

Exhibited

This planning application is open for
public comment until
23 February 2026

| | |
|----------------------|---|
| Reference no | PLN-25-0194 |
| Site | 11 WELLINGTON STREET ROSS |
| Proposed Development | Retrospective dwelling alterations, outbuilding and driveway works |
| Zone | 11.0 Rural Living |
| Use class | Residential |

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



Exhibited

PLANNING APPLICATION

Office Use Only:

NORTHERN
MIDLANDS
COUNCIL

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

The Proposal

Description of proposal: Single bedroom dwelling and detached carport

| | |
|--|--|
| Driveway construction material: | Gravel |
| The Land | |
| Site address: | 11 Wellington Street |
| | Ross |
| Title reference: | C/T: Lot 4, Plan 157839 |
| Existing buildings on site: | Single bedroom Dwelling, Carport, Storage shed, Shipping container |
| Existing use of site: | Residential |

Applicant justification of any variation/discretion to the *Tasmanian Planning Scheme – Northern Midlands*

| OWNER | PLAN OF TITLE | | REGISTER NUMBER |
|--|---|---------------------------------------|--|
| FOLIO REFERENCE 215723-1 GRANTEE WHOLE OF LOT 3 D.L.T. LOT 4 D.L.T. & LOT 5 D.L.T. STD. 10 PHILLIP DAILEY FISH | LOCATION TOWN OF ROSS SECTION 60 FIRST SURVEY PLAN NO. 83/49 COMPILED BY L.D.R.B. | SCALE 1:1500 LENGTHS IN METRES | P.157839 APPROVED 24 SEP 2009 Alice Kawa Register of Titles |
| MAPSHEET MUNICIPAL CODE NO. 123 (5474-2L 80) | LAST UPD NO. FW079 | LAST PLAN NO. P.215723 | ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN |
| <p>Hand-drawn Folio Plan showing a rectangular block of land divided into three lots (3, 4, 5) by streets. The block is bounded by WELLINGTON STREET to the south, PORTUGAL STREET to the west, and WATERLOO STREET to the east. The north boundary is an irregular line. Lot 3 is 5944m², Lot 4 is 7841m², and Lot 5 is 1.351ha. Various dimensions are marked along the boundaries. The plan is registered under Folio Reference 215723-1.</p> | | | |

Exhibited

Received

AS CONSTRUCTED WORKS

at 11 WELLINGTON STREET ROSS TAS 7209

for R, J & E GARMENT

27.1.2026

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY

PROJECT NUMBER:

25013

PROPERTY ID:

9189169

LAND TITLE, VOLUME & FOLIO

CT - 157839/4

SITE AREA:

7841m²

FLOOR AREAS:

EXISTING BUILDING FLOOR AREA - 54m²

COUNCIL:

NORTHERN MIDLANDS

SCHEME / ZONE:

11.0 RURAL LIVING

SCHEME / ZONE OVERLAYS:

BUSHFIRE PRONE

PRIORITY VEGETATION

SITE CLASSIFICATION:

WIND CLASSIFICATION: N2

BUSHFIRE ATTACK LEVEL: BAL 12.5

TERRAIN CLASSIFICATION: TC2

WIND REGION: A3

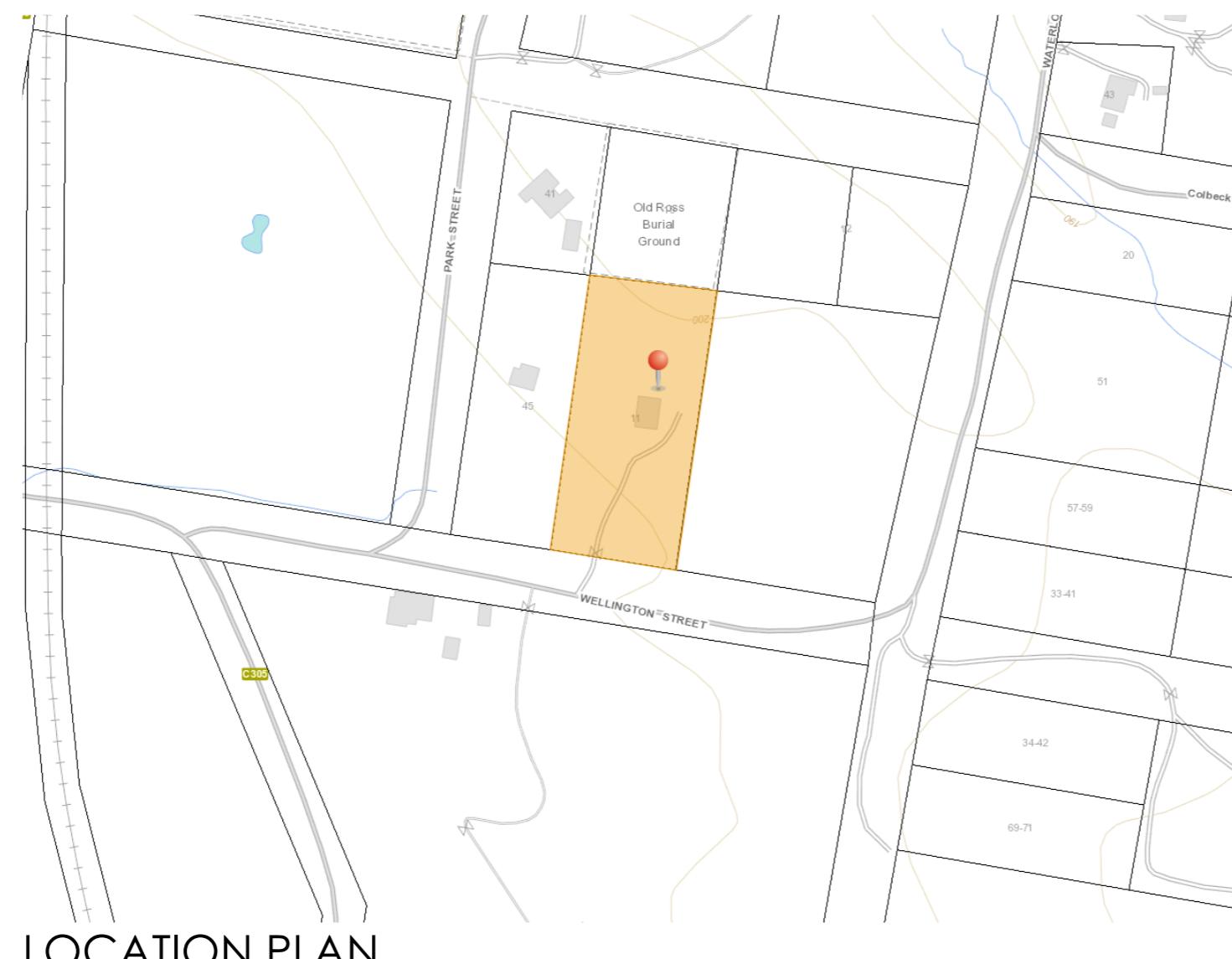
CLIMATE ZONE: 7

CORROSION ENVIRONMENT: LOW

ALPINE AREA: N/A

PRINT DATE:

03/07/2025



LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 PART SITE PLAN
- A03 AS CONSTRUCTED FLOOR PLAN
- A04 ROOF PLAN
- A05 ELEVATIONS
- A06 ELEVATIONS
- A07 SECTION AA
- A08 WATERPROOFING TABLE & DETAILS
- A09 WATERPROOFING NOTES
- A10 CORROSION & INSULATION TABLE
- A11 HOUSING PROVISIONS



MEMBER
you're in good hands

**PLANS
TO BUILD**

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

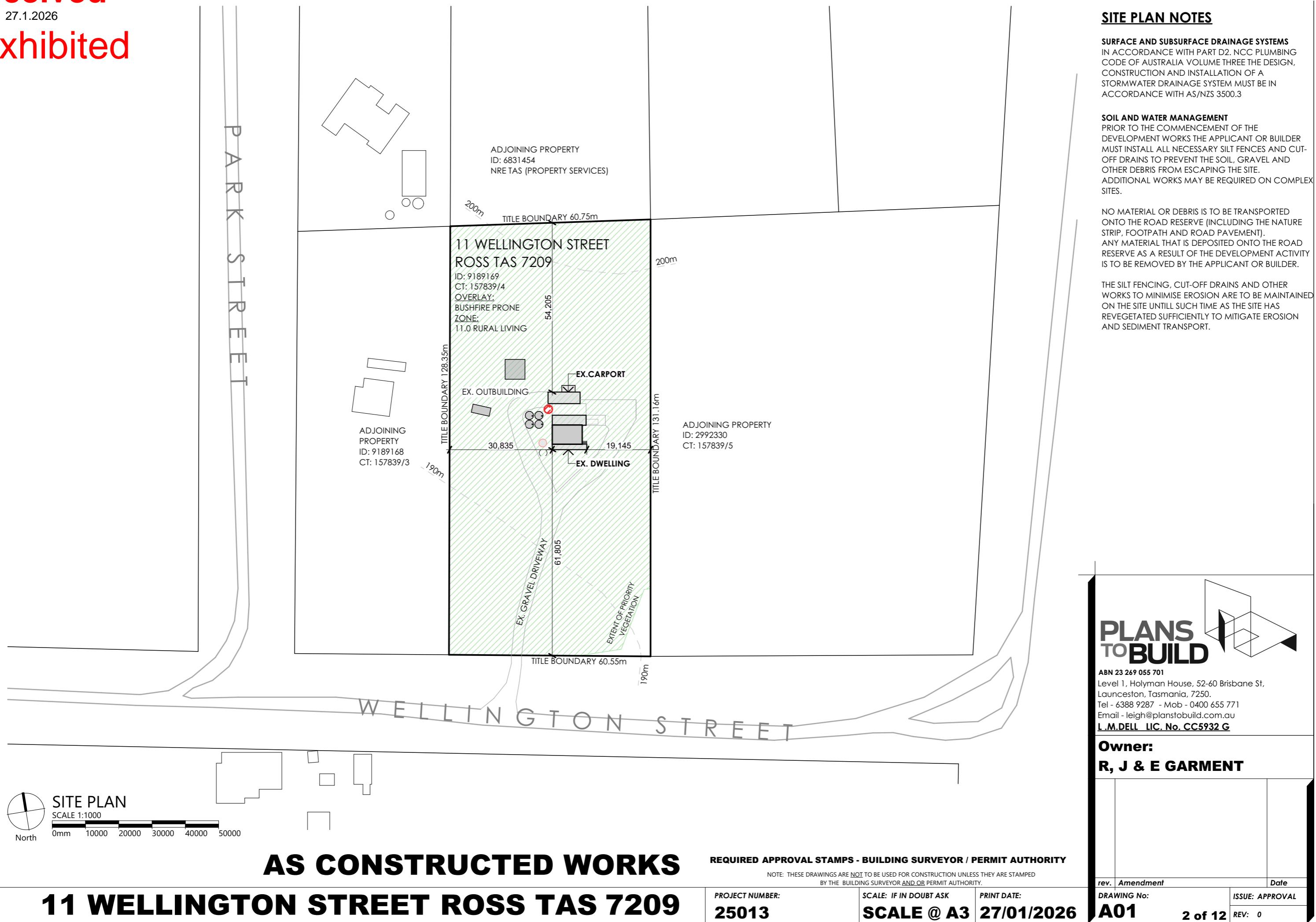
ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

| | | |
|----------------|-----------------------------|--------|
| 0. | ISSUE FOR BUILDING APPROVAL | Date |
| rev. Amendment | | |
| DRAWING NO: | ISSUE: APPROVAL | |
| A00 | 1 of 12 | REV: 0 |

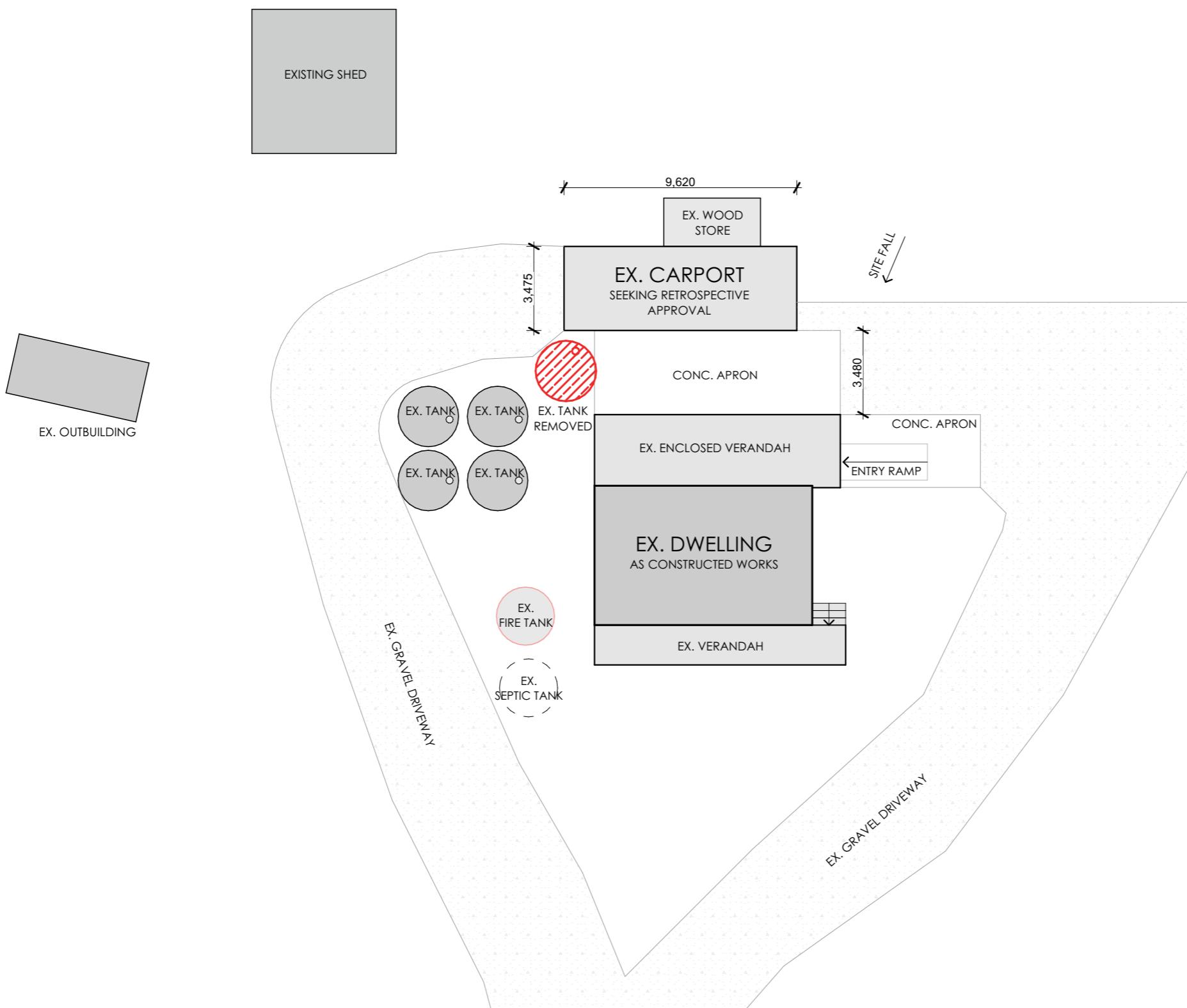
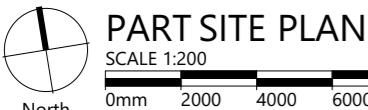
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27.1.2026

Exhibited



TITLE BOUNDARY 128.35m



AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:
25013

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
27/01/2026

SITE PLAN NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS
IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

SOIL AND WATER MANAGEMENT

PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

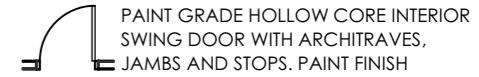
THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTIL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

TITLE BOUNDARY 131.16m

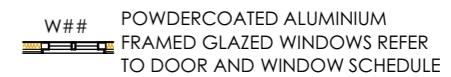
| | |
|---|-----------------|
| <p>PLANS TO BUILD ABN 23 269 055 701 Level 1, Holyman House, 52-60 Brisbane St, Launceston, Tasmania, 7250. Tel - 6388 9287 - Mob - 0400 655 771 Email - leigh@planstobuild.com.au L.M.DELL LIC. No. CC5932 G</p> | |
| <p>Owner: R, J & E GARMENT</p> | |
| rev. | Amendment |
| Date | |
| DRAWING NO: | ISSUE: APPROVAL |
| A02 | 3 of 12 REV: 0 |

FLOOR PLAN LEGEND

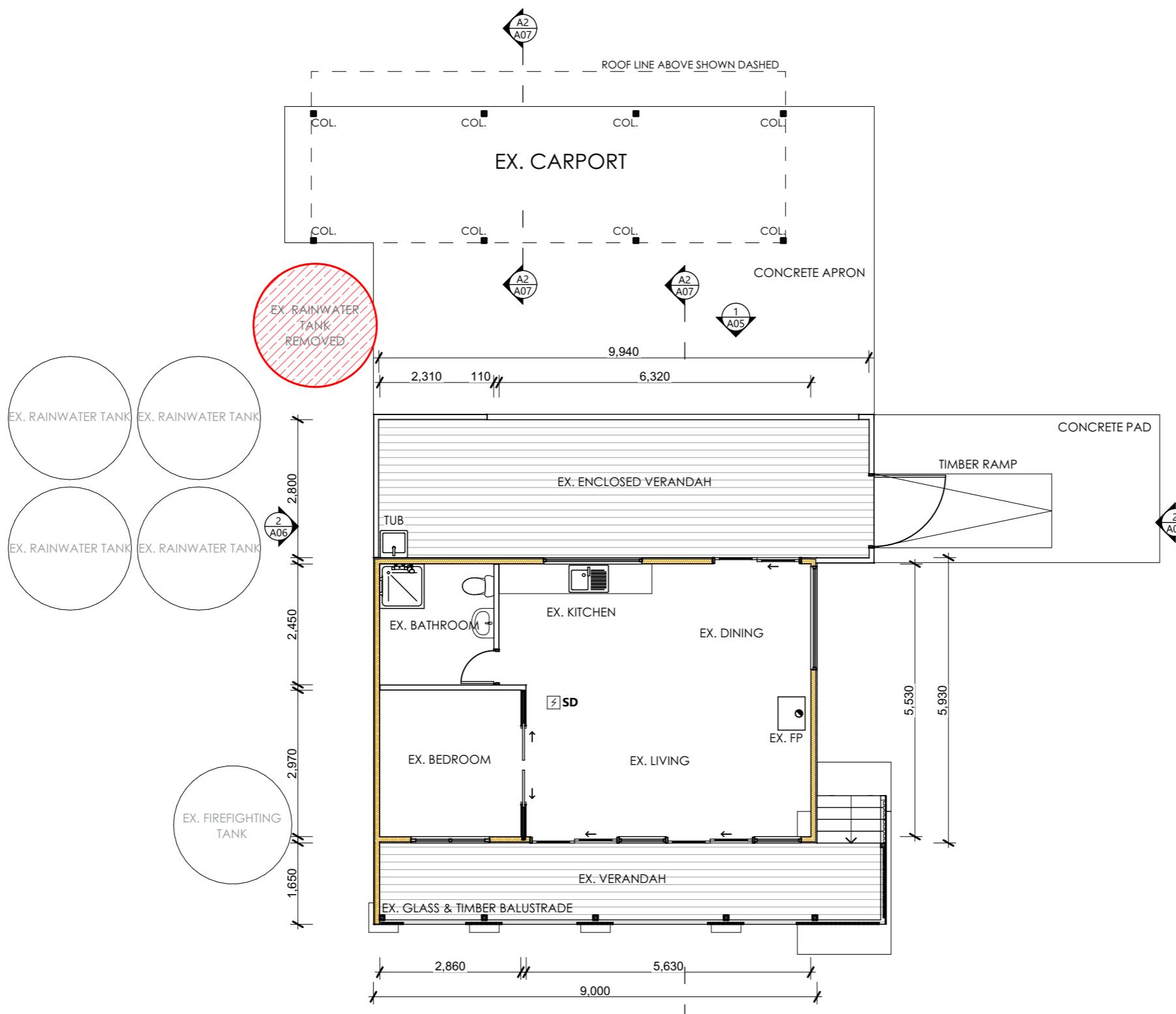
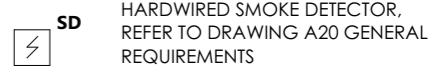
INSULATED 90x35mm MGP.10 OR .12
TIMBER STUD FRAMED WALLS, Pb LINING
INTERNAL, PAINT FINISH.
PROVIDE VAPOUR PERMEABLE BUILDING
WRAP, LAP AND TAPE ALL JOINTS.
REFER TO ELEVATIONS FOR EXTERNAL
CLADDING SELECTION.
REFER TO INSULATION SCHEDULE FOR
THERMAL REQUIREMENTS (R-VALUES)



PAINT GRADE HOLLOW CORE (SOLID
IN WET AREAS) INTERIOR CAVITY
SLIDING DOOR WITH ARCHITRAVES
AND JAMBS. PAINT FINISH



W## POWDERCOATED ALUMINIUM
FRAMED GLAZED WINDOWS REFER
TO DOOR AND WINDOW SCHEDULE
REFER TO HEALTH AND AMENITY
IN GENERAL REQUIREMENTS ON
DRAWING A20 & WATERPROOFING
TABLE ON DRAWING A19



AS CONSTRUCTED FLOOR PLAN
SCALE 1:100
Project North 0mm 1000 2000 3000 4000 5000

AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

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PROJECT NUMBER:
25013

SCALE: IF IN DOUBT ASK
SCALE @ A3 27/01/2026

PLANS TO BUILD
ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
R, J & E GARMENT

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| rev. | Amendment | Date |
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| A03 | 4 of 12 REV: 0 | |

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ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPipes SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPipes TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

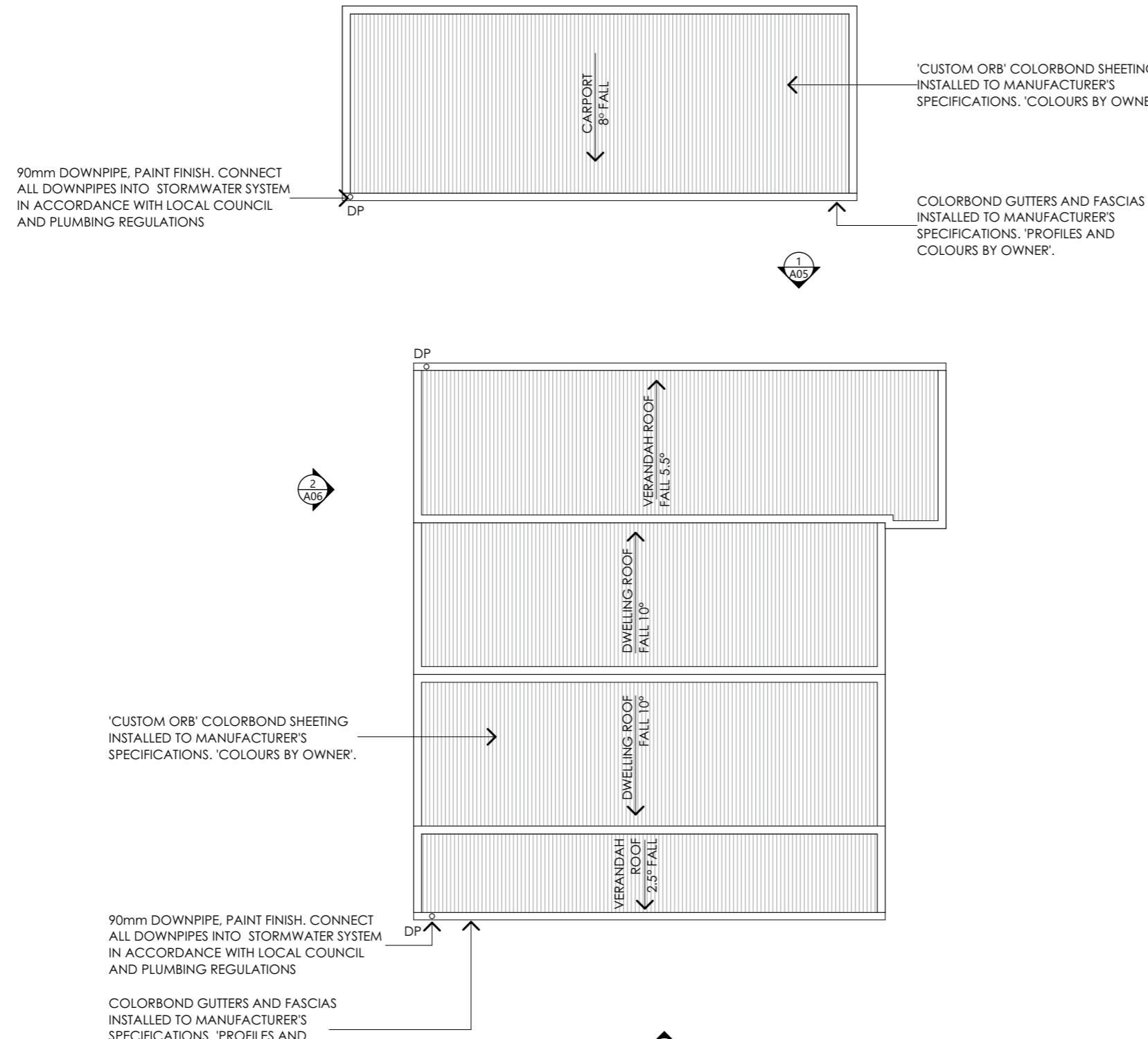
REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.

GUTTERS INSTALLED IN ACCORDANCE WITH PART 3.5.3 OF THE BCA, NCC. 1 IN 500 FALL.

BOX GUTTERS WITH 1 IN 100 FALL AND IN ACCORDANCE WITH AS/NZS 3500.3



AS CONSTRUCTED ROOF PLAN
SCALE 1:100
Project North
0mm 1000 2000 3000 4000 5000

AS CONSTRUCTED WORKS

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L.M.DELL LIC. No. CC5932 G

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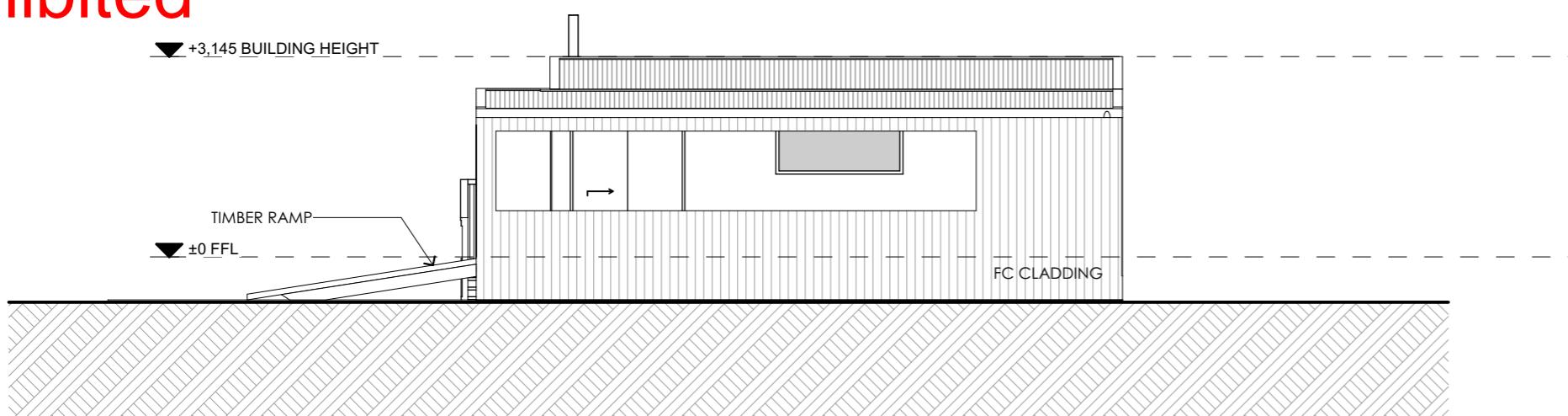
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| DRAWING NO: | ISSUE: APPROVAL | |
| A04 | 5 of 12 REV: 0 | |

ELEVATION NOTES

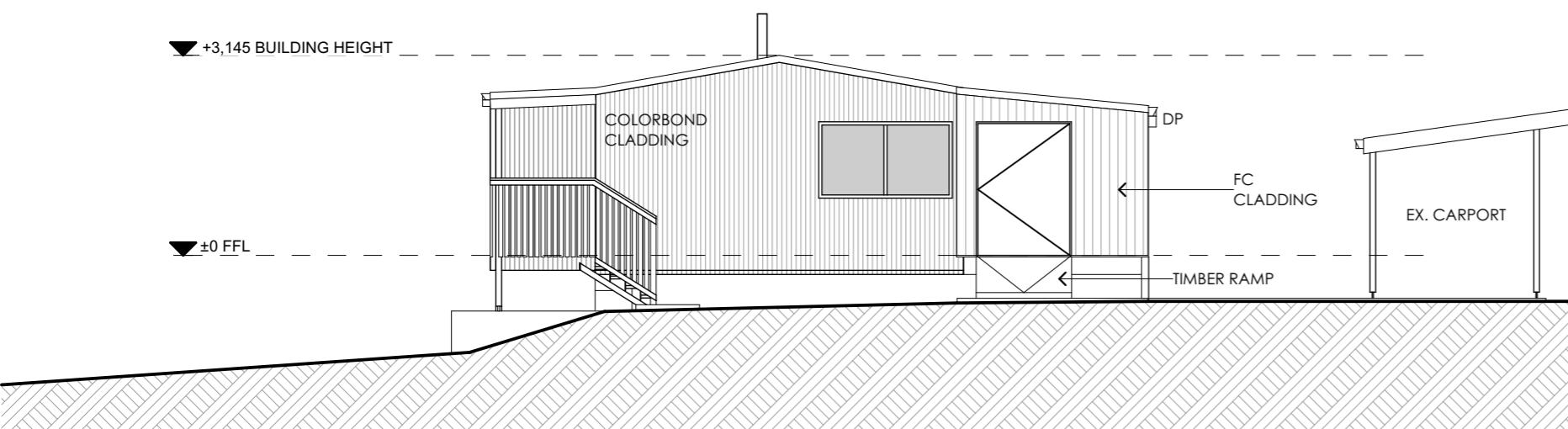
WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.

REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.



1 NORTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 EASTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

PLANS TO BUILD
ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
R, J & E GARMENT

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| DRAWING NO: | | ISSUE: APPROVAL |
| A05 | | |
| 6 of 12 | | REV: 0 |

AS CONSTRUCTED WORKS

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27.1.2026

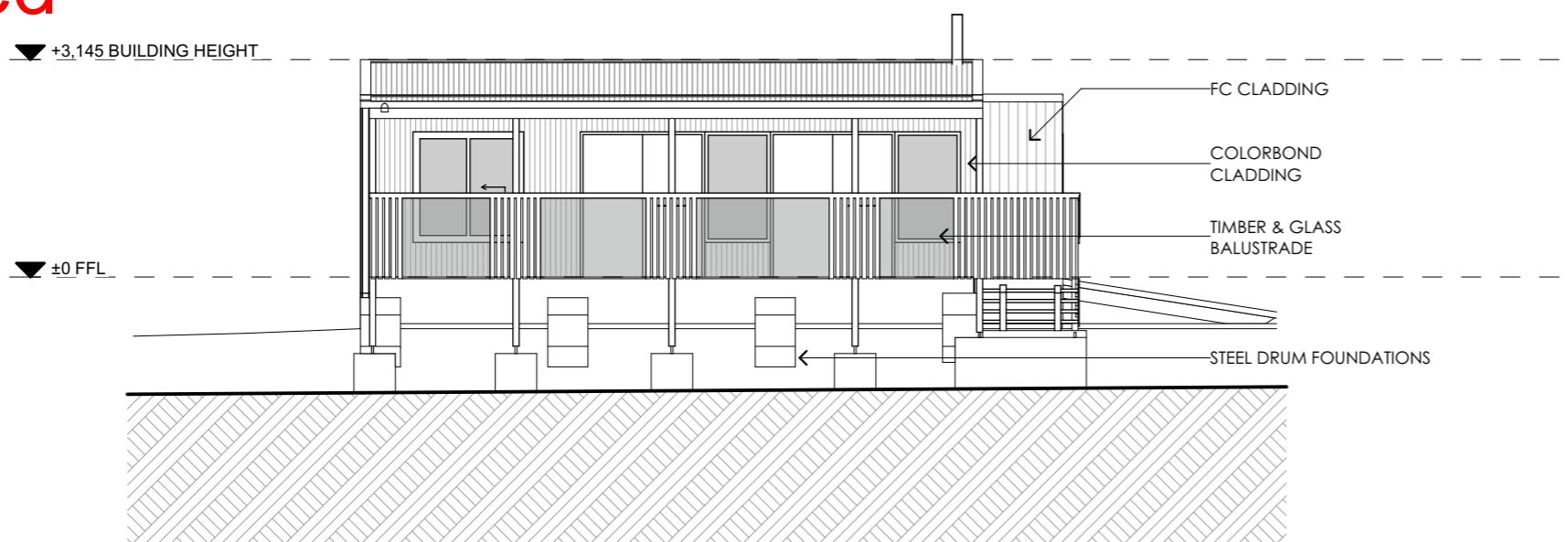
Exhibited

ELEVATION NOTES

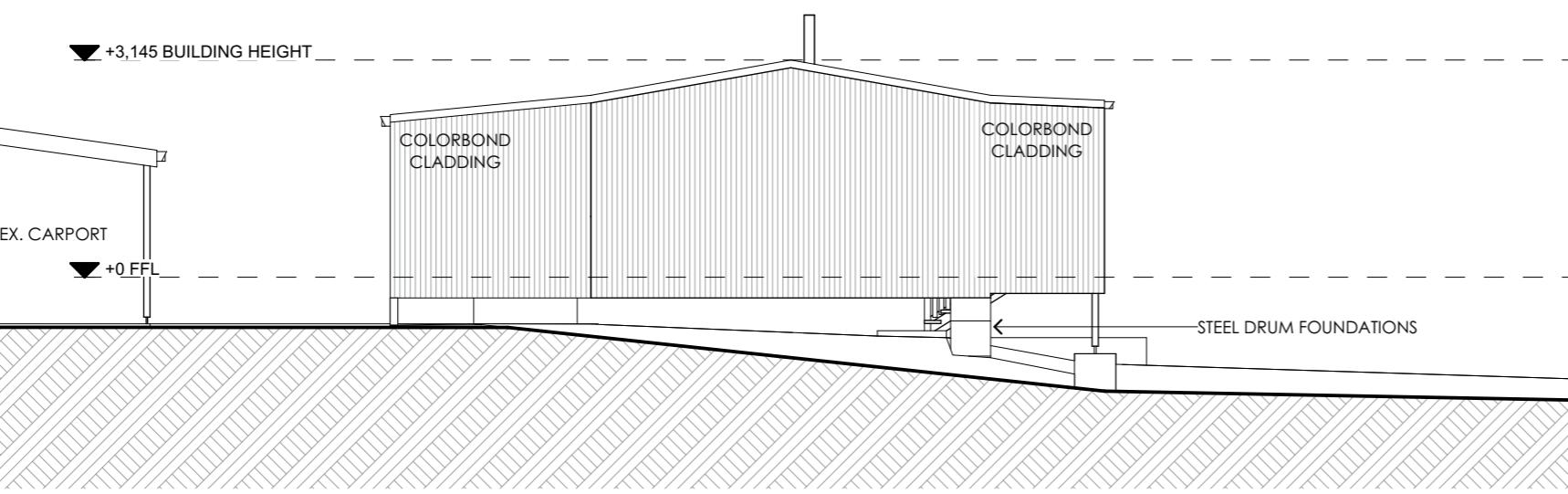
WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.

REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.



1 SOUTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

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AS CONSTRUCTED WORKS
11 WELLINGTON STREET ROSS TAS 7209

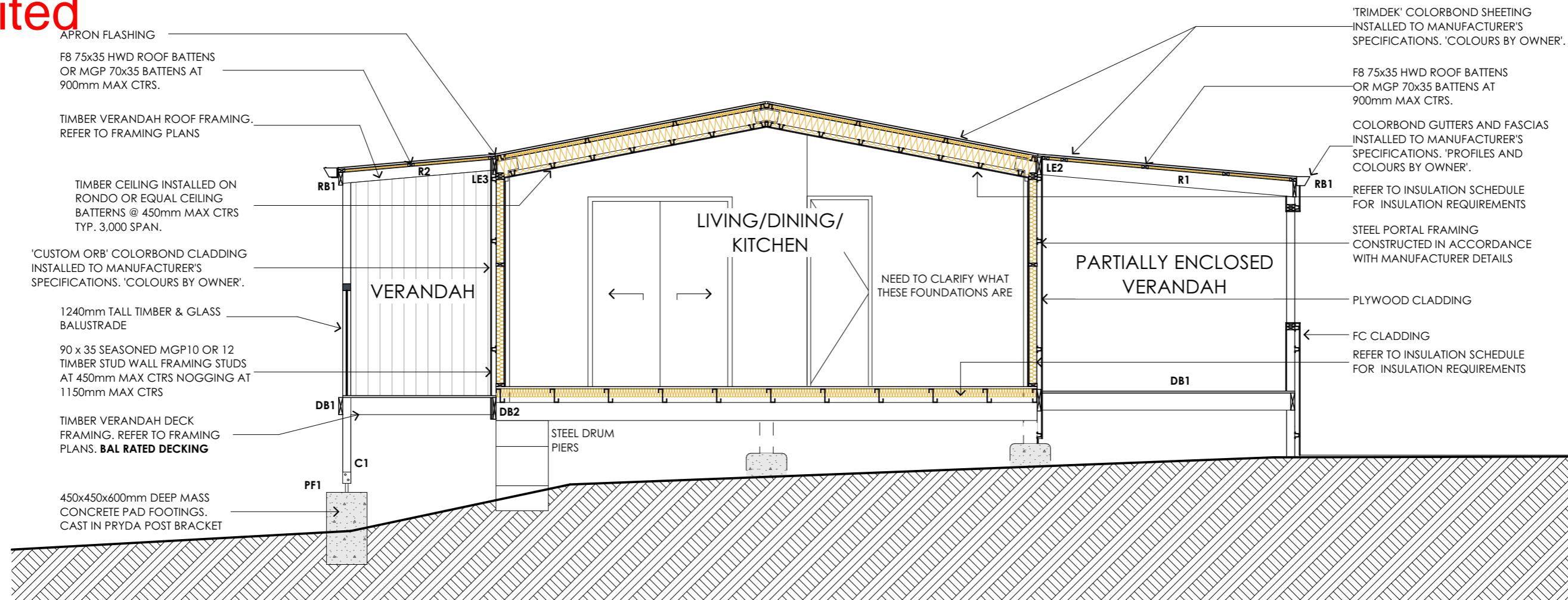
PROJECT NUMBER:
25013

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PRINT DATE:
27/01/2026

| rev. | Amendment | Date |
|-------------|-----------------------|------|
| DRAWING NO: | ISSUE: APPROVAL | |
| A06 | 7 of 12 REV: 0 | |

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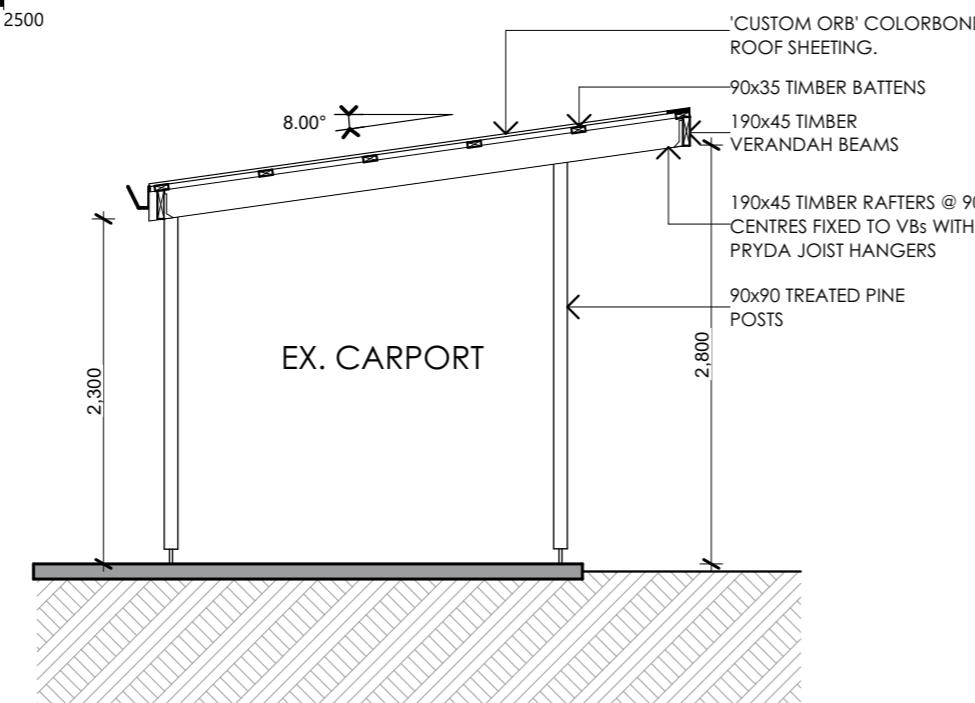


1

SECTION AA

SCALE 1:50

0mm 500 1000 1500 2000 2500



2

CARPORT SECTION AA

SCALE 1:50

0mm 500 1000 1500 2000 2500

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

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11 WELLINGTON STREET ROSS TAS 7209

PROJECT NUMBER:
25013SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:

27/01/2026

rev. Amendment
DRAWING NO: A07
ISSUE: APPROVALDate
8 of 12 REV: 0PLANS
TOBUILD

ABN 23 269 055 701
Level 1, Holymen House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.
Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au
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Owner:
R, J & E GARMENT

10.2 WET AREA WATERPROOFING TABLE AND DETAILS

10.2.1 WET AREAS

(1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
 (2) THE WATERPROOFING SYSTEM IN (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6

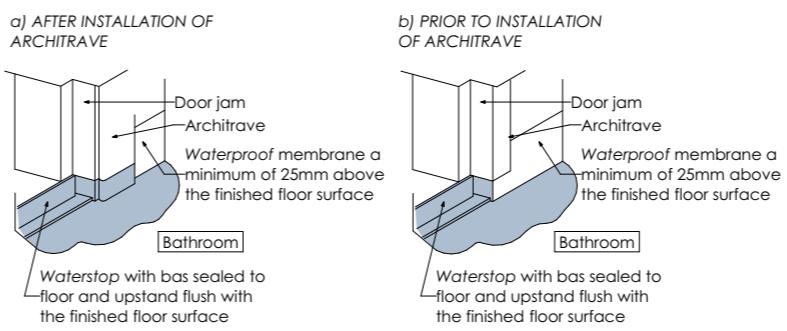
REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS TABLE (10.2.2 - 10.2.5)

| VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED | FLOORS AND HORIZONTAL SURFACES | WALLS | WALL JUNCTIONS AND JOINTS | WALL / FLOOR JUNCTIONS | PENETRATIONS | | |
|--|--|--|--|---|---|--|--|
| 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED) | | | | | | | |
| WITHOUT HOB OR STEP-DOWN | FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP DOWN | WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE | WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION | WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF | PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF | | |
| WITH PREFORMED SHOWER BASE | N/A | WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE | WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION | WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF | PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF | | |
| 10.2.3 AREA OUTSIDE SHOWER AREA | | | | | | | |
| FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING | FLOOR OF THE ROOM MUST BE WATER RESISTANT | N/A | N/A | WALL/FLOOR JUNCTIONS MUST BE- (a) WATERPROOF AND (b) WHERE A FLASHING USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm | N/A | | |
| FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | FLOOR OF THE ROOM MUST BE WATER PROOF | | | | | | |
| 10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS | | | | | | | |
| FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING | FLOOR OF THE ROOM MUST BE WATER RESISTANT | WALLS MUST BE WATER RESISTANT- TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF THE WALL; | WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL | WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL | TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES | | |
| FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | FLOOR OF THE ROOM MUST BE WATERPROOF | AND FOR ALL EXPOSED SURFACES BELOW VESSEL LIP | | | | | |
| INSERTED BATHS AND SPARS | ANY FLOOR OR HORIZONTAL SURFACE ADJOINING THE BATH OR SPA MUST BE WATERPROOF. INCLUDE WATERSTOP UNDER THE VESSEL LIP | WALLS MUST BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF A BATH OR SPA | WALL JUNCTIONS AND JOINTS MUST BE WATERPROOF WHEN WITHIN 150mm OF A BATH OR SPA | N/A | TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES | | |
| | NO REQUIREMENTS FOR THE FLOOR UNDER THE BATH OR SPA | NO REQUIREMENTS FOR THE FLOOR UNDERNEATH THE BATH OR SPA | NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA | | | | |
| NOTE: WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER. | | | | | | | |
| 10.2.5 OTHER AREAS | | | | | | | |
| LAUNDRIES AND WC'S | FLOOR OF THE ROOM MUST BE WATER RESISTANT | N/A | N/A | WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm | N/A | | |
| WALLS ADJOINING OTHER VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB) | N/A | WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL | WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL | N/A | WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT | | |
| NOTE: N/A MEANS NOT APPLICABLE. | | | | | | | |

REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS TABLE CONT. (10.2.2 - 10.2.5)

| VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED | FLOORS AND HORIZONTAL SURFACES | WALLS | WALL JUNCTIONS AND JOINTS | WALL / FLOOR JUNCTIONS | PENETRATIONS |
|--|--------------------------------------|---|--|---|--|
| 10.2.5 OTHER AREAS CONT. | | | | | |
| WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS | FLOOR OF THE ROOM MUST BE WATERPROOF | WALLS MUST BE WATERPROOF IN WC AREA WITHIN A 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE FLOOR SUBSTRATE; AND | WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF | WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF | PENETRATIONS IN THE WC AREA MUST BE WATERPROOF |

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING



AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

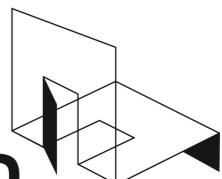
REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:
25013SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:

27/01/2026



PLANS
TOBUILD
ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
Launceston, Tasmania, 7250.Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planto build.com.au
L.M.DELL LIC. No. CC5932 G

Owner:

R, J & E GARMENT

rev. Amendment

Date

DRAWING NO:
A08ISSUE: APPROVAL
9 of 12
REV: 0

10.2 WET AREA WATERPROOFING NOTES

REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS NOTES (10.2.6 -

10.2.6 WATERPROOFING SYSTEMS

(2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.

(3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

10.2.7 MATERIALS

WHERE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.6, MATERIALS USED IN WET AREAS FORMING A WATERPROOFING SYSTEM MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.8 AND 10.2.9

10.2.8 MATERIALS - WATERPROOF

THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:

- (a) STAINLESS STEEL
- (b) FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS
- (c) MEMBRANES COMPLYING WITH AS/NZS 4858
- (d) WATERPROOF SEALANT

10.2.9 MATERIALS - WATER RESISTANT SUBSTRATES

THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:

(a) FOR WALLS:

- (i) CONCRETE COMPLYING WITH AS 3600, TREATED TO RESIST MOISTURE MOVEMENT
- (ii) CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT
- (iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2
- (iv) WATER RESISTANT PLASTERBOARD SHEETING
- (v) MASONRY IN ACCORDANCE WITH AS 3700, TREATED TO RESIST MOISTURE MOVEMENT

(b) FOR FLOORS:

- (i) CONCRETE COMPLYING WITH AS 3600
- (ii) CONCRETE SLABS COMPLYING WITH AS 2870
- (iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR

10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS

THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:

(a) FOR WALLS:

- (i) THERMOSETTING LAMINATE
- (ii) PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2
- (iii) TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9
- (iv) WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9
- (v) SANITARY GRADE ACRYLIC LININGS

10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS CONT.

(b) FOR FLOORS, WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

- (i) TILES
- (ii) WATER RESISTANT FLEXIBLE SHEET FLOORING MATERIAL WITH SEALED JOINTS

(c) CONCRETE TREATED TO RESIST MOISTURE MOVEMENT

10.2.11 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SUBSTRATE MATERIALS

MATERIALS USED IN WALL AND FLOOR SUBSTRATES MUST COMPLY WITH 10.2.9

10.2.12 CONSTRUCTION OF WET AREAS - FALLS

WHERE A FLOOR WASTE IS INSTALLED-

- (a) THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND
- (b) THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50

10.2.13 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SURFACE MATERIALS

WALL AND FLOOR SURFACE MATERIALS MUST COMPLY WITH 10.2.10

10.2.14 SHOWER AREA REQUIREMENTS

SHOWER AREAS MUST BE DESIGNED AS EITHER ENCLOSED OR UNENCLOSED -

- (a) TO INCLUDE A FLOOR WASTE WITH FALLS COMPLYING WITH 10.2.12 AND
- (b) WITH A-

- (i) STEPDOWN COMPLYING WITH 10.2.15; OR
- (ii) HOB COMPLYING WITH 10.2.16; OR
- (iii) LEVEL THRESHOLD COMPLYING 10.2.17

10.2.15 STEPDOWN SHOWERS

FOR STEPDOWN SHOWERS, THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA MUST BE STEPPED DOWN A MINIMUM OF 25mm LOWER THAN THE FINISHED FLOOR LEVEL OUTSIDE THE SHOWER

10.2.16 HOB CONSTRUCTION

- (1) HOB MUST BE CONSTRUCTED OF-

- (a) MASONRY; OR
- (b) CONCRETE; OR
- (c) AUTOCLAVED AERATED CONCRETE; OR
- (d) EXTRUDED POLYURETHANE FOAM,

- (2) ALL GAPS, JOINTS AND INTERSECTIONS OF THE HOB SUBSTRATE MUST BE MADE FLUSH BEFORE APPLICATION OF A MEMBRANE

- (3) HOB MUST BE ADEQUATELY SECURED TO THE FLOOR AND SEALED AGAINST THE WALL PRIOR TO APPLYING A MEMBRANE

- (4) TIMBER MUST NOT BE USED FOR HOB CONSTRUCTION

10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS

THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:

(a) FOR WALLS:

- (i) THERMOSETTING LAMINATE

- (ii) PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2

- (iii) TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

- (iv) WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

- (v) SANITARY GRADE ACRYLIC LININGS

10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS CONT.

(b) FOR FLOORS, WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

(i) TILES

(ii) WATER RESISTANT FLEXIBLE SHEET FLOORING MATERIAL WITH SEALED JOINTS

(c) CONCRETE TREATED TO RESIST MOISTURE MOVEMENT

10.2.11 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SUBSTRATE MATERIALS

MATERIALS USED IN WALL AND FLOOR SUBSTRATES MUST COMPLY WITH 10.2.9

10.2.12 CONSTRUCTION OF WET AREAS - FALLS

WHERE A FLOOR WASTE IS INSTALLED-

- (a) THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND
- (b) THE MAXIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50

10.2.13 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SURFACE MATERIALS

WALL AND FLOOR SURFACE MATERIALS MUST COMPLY WITH 10.2.10

10.2.14 SHOWER AREA REQUIREMENTS

SHOWER AREAS MUST BE DESIGNED AS EITHER ENCLOSED OR UNENCLOSED -

- (a) TO INCLUDE A FLOOR WASTE WITH FALLS COMPLYING WITH 10.2.12 AND
- (b) WITH A-

- (i) STEPDOWN COMPLYING WITH 10.2.15; OR
- (ii) HOB COMPLYING WITH 10.2.16; OR
- (iii) LEVEL THRESHOLD COMPLYING 10.2.17

10.2.15 STEPDOWN SHOWERS

FOR STEPDOWN SHOWERS, THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA MUST BE STEPPED DOWN A MINIMUM OF 25mm LOWER THAN THE FINISHED FLOOR LEVEL OUTSIDE THE SHOWER

10.2.16 HOB CONSTRUCTION

- (1) HOB MUST BE CONSTRUCTED OF-

- (a) MASONRY; OR
- (b) CONCRETE; OR
- (c) AUTOCLAVED AERATED CONCRETE; OR
- (d) EXTRUDED POLYURETHANE FOAM,

- (2) ALL GAPS, JOINTS AND INTERSECTIONS OF THE HOB SUBSTRATE MUST BE MADE FLUSH BEFORE APPLICATION OF A MEMBRANE

- (3) HOB MUST BE ADEQUATELY SECURED TO THE FLOOR AND SEALED AGAINST THE WALL PRIOR TO APPLYING A MEMBRANE

- (4) TIMBER MUST NOT BE USED FOR HOB CONSTRUCTION

10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS

THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:

(a) FOR WALLS:

- (i) THERMOSETTING LAMINATE

- (ii) PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2

- (iii) TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

- (iv) WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9

- (v) SANITARY GRADE ACRYLIC LININGS

CONT. NEXT COLUMN

10.2.18 UNENCLOSED SHOWERS

(1) UNENCLOSED SHOWERS MUST BE CONSTRUCTED AS FOLLOWS:

(a) A WATERSTOP MUST BE INSTALLED A MINIMUM HORIZONTAL DISTANCE OF 1500mm FROM THE SHOWER ROSE

(b) THE VERTICAL LEG OF THE WATERSTOP MUST FINISH-

(i) FLUSH WITH THE TOP SURFACE OF THE FLOOR; AND

(ii) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED-

(a) THE JUNCTION MUST BE WATERPROOF; OR

(b) THE WHOLE WET AREA FLOOR MUST BE WATERPROOFED AND DRAINED TO A FLOOR WASTE AS FOR THE SHOWER AREA

(c) CONCRETE TREATED TO RESIST MOISTURE MOVEMENT

10.2.19 PREFORMED SHOWER BASES

PREFORMED SHOWER BASES MUST-

(a) HAVE AN UPTURN LIP; AND

(b) BE RECESSED INTO THE WALL TO ALLOW THE WATER RESISTANT SURFACE MATERIALS AND SUBSTRATE MATERIALS TO PASS DOWN INSIDE THE PERIMETER UPTURN LIP OF THE SHOWER BASE; AND

(c) BE SUPPORTED TO PREVENT DISTORTION OR CRACKING

10.2.20 BATHS AND SPAS

BATHS AND SPAS, EXCEPT FREESTANDING BATHS AND SPAS, MUST-

(a) HAVE AN UPTURN LIP; AND

(b) BE RECESSED INTO THE WALL; AND

(c) HAVE THE WATER RESISTANT SUBSTRATE MATERIALS OF THE WALL PASS DOWN INSIDE THE UPTURN LIP

10.2.21 MEMBRANE INSTALLATION FOR SCREED

WHERE A SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED

10.2.22 SUBSTRATE SURFACE PREPARATION FOR APPLICATION OF MEMBRANE

THE SUBSTRATE SURFACE WHERE A MEMBRANE IS TO BE APPLIED MUST-

(a) BE CLEAN AND DUST FREE; AND

(b) FREE OF INDENTATIONS AND IMPERFECTIONS

10.2.23 PENETRATIONS

PENETRATIONS WITHIN SHOWER AREAS MUST COMPLY WITH THE FOLLOWING:

(a) PENETRATIONS FOR TAPS, SHOWER NOZZLES AND THE LIKE MUST BE WATERPROOFED BY SEALING WITH-

(i) SEALANTS; OR

(ii) PROPRIETARY FLANGE SYSTEMS; OR

(iii) A COMBINATION OF (i) AND (ii)

CONT. NEXT COLUMN

10.2.23 PENETRATIONS CONT.

(b) THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL

(c) THE FOLLOWING MUST BE WATERPROOFED:

(i) ALL PENETRATIONS DUE TO MECHANICAL FIXINGS OR FASTENINGS OF SUBSTRATE MATERIALS

Exhibited**CORROSION TABLE**

Corrosion protection for fixings. Defined in
AS/NZS 2312.2 and described in AS 4312

| Category (ISO) | Generic Examples |
|---|---|
| C2 Arid/urban inland | Most areas of Australia at least 50km from the coast. Inland 3 - 6km for a less sheltered bay or gulf. Can extend to within 1km from quiet, sheltered seas. |
| Fixings in accordance with category above or better | |

Table 3.5.1.1 Acceptable corrosion protection for metal sheeting

| Environment | Location | Minimum metal coating in accordance with AS 1397: Metallic coated steel | Minimum metal coating in accordance with AS 1397: Metallic and organic coated steel |
|---|---|--|---|
| Low (Mild steel corrosion rate 1.3 to 25 µm/y) | Typically remote inland areas or more than 1 km from sheltered bays | Z450 galvanised or AZ150 aluminium/zinc or AM125 aluminium/zinc or AM100 aluminium/zinc/ magnesium | Z275 galvanised or AZ150 aluminium/zinc or AM100 aluminium/zinc/ magnesium |

Table 6.3.9a Minimum protective coatings for structural steel members

| Environment | Location | Minimum metal coating: Option 1 (Hot dip galvanising) | Option 2 (Hot dip galvanising) | Option 3 (Paint) see Table 6.3.9b |
|---|--|--|--------------------------------|-----------------------------------|
| Low (Mild steel corrosion rate 1.3 to 25 µm/y) | Typically remote inland areas or more than 1km from sheltered bays | HDG75 | - | ACL2, ACC2, IZS1, PUR2A |

Received

27.1.2026

INSULATION SCHEDULE (BCA 3.12)

Region:- **C**
Climate Zone:- **7.**

WALLS

R- Value Min:- **R- 2.8**
R-Value of wall materials:- R- 0.42
Reflective wall insulation:- R- 0.05
Combined wall insulation:- R- 2.50

R- Value Walls Total:- **R- 2.97**

ROOF

R- Value Min:- **R- 5.1 - Upward**
R-Value of roof materials:- R- 0.21
Foil backed 50mm thick insulation blanket R- 1.00
Bulk Ceiling insulation batts:- R- 4.10 (min)

R- Value Roof Total:- **R- 5.31**

FLOORS

R- Value Floor Min:- **R- 2.75 - Downward**
R-Value of Floor materials:- R- 0.51
Added Floor insulation:- R- 2.5

R- Value Floor Total:- **R- 3.01**

AS CONSTRUCTED WORKS**11 WELLINGTON STREET ROSS TAS 7209****REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY**

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED
BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:
25013

SCALE: IF IN DOUBT ASK
SCALE @ A3

PRINT DATE:
27/01/2026

**PLANS
TOBUILD**

ABN 23 269 055 701
Level 1, Holyman House, 52-60 Brisbane St,
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Tel - 6388 9287 - Mob - 0400 655 771
Email - leigh@planto build.com.au
L.M.DELL LIC. No. CC5932 G

Owner:
R, J & E GARMENT

| | | |
|-------------|------------|-----------------|
| | | |
| rev. | Amendment | Date |
| DRAWING NO: | A10 | ISSUE: APPROVAL |

11 of 12

REV: 0

HOUSING PROVISIONS

2 STRUCTURE

STRUCTURAL PROVISIONS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, STRUCTURAL PROVISIONS ARE TO BE IN STRICT COMPLIANCE WITH PARTS 2.2.1-2.2.5 OF THE BCA. REFER ALSO TO ENG'R'S DRAWINGS FOR DETAILS.

3 SITE PREPARATION

3.2 EARTHWORKS

CONTACT BEFORE YOU DIG TO LOCATE UNDERGROUND SERVICES. THE BUILDER SHALL PROVIDE TEMPORARY SHORING FOR ANY EXCAVATION WORK WITHIN 1m FROM THE TITLE BOUNDARY. ANY EXCAVATION DEPTH OVER 1m IN HEIGHT FROM NATURAL GROUND SHOULD BE REFERRED TO THE THE ENGINEER TO CONFIRM THE STABILITY OF THE SURROUNDING GROUND. PROVIDE SILT FENCING TO LOCAL COUNCIL GUIDELINES.

3.3 DRAINAGE

REFER TO PLUMBING NOTES

3.4 TERMITE RISK MANAGEMENT

TERMITE RISK MANAGEMENT NOT APPLICABLE FOR TASMANIAN WORKS

4 FOOTINGS AND SLABS

4.2 FOOTINGS, SLABS AND ASSOCIATED ELEMENTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL FOOTINGS AND SLABS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS: 2870 OR AS 2159 AS APPROPRIATE AND THE REQUIREMENTS OF PARTS 4.2.1 - 4.2.22

5 MASONRY

5.2 MASONRY VENEER

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.2.1 - 5.2.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

5.3 CAVITY MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CAVITY MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.3.1 - 5.3.7 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

5.4 UNREINFORCED SINGLE LEAF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL UNREINFORCED SINGLE LEAF MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.4.1 - 5.4.5 OF THE BCA AND AUSTRALIAN STANDARD AS: 3700 AND AS: 4773

5.5 ISOLATED PIERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ISOLATED PIERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS: 3700 OR AS: 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA PARTS 5.5.1 - 5.5.6

5 MASONRY

5.6 MASONRY COMPONENTS & ACCESSORIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.6.1 - 5.6.8 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

5.7 WEATHERPROOFING OF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.7.1 - 5.7.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

6 FRAMING

6.2 SUB-FLOOR VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SUB FLOOR VENTILATION SHALL BE IN STRICT COMPLIANCE WITH PARTS 6.2.1 OF THE BCA AND AUSTRALIAN STANDARDS AS: 1684 (PARTS 1,2,3 & 4)

6.2 STRUCTURAL STEEL MEMBERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL STRUCTURAL STEEL MEMBERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS APPROPRIATE AND THE REQUIREMENTS OF THIS HOUSING PROVISION PARTS 6.3.1 - 6.3.9

7 ROOF AND WALL CLADDING

7.2 SHEET ROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL SHEET ROOF CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.2.1 - 7.2.8

7.3 ROOF TILES AND SHINGLES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL ROOF TILES AND SHINGLES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

7.4 GUTTERS AND DOWNPPIPES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GUTTERS AND DOWNPPIPES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

7.5 TIMBER AND COMPOSITE WALL CLADDING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL TIMBER AND COMPOSITE WALL CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.5.1 - 7.5.8

8 GLAZING

8.2 WINDOWS AND EXTERNAL GLAZED DOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL WINDOWS AND GLAZED DOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.2.1 - 8.2.2

8.3 GLASS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLASS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.3.1 - 8.2.3 AND AUSTRALIAN STANDARDS AS: 1288 AS 1170.1 AS 2047 AND AS/NZS 5601.

REFER ALSO GLAZING CALCULATOR AND OR ENGERY REPORT (SHGC AND U VALUES) REFER ALSO TO BAL (BUSHFIRE) REQUIREMENTS.

8.4 GLAZING HUMAN IMPACT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLAZING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.4.1 - 8.4.8 AND AUSTRALIAN STANDARDS AS: 1288 AS 1170.1 AS 2047 AND AS/NZS 5601.

9 FIRE SAFETY

9.2 FIRE SEPARATION OF EXTERNAL WALLS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE SEPARATION OF EXTERNAL WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.2.1 - 9.2.10

9.3 FIRE PROTECTION OF SEPERATING WALLS AND FLOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF WALLS AND FLOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.3.1 - 9.3.4

9.4 FIRE PROTECTION OF GARAGE TOP DWELLINGS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF GARAGE TOP DWELLINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.4.1 - 9.4.2

9.5 SMOKE ALARMS AND EVACUATION LIGHTING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SMOKE ALARMS (1a & 1b) AND EVACUATION LIGHTING (1b) SHALL BE IN STRICT ACCORDANCE WITH PARTS 9.5.1 - 9.5.5

10 HEALTH AND AMENITY

10.2 WET AREA WATERPROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WET AREA WATERPROOFING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.2.1 - 10.2.32 AND AUSTRALIAN STANDARDS AS: 3740 AND AS/NZS:4858

10.3 ROOM HEIGHTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL ROOM HEIGHTS ARE TO IN ACCORDANCE WITH 10.3.1.

10 HEALTH AND AMENITY

10.4 FACILITIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL REQUIRED FACILITIES ARE TO IN ACCORDANCE WITH 10.4.1 - 10.4.2

10.5 LIGHT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL NATURAL AND ARTIFICIAL LIGHTING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.5.1 - 10.5.2

10.6 VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL VENTILATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.6.1 - 10.6.3

10.7 SOUND INSULATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SOUND INSULATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.7.1 - 10.7.7

10.8 CONDENSATION MANAGEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CONDENSATION MANAGEMENT SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.8.1 - 10.8.3

11 SAFE MOVEMENT AND ACCESS

11.2 STAIR AND RAMP CONSTRUCTION

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PARTS 11.2.1 - 11.2.6

11.3 BARRIERS AND HANDRAILS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL BARRIERS AND HANDRAILS SHALL BE IN ACCORDANCE WITH PARTS 10.4 - 10.4.3

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, 13 ENERGY EFFICIENCY SHALL BE IN STRICT ACCORDANCE WITH PARTS 13.1 - 13.7

12 ANCILLARY PROVISIONS

12.2 CONSTRUCTION IN ALPINE AREAS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO CONSTRUCTION IN ALPINE AREAS SHALL BE IN ACCORDANCE WITH PARTS 12.2.1 - 12.2.4

12.3 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO THE ATTACHEMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE SHALL BE IN STRICT ACCORDANCE WITH PARTS 12.3.1 - 12.3.4

12.4 HEATING APPLIANCES, FIRE PLACES, CHIMNEY AND FLUES

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, DOMESTIC SOLID FUEL BURNING APPLIANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH AS/NZS 2918, AND HEATING APPLIANCES INSTALLED IN STRICT ACCORDANCE WITH PART 12.4. REFER ALSO TO RELEVANT DETAILS

3.12 ENERGY EFFICIENCY

3.12.1 BUILDING FABRIC

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING FABRIC SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.1

3.12.2 EXTERNAL GLAZING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, EXTERNAL GLAZING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.2

3.12.3 BUILDING SEALING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING SEALING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.3

3.12.4 CEILING FANS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, CEILING FANS SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.4

3.12.5 SERVICES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.5

3.12.6 AIR MOVEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.6

PLUMBING CODE

B - WATER SERVICES

COLD WATER SERVICES

IN ACCORDANCE WITH PART B1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF COLD WATER SERVICES MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. BACKFLOW SHALL BE INSTALLED TO ALL COLD WATER SUPPLY IN ACCORDANCE WITH AS/NZS 2845. WATER SUPPLY PRESSURE SHALL BE SET TO MAXIMUM 500kpa

HEATED WATER SERVICES

IN ACCORDANCE WITH PART B2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A HEATED WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.4 OR SECTION 3 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. HEATED WATER MUST BE STORED AT A MINIMUM OF 60°. HEATED WATER SHALL BE TEMPERED TO 50° TO ALL SANITARY FIXTURES FOR PERSONAL HYGIENE PURPOSES. HEATED WATER SHALL BE DELIVERED AT 60° FOR KITCHEN AND LAUNDRY FIXTURES.

C - SANITARY PLUMBING AND DRAINAGE SYSTEMS

SANITARY PLUMBING AND DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A SANITARY PLUMBING SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.2 OR SECTION 4 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART

ROOF DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3