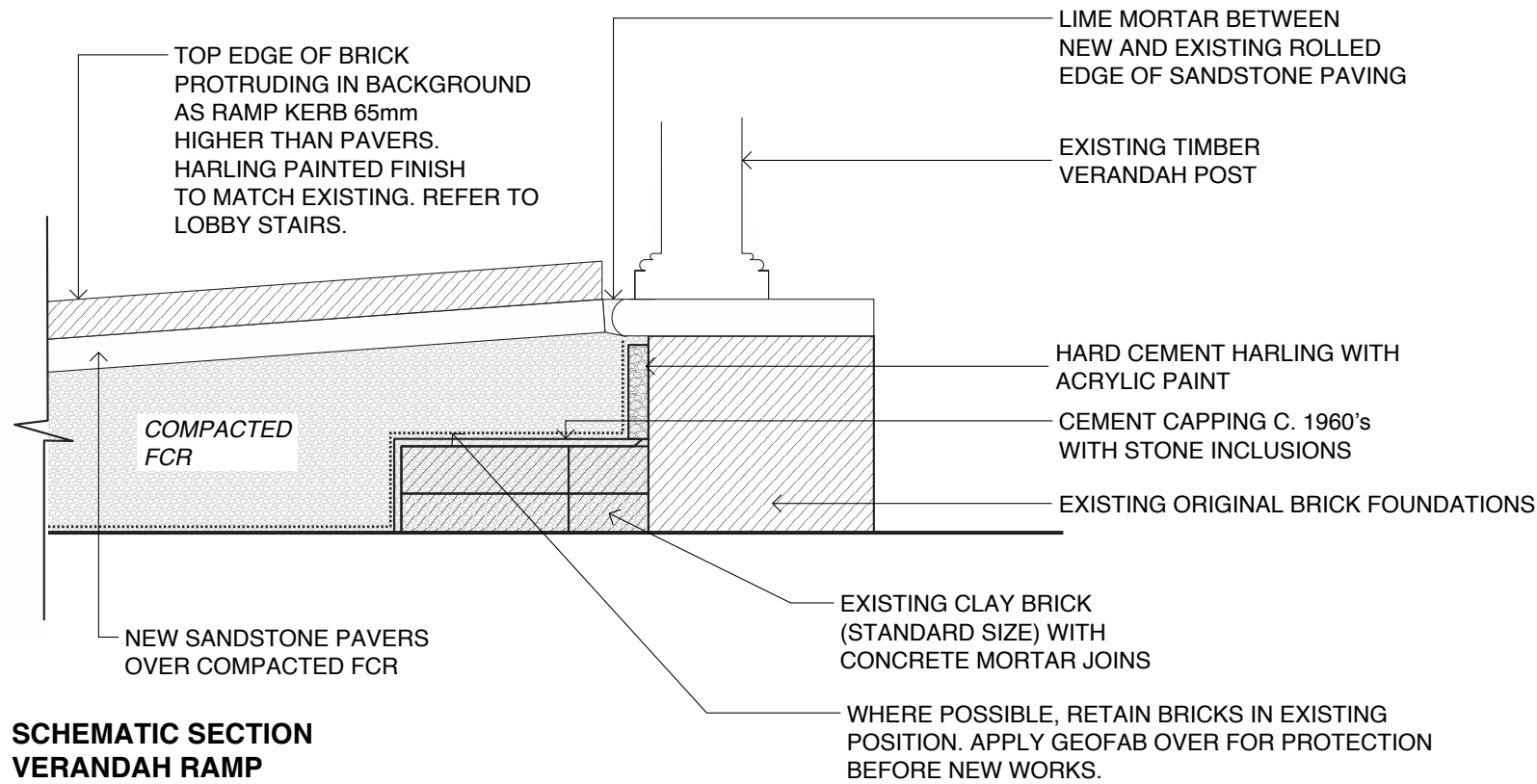
RETAIN ALL EXISTING FEATURES WITHIN ROOM, INCLUDING FLOORBOARDS, FIREPLACE, HEARTH, SKIRTING ETC.

1 205
DETAIL PLAN - 'BATH' ROOM
1:20

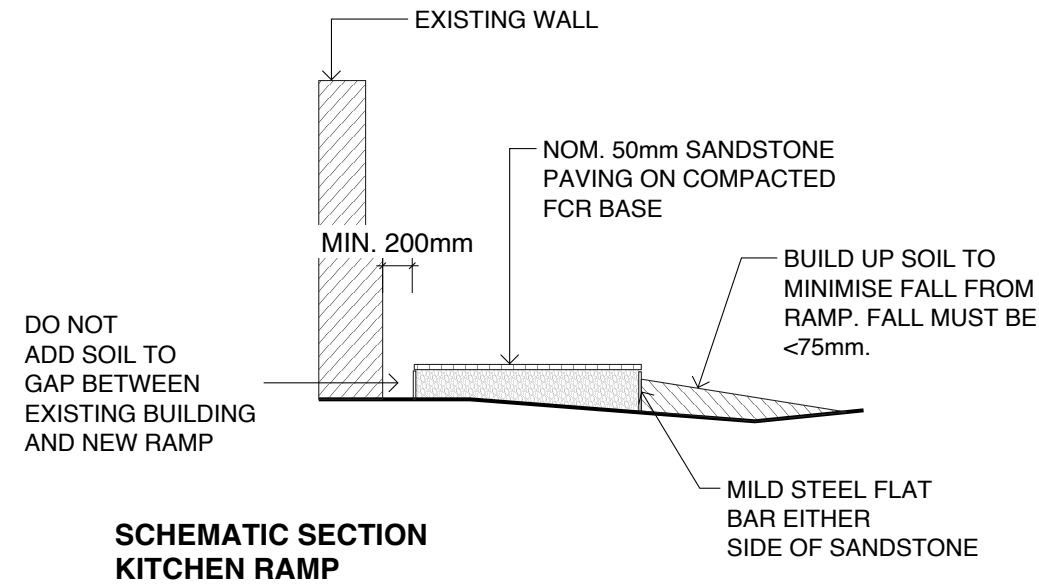


Received
4.3.2026
Exhibited

1 FLOOR PLAN VERANDAH RAMP
206 1:50



SCHEMATIC SECTION VERANDAH RAMP



SCHEMATIC SECTION KITCHEN RAMP



REPLACE 1x EXISTING SHEET GLASS (MODERN GLASS) SKYLIGHT WITH OPERABLE VELUX SKYLIGHT.

Received

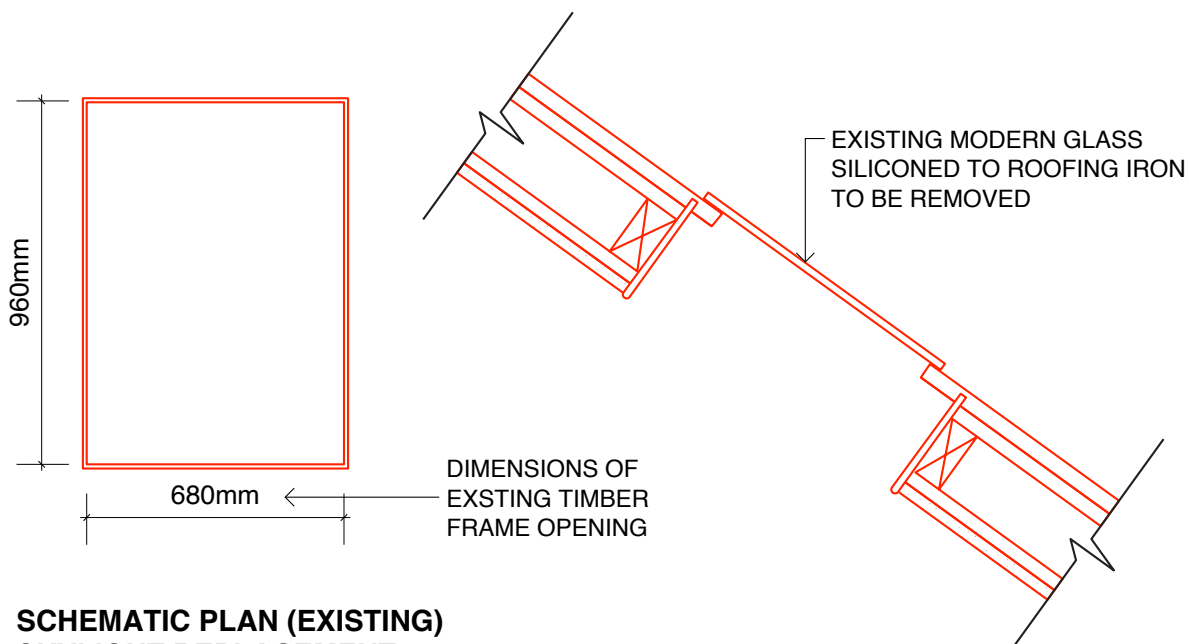
4.3.2026



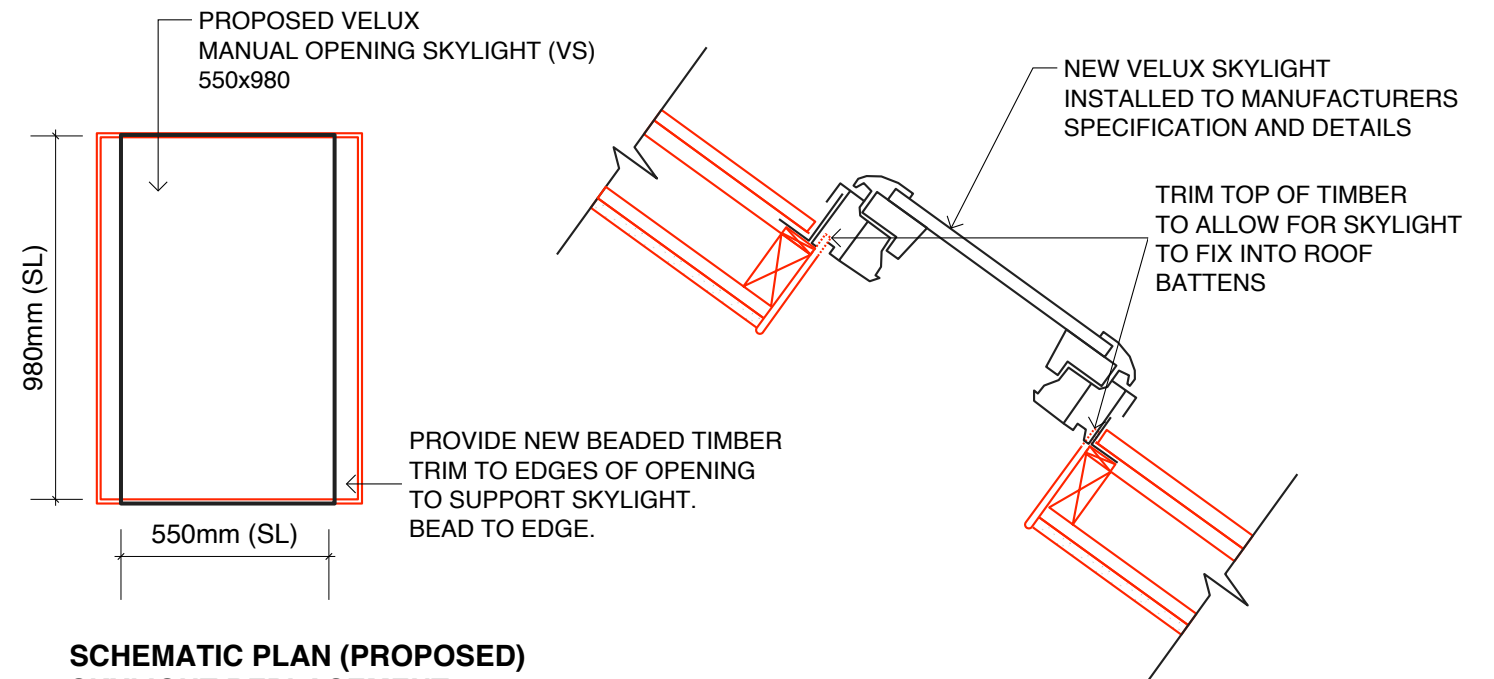
SKYLIGHT OPENING C.2009 DURING RENOVATION WORKS
 MODERN GLASS
 EXISTING BATTENS



EXISTING GALVANISED IRON SHEET ROOF HAS BEEN CUT INTO TIMBER EDGE (REPLACEMENT SHEET)
 EXISTING SHEET OF MODERN GLASS (NOTE GREEN TINGE ON EDGE)
 TOP OF TIMBER TO BE TRIMMED TO ALLOW FOR NEW SKYLIGHT TO SIT ON BATTENS
 EXISTING TIMBER TRIM TO BE RETAINED (NON-ORIGINAL FABRIC - SEE LEFT IMAGE OF C.2009)
 EXISTING LATH CEILING TO BE RETAINED
 EXISTING INTERNAL BRICK WALL IN BACKGROUND



SCHEMATIC PLAN (EXISTING) SKYLIGHT REPLACEMENT



SCHEMATIC PLAN (PROPOSED) SKYLIGHT REPLACEMENT

Exhibited

PROJECT
WOOLMERS COTTAGE
 WOOLMERS FOUNDATION INC.
 WOOLMERS LANE, LONGFORD, TASMANIA, 7301
 country of the Panninher people of the Northern Midlands nation, Lutruwita

SCALE
 DATE
 DRAWN
 ISSUE
 REV

NTS @A3
 18/02/2026
 BAH
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DRAWING
DETAIL PLAN SKYLIGHT

DRAWING NO.
35724_207