

# Exhibited

This planning application is open for  
public comment until  
23 February 2026

Reference no	<b>PLN-25-0194</b>
Site	<b>11 WELLINGTON STREET ROSS</b>
Proposed Development	<b>Retrospective dwelling alterations, outbuilding and driveway works</b>
Zone	<b>11.0 Rural Living</b>
Use class	<b>Residential</b>

Written representations may be made during this time to the General Manager;  
mailed to PO Box 156, Longford, Tasmania 7301,  
delivered to Council offices or  
a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

(no special form required)



# Exhibited

## PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

### The Proposal

**Description of proposal:** Single bedroom dwelling and detached carport

**Driveway construction material:**

Gravel

### The Land

**Site address:**

11 Wellington Street

Ross

**Title reference:**

C/T: Lot 4, Plan 157839

**Existing buildings on site:**

Single bedroom Dwelling, Carport, Storage shed, Shipping container

**Existing use of site:**

Residential

**Applicant justification of any variation/discretion to the  
Tasmanian Planning Scheme – Northern Midlands**

<b>OWNER</b>  FOLIO REFERENCE 295723-1  GRANTEE WHOLE OF LOT 3 0-1-95, LOT 4 0-1-95 & LOT 5 0-1-95 STD. TO PHILLIP DAKELY FISH		<b>PLAN OF TITLE</b>  LOCATION TOWN OF ROSS (SECTION 6g)  FIRST SURVEY PLAN No. 83/49 COMPILED BY L.D.R.B.  SCALE 1:1500 LENGTHS IN METRES		Registered Number  <b>P.157839</b>  APPROVED 24 SEP 2009 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 123 (5474-2L 70)	LAST UPD No FWD79	LAST PLAN No. P.295723	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 3 5944m<sup>2</sup>

LOT 4 7841m<sup>2</sup>

LOT 5 1.351ha

PARK STREET

PORTUGAL STREET

WELLINGTON STREET

WATERLOO STREET

(P.15864)

(P.246673)

(P.246677)

(P.206900)

(P.295715)

(D.19390)

(P.55642)

Exhibited

Received

27.1.2026

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY  
NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY

AS CONSTRUCTED WORKS  
at 11 WELLINGTON STREET ROSS TAS 7209  
for R, J & E GARMENT

PROJECT NUMBER:  
**25013**

PROPERTY ID:  
**9189169**

LAND TITLE, VOLUME & FOLIO  
**CT - 157839/4**

SITE AREA:  
7841m2

FLOOR AREAS:  
EXISTING BUILDING FLOOR AREA - 54m²

COUNCIL:  
NORTHERN MIDLANDS

SCHEME / ZONE:  
11.0 RURAL LIVING

SCHEME / ZONE OVERLAYS:  
BUSHFIRE PRONE  
PRIORITY VEGETATION

SITE CLASSIFICATION:

WIND CLASSIFICATION: N2

BUSHFIRE ATTACK LEVEL: BAL 12.5

TERRAIN CLASSIFICATION: TC2

WIND REGION: A3

CLIMATE ZONE: 7

CORROSION ENVIRONMENT: LOW

ALPINE AREA: N/A

PRINT DATE:  
**03/07/2025**



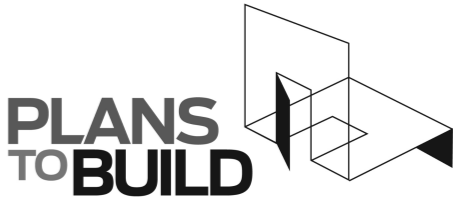
LOCATION PLAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SITE PLAN
- A02 PART SITE PLAN
- A03 AS CONSTRUCTED FLOOR PLAN
- A04 ROOF PLAN
- A05 ELEVATIONS
- A06 ELEVATIONS
- A07 SECTION AA
- A08 WATERPROOFING TABLE & DETAILS
- A09 WATERPROOFING NOTES
- A10 CORROSION & INSULATION TABLE
- A11 HOUSING PROVISIONS



MEMBER  
you're in good hands



ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**GENERAL NOTES:**

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

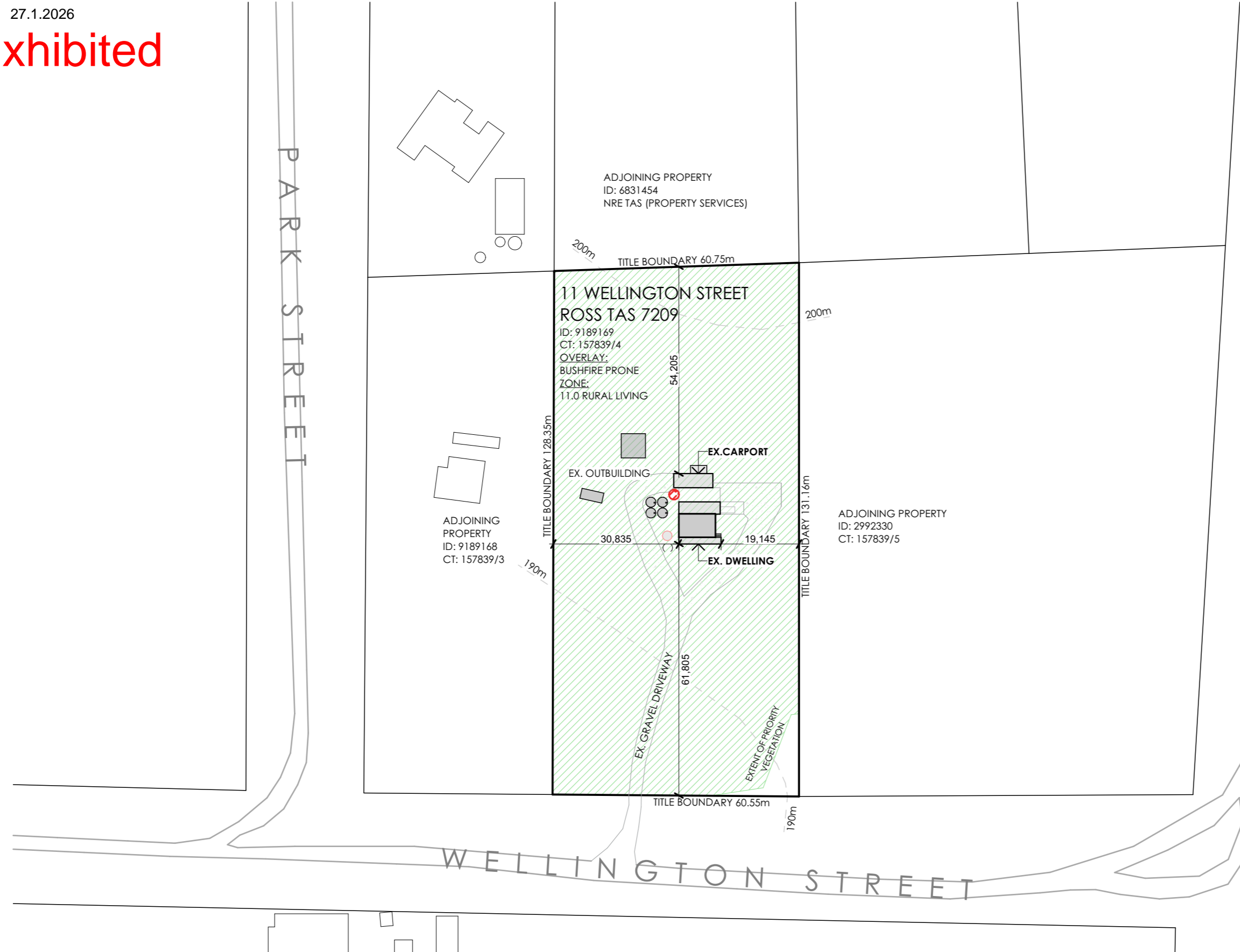
THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD, AND CODEMARK & WATERMARK COMPLIANCES.

0. ISSUE FOR BUILDING APPROVAL		Date
rev.	Amendment	Date
DRAWING No:		ISSUE: APPROVAL
<b>A00</b>		REV: 0
1 of 12		



SITE PLAN NOTES

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

**SOIL AND WATER MANAGEMENT**  
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

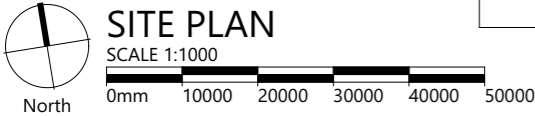
THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.

PLANS  
TOBUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

Owner:  
**R, J & E GARMENT**

rev.	Amendment	Date
DRAWING No:		ISSUE: APPROVAL
A01		REV: 0
2 of 12		



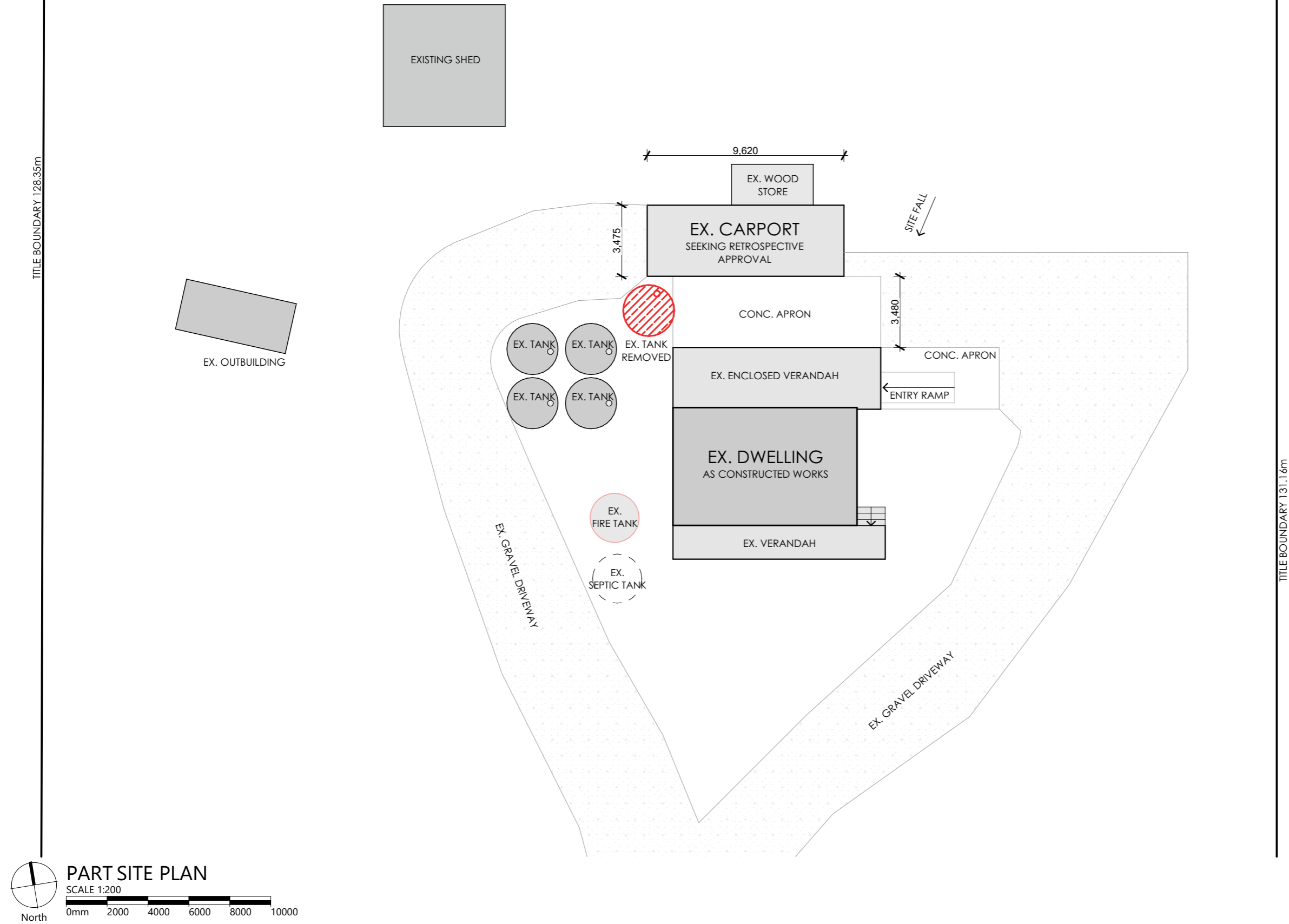
AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER: <b>25013</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>27/01/2026</b>
---------------------------------	---	----------------------------------



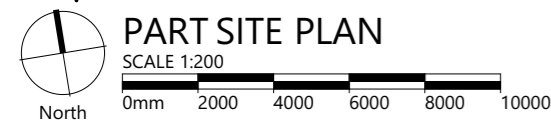
SITE PLAN NOTES

**SURFACE AND SUBSURFACE DRAINAGE SYSTEMS**  
IN ACCORDANCE WITH PART D2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

**SOIL AND WATER MANAGEMENT**  
PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT WORKS THE APPLICANT OR BUILDER MUST INSTALL ALL NECESSARY SILT FENCES AND CUT-OFF DRAINS TO PREVENT THE SOIL, GRAVEL AND OTHER DEBRIS FROM ESCAPING THE SITE. ADDITIONAL WORKS MAY BE REQUIRED ON COMPLEX SITES.

NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STRIP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ONTO THE ROAD RESERVE AS A RESULT OF THE DEVELOPMENT ACTIVITY IS TO BE REMOVED BY THE APPLICANT OR BUILDER.

THE SILT FENCING, CUT-OFF DRAINS AND OTHER WORKS TO MINIMISE EROSION ARE TO BE MAINTAINED ON THE SITE UNTILL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.



AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

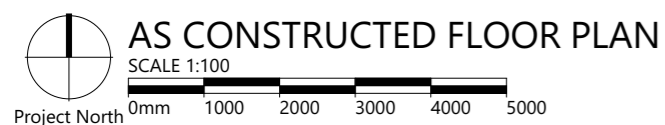
REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25013	SCALE @ A3	27/01/2026

rev.	Amendment	Date
DRAWING No:	ISSUE: APPROVAL	
A02	3 of 12	REV: 0

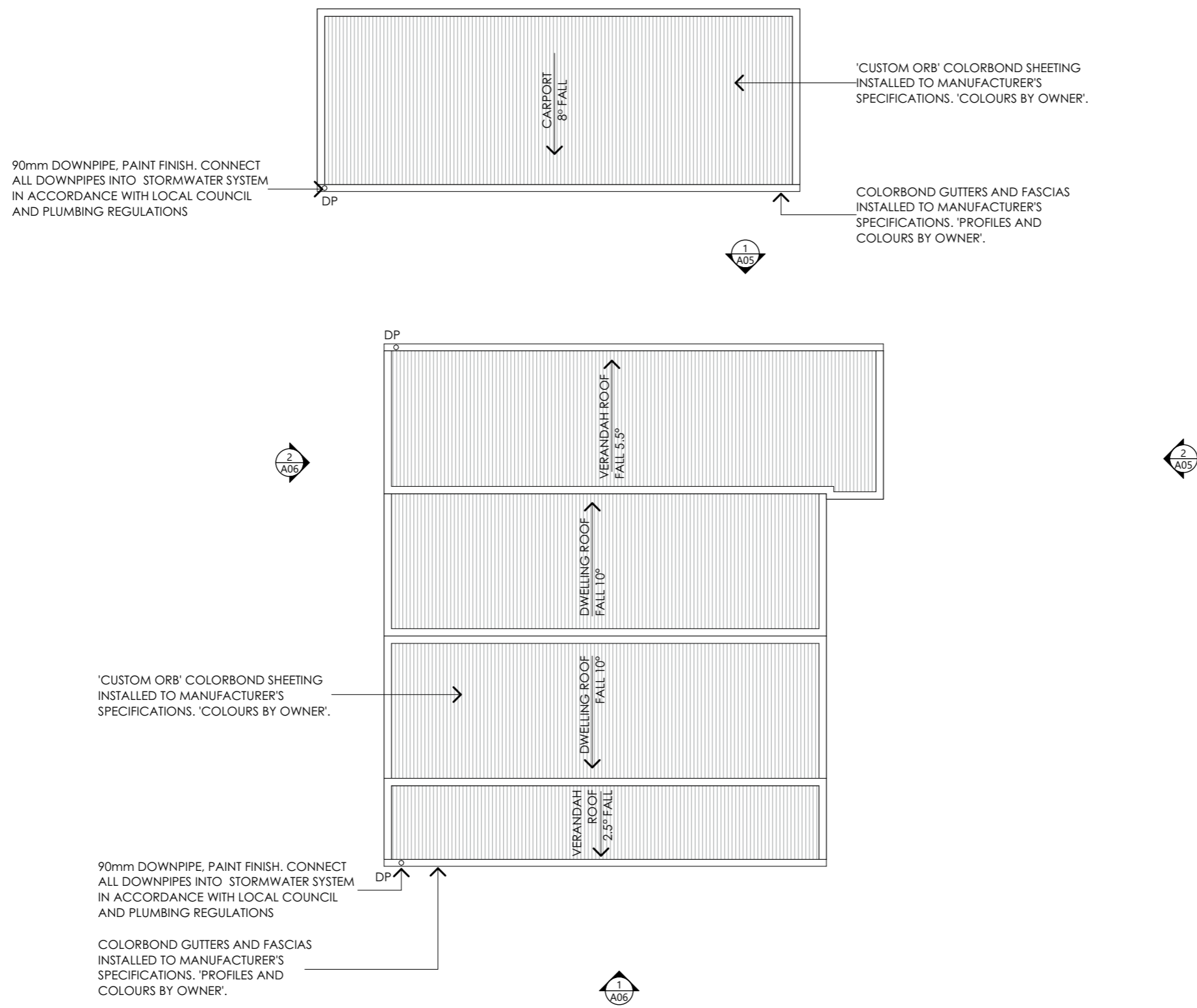
# Exhibited




 **SD** HARDWIRED SMOKE DETECTOR,  
REFER TO DRAWING A20 GENERAL  
REQUIREMENTS

rev.	Amendment	Date
DRAWING No:		ISSUE: APPROVAL
<b>A03</b>		REV: 0
<b>4 of 12</b>		

**11 WELLINGTON STREET ROSS TAS 7209**





Project North

AS CONSTRUCTED ROOF PLAN

SCALE 1:100

0mm 1000 2000 3000 4000 5000

ROOF PLAN NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH.

AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPINGS, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.

REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.

ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1684.4 SECTION 9 TABLES 9.2 TO 9.7.

REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.

GUTTERS INSTALLED IN ACCORDANCE WITH PART 3.5.3 OF THE BCA, NCC. 1 IN 500 FALL.

BOX GUTTERS WITH 1 IN 100 FALL AND IN ACCORDANCE WITH AS/NZS 3500.3

PLANS  
TO BUILD

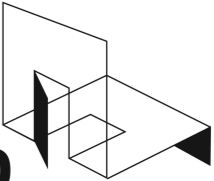
ABN 23 269 055 701

Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.

Tel - 6388 9287 - Mob - 0400 655 771

Email - leigh@planstobuild.com.au

**L.M.DELL LIC. No. CC5932 G**

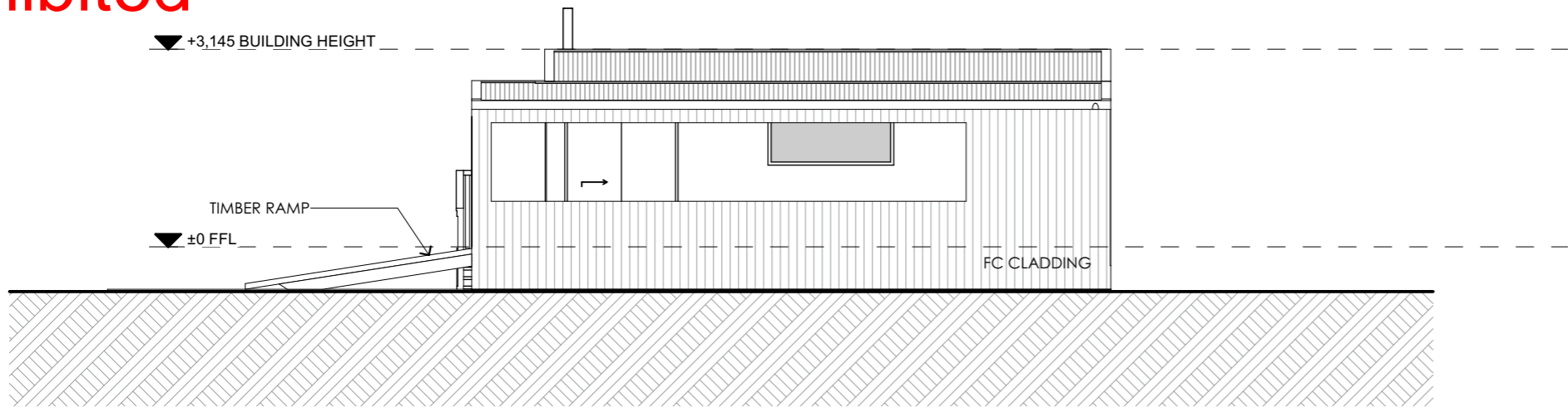


**Owner:**

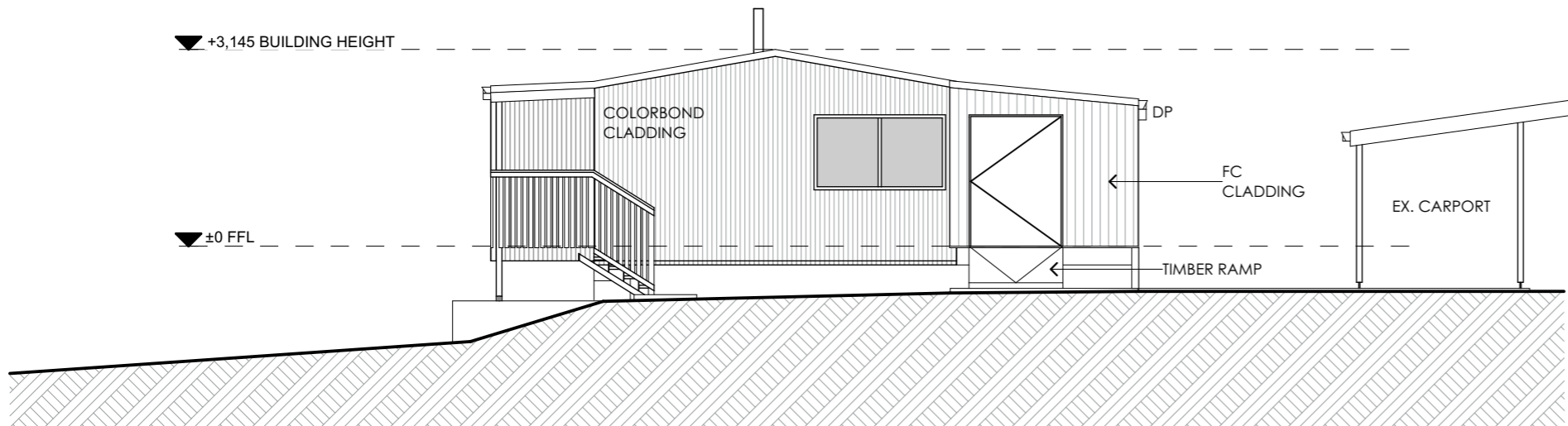
**R, J & E GARMENT**

rev.	Amendment	Date
DRAWING No: <b>A04</b>		ISSUE: APPROVAL
5 of 12		REV: 0

Received  
27.1.2026  
Exhibited



1 NORTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



2 EASTERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

### ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS , SEALS , FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.

REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.

PLANS  
TOBUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

Owner:  
**R, J & E GARMENT**

rev. Amendment

Date

DRAWING No:  
**A05**

6 of 12

ISSUE: APPROVAL

REV: 0

AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

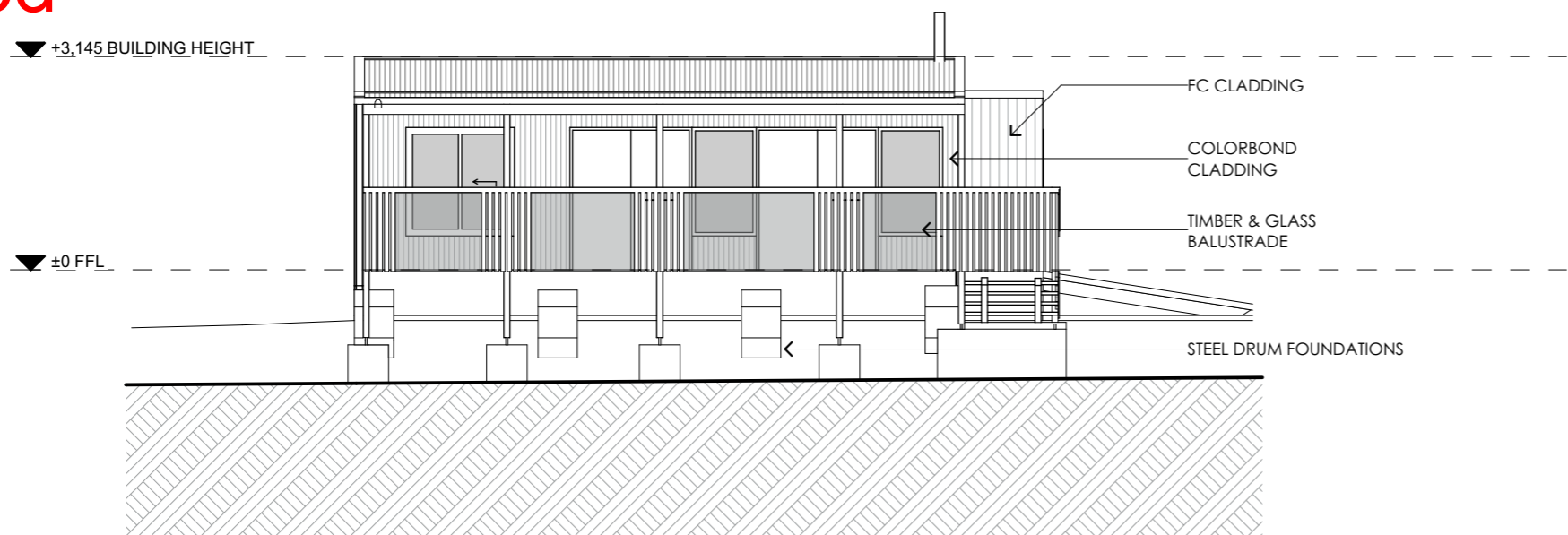
### REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

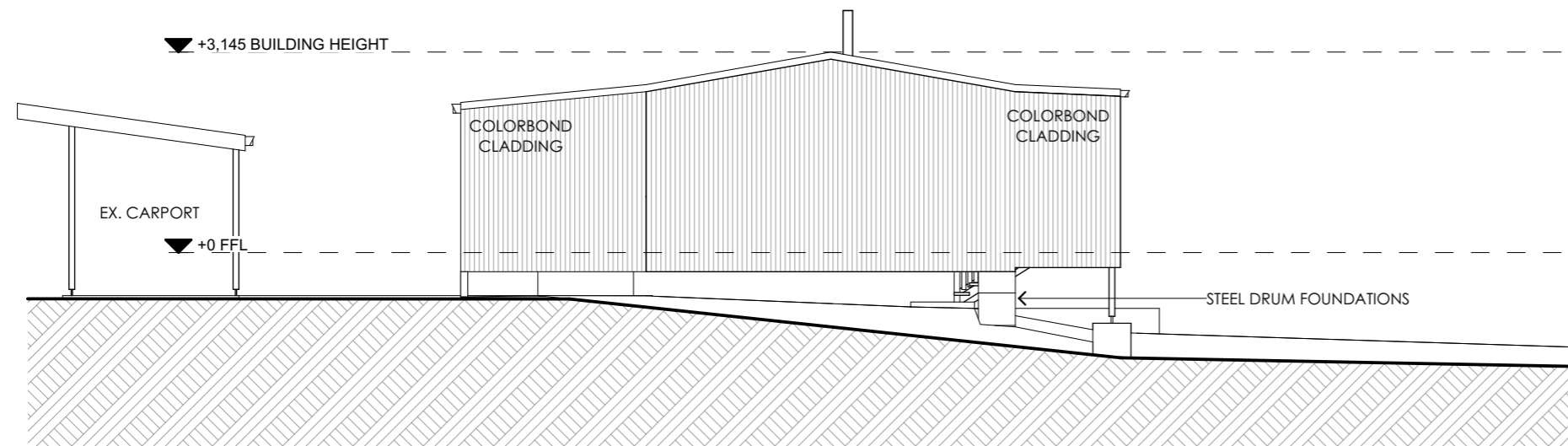
PROJECT NUMBER:  
**25013**

SCALE: IF IN DOUBT ASK  
**SCALE @ A3**

PRINT DATE:  
**27/01/2026**



1 SOUTHERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000



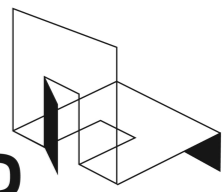
2 WESTERN ELEVATION  
SCALE 1:100  
0mm 1000 2000 3000 4000 5000

ELEVATION NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS , SEALS , FIXINGS & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURES DETAILS TO ENSURE A WEATHER-PROOF AND WATERTIGHT INSTALLATION.

REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.



# PLANS TO BUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**R, J & E GARMENT**

rev.	Amendment	Date
DRAWING No: <b>A06</b>		ISSUE: APPROVAL
7 of 12		REV: 0

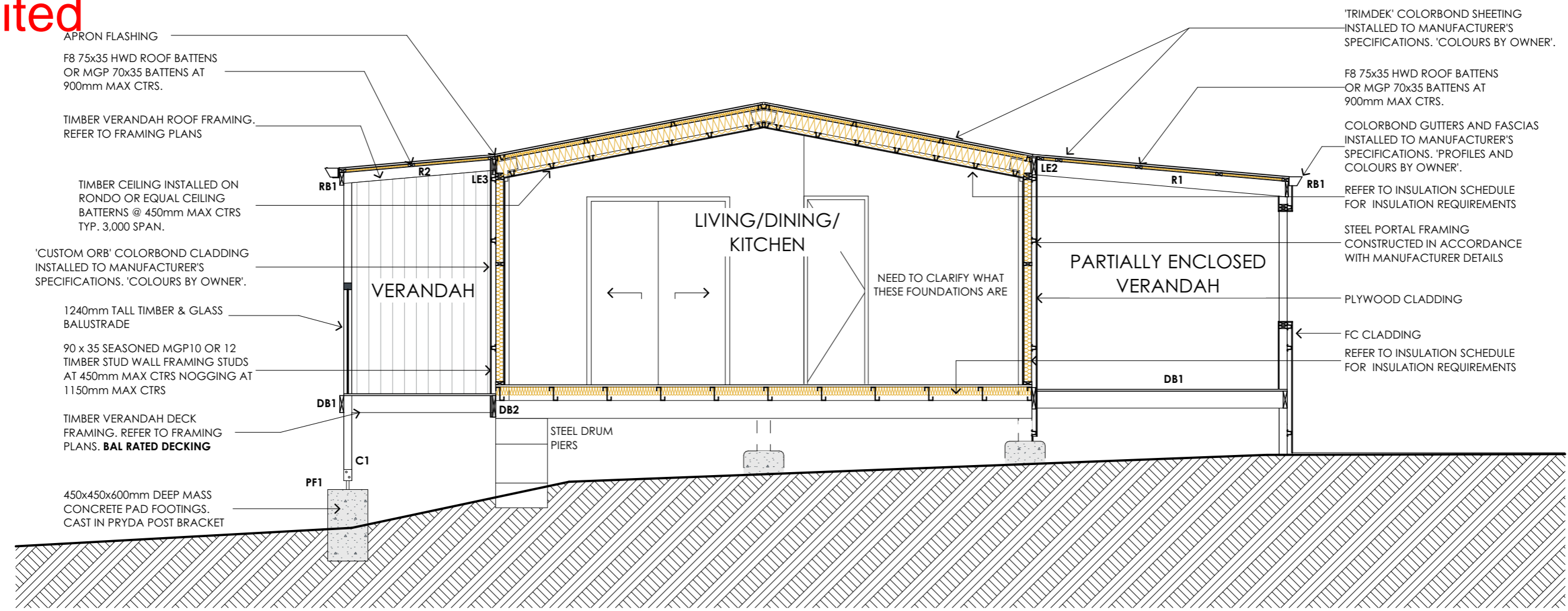
AS CONSTRUCTED WORKS

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

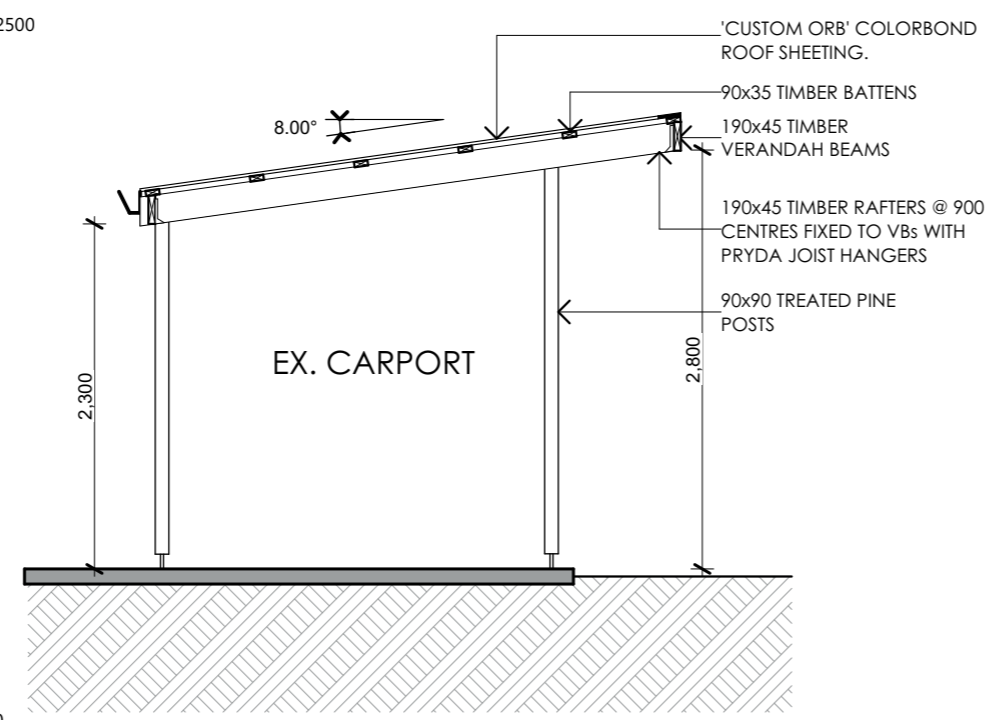
NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

11 WELLINGTON STREET ROSS TAS 7209

PROJECT NUMBER: <b>25013</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>27/01/2026</b>
---------------------------------	---	----------------------------------



1 SECTION AA  
SCALE 1:50  
0mm 500 1000 1500 2000 2500



2 CARPORT SECTION AA  
SCALE 1:50  
0mm 500 1000 1500 2000 2500

AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:  
**25013**

SCALE: IF IN DOUBT ASK  
**SCALE @ A3**

PRINT DATE:  
**27/01/2026**

**PLANS  
TO BUILD**

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**R, J & E GARMENT**

rev.	Amendment	Date

DRAWING No:  
**A07**

ISSUE: APPROVAL

REV: 0

8 of 12

10.2.1 WET AREAS

(1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.  
(2) THE WATERPROOFING SYSTEM IN (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6

REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS TABLE (10.2.2 - 10.2.5)					
VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	WALL / FLOOR JUNCTIONS	PENETRATIONS
10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)					
WITHOUT HOB OR STEP-DOWN	FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP DOWN	WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE	WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION	WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF	PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF
WITH PREFORMED SHOWER BASE	N/A	WATER PROOF WALLS IN SHOWER AREA TO BE NOT LESS THAN 1800mm ABOVE FLOOR SUBSTRATE	WALL JUNCTIONS AND JOINTS WITHIN SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION	WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF	PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF
10.2.3 AREA OUTSIDE SHOWER AREA					
FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING	FLOOR OF THE ROOM MUST BE WATER RESISTANT	N/A	N/A	WALL/FLOOR JUNCTIONS MUST BE-	N/A
FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	FLOOR OF THE ROOM MUST BE WATER PROOF			(a) WATERPROOF AND  (b) WHERE A FLASHING USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	
10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS					
FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING	FLOOR OF THE ROOM MUST BE WATER RESISTANT	WALLS MUST BE WATER RESISTANT-  TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF THE WALL;  AND FOR ALL EXPOSED SURFACES BELOW VESSEL LIP	WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL	WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL	TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES
FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	FLOOR OF THE ROOM MUST BE WATERPROOF				
INSERTED BATHS AND SPAS	ANY FLOOR OR HORIZONTAL SURFACE ADJOINING THE BATH OR SPA MUST BE WATERPROOF. INCLUDE WATERSTOP UNDER THE VESSEL LIP  NO REQUIREMENTS FOR THE FLOOR UNDER THE BATH OR SPA	WALLS MUST BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF A BATH OR SPA  NO REQUIREMENTS FOR THE FLOOR UNDERNEATH THE BATH OR SPA	WALL JUNCTIONS AND JOINTS MUST BE WATERPROOF WHEN WITHIN 150mm OF A BATH OR SPA  NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEAT THE LIP OF A BATH OR SPA	N/A	TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES
NOTE: WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.					
10.2.5 OTHER AREAS					
LAUNDRIES AND WC'S	FLOOR OF THE ROOM MUST BE WATER RESISTANT	N/A	N/A	WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	N/A
WALLS ADJOINING OTHER VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB)	N/A	WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL	WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL	N/A	WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT
NOTE: N/A MEAS NOT APPLICABLE.					

REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS TABLE CONT. (10.2.2 - 10.2.5)					
VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	WALL / FLOOR JUNCTIONS	PENETRATIONS
10.2.5 OTHER AREAS CONT.					
WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS	FLOOR OF THE ROOM MUST BE WATERPROOF	WALLS MUST BE WATERPROOF IN WC AREA WITHIN A 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE FLOOR SUBSTRATE; AND  WATER RESISTANT IN WC AREA WITHIN A 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO NOT LESS THAN 1200mm ABOVE THE FINISHED FLOOR LEVEL OF THE WC	WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF	WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF	PENETRATIONS IN THE WC AREA MUST BE WATERPROOF

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING

a) AFTER INSTALLATION OF ARCHITRAVE

Door jam

Architrave

Waterproof membrane a minimum of 25mm above the finished floor surface

Bathroom

Waterstop with bas sealed to floor and upstand flush with the finished floor surface

b) PRIOR TO INSTALLATION OF ARCHITRAVE

Door jam

Architrave

Waterproof membrane a minimum of 25mm above the finished floor surface

Bathroom

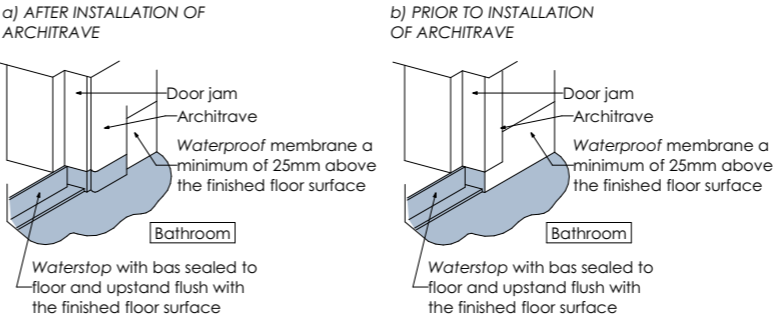
Waterstop with bas sealed to floor and upstand flush with the finished floor surface

PLA TOB

ABN 23 269 05  
Level 1, Holy  
Launceston,  
Tel - 6388 92  
Email - leigh  
L.M.DELL

Owner  
R, J &

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING



PLANS  
TO BUILD

ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

Owner:  
**R, J & E GARMENT**

rev.	Amendment	Date
DRAWING No: <b>A08</b>		ISSUE: APPROVAL
9 of 12		REV: 0

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

11 WELLINGTON STREET ROSS TAS 7209

PROJECT NUMBER:  
**25013**

SCALE: IF IN DOUBT ASK  
**SCALE @ A3**

PRINT DATE:  
**27/01/2026**

AS CONSTRUCTED WORKS

<div>10.2.6 WATERPROOFING SYSTEMS</div> <div>(2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.</div> <div>(3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.</div> <div>10.2.7 MATERIALS</div> <div>WHERE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.6, MATERIALS USED IN WET AREAS FORMING A WATERPROOFING SYSTEM MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.8 AND 10.2.9</div> <div>10.2.8 MATERIALS - WATERPROOF</div> <div>THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:</div> <div>(a) STAINLESS STEEL</div> <div>(b) FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS</div> <div>(c) MEMBRANES COMPLYING WITH AS/NZS 4858</div> <div>(d) WATERPROOF SEALANT</div> <div>10.2.9 MATERIALS - WATER RESISTANT SUBSTRATES</div> <div>THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:</div> <div>(a) FOR WALLS:</div> <div>(i) CONCRETE COMPLYING WITH AS 3600, TREATED TO RESIST MOISTURE MOVEMENT</div> <div>(ii) CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT</div> <div>(iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2</div> <div>(iv) WATER RESISTANT PLASTERBOARD SHEETING</div> <div>(v) MASONRY IN ACCORDANCE WITH AS 3700, TREATED TO RESIST MOISTURE MOVEMENT</div> <div>(b) FOR FLOORS:</div> <div>(i) CONCRETE COMPLYING WITH AS 3600</div> <div>(ii) CONCRETE SLABS COMPLYING WITH AS 2870</div> <div>(iii) COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR</div> <div>10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS</div> <div>THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:</div> <div>(a) FOR WALLS:</div> <div>(i) THERMOSETTING LAMINATE</div> <div>(ii) PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2</div> <div>(iii) TILES WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9</div> <div>(iv) WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9</div> <div>(v) SANITARY GRADE ACRYLIC LININGS</div>	<div>10.2.10 MATERIALS - WATER RESISTANT SURFACE MATERIALS CONT.</div> <div>(b) FOR FLOORS, WHEN USED IN CONJUNCTION WITH A SUBSTRATE LISTED IN 10.2.9</div> <div>(i) TILES</div> <div>(ii) WATER RESISTANT FLEXIBLE SHEET FLOORING MATERIAL WITH SEALED JOINTS</div> <div>(c) CONCRETE TREATED TO RESIST MOISTURE MOVEMENT</div> <div>10.2.11 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SUBSTRATE MATERIALS</div> <div>MATERIALS USED IN WALL AND FLOOR SUBSTRATES MUST COMPLY WITH 10.2.9</div> <div>10.2.12 CONSTRUCTION OF WET AREAS - FALLS</div> <div>WHERE A FLOOR WASTE IS INSTALLED-</div> <div>(a) THE MINIMUM CONTINOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80; AND</div> <div>(b) THE MAXIMUM CONTINOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:50</div> <div>10.2.13 CONSTRUCTION OF WET AREAS - WALL AND FLOOR SURFACE MATERIALS</div> <div>WALL AND FLOOR SURFACE MATERIALS MUST COMPLY WITH 10.2.10</div> <div>10.2.14 SHOWER AREA REQUIREMENTS</div> <div>SHOWER AREAS MUST BE DESIGNED AS EITHER ENCLOSED OR UNENCLOSED -</div> <div>(a) TO INCLUDE A FLOOR WASTE WITH FALLS COMPLYING WITH 10.2.12 AND</div> <div>(b) WITH A-</div> <div>(i) STEPDOWN COMPLYING WITH 10.2.15; OR</div> <div>(ii) HOB COMPLYING WITH 10.2.16; OR</div> <div>(iii) LEVEL THRESHOLD COMPLYING 10.2.17</div> <div>10.2.15 STEPDOWN SHOWERS</div> <div>FOR STEPDOWN SHOWERS, THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA MUST BE STEPPED DOWN A MINIMUM OF 25mm LOWER THAN THE FINISHED FLOOR LEVEL OUTSIDE THE SHOWER</div> <div>10.2.16 HOB CONSTRUCTION</div> <div>(1) HOB'S MUST BE CONSTRUCTED OF-</div> <div>(a)MASONRY; OR</div> <div>(b) CONCRETE; OR</div> <div>(c) AUTOCLAVED AERATED CONCRETE; OR</div> <div>(d)EXTRUDED POLYURETHANE FOAM,</div> <div>(2) ALL GAPS, JOINTS AND INTERSECTIONS OF THE HOB SUBSTRATE MUST BE MADE FLUSH BEFORE APPLICATION OF A MEMBRANE</div> <div>(3) HOB'S MUST BE ADEQUATELY SECURED TO THE FLOOR AND SEALED AGAINST THE WALL PRIOR TO APPLYING A MEMBRANE</div> <div>(4) TIMBER MUST NOT BE USED FOR HOB CONSTRUCTION</div>	<div>10.2.18 UNENCLOSED SHOWERS</div> <div>(1) UNENCLOSED SHOWERS MUST BE CONSTRUCTED AS FOLLOWS:</div> <div>(a) A WATERSTOP MUST BE INSTALLED A MINIMUM HORIZONTAL DISTANCE OF 1500mm FROM THE SHOWER ROSE</div> <div>(b) THE VERTICAL LEG OF THE WATERSTOP MUST FINISH-</div> <div>(i) FLUSH WITH THE TOP SURFACE OF THE FLOOR; AND</div> <div>(ii) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED-</div> <div>(A) THE JUNCTION MUST BE WATERPROOF; OR</div> <div>(B) THE WHOLE WET AREA FLOOR MUST BE WATERPROOFED AND DRAINED TO A FLOOR WASTE AS FOR THE SHOWER AREA</div> <div>(2) IN THE CASE OF (1)(b)(ii)(B), AT DOORWAYS, WHERE THE HEIGHT OF THE TILING ANGLE NEEDS TO BE ADJUSTED FOR TILING PURPOSES, THE ANGLE MUST BE FIXED WITH A SEALANT COMPATIBLE WITH THE WATERPROOFING MEMBRANE WITHOUT DAMAGING THE WATERPROOFING SYSTEM</div> <div>10.2.19 PREFORMED SHOWER BASES</div> <div>PREFORMED SHOWER BASES MUST-</div> <div>(a) HAVE AN UPTURN LIP; AND</div> <div>(b) BE RECESSED INTO THE WALL TO ALLOW THE WATER RESISTANT SURFACE MATERIALS AND SUBSTRATE MATERIALS TO PASS DOWN INSIDE THE PERIMETER UPTURN LIP OF THE SHOWER BASE; AND</div> <div>(c) BE SUPPORTED TO PREVENT DISTORTION OR CRACKING</div> <div>10.2.20 BATHS AND SPAS</div> <div>BATHS AND SPAS, EXCEPT FREESTANDING BATHS AND SPAS, MUST-</div> <div>(a) HAVE AN UPTURN LIP; AND</div> <div>(b) BE RECESSED INTO THE WALL; AND</div> <div>(c) HAVE THE WATER RESISTANT SUBSTRATE MATERIALS OF THE WALL PASS DOWN INSIDE THE UPTURN LIP</div> <div>10.2.21 MEMBRANE INSTALLATION FOR SCREED</div> <div>WHERE A SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED</div> <div>10.2.22 SUBSTRATE SURFACE PREPARATION FOR APPLICATION OF MEMBRANE</div> <div>THE SUBSTRATE SURFACE WHERE A MEMBRANE IS TO BE APPLIED MUST-</div> <div>(a) BE CLEAN AND DUST FREE; AND</div> <div>(b) FREE OF INDENTATIONS AND IMPERFECTIONS</div> <div>10.2.23 PENETRATIONS</div> <div>PENETRATIONS WITHIN SHOWER AREAS MUST COMPLY WITH THE FOLLOWING:</div> <div>(a) PENETRATIONS FOR TAPS, SHOWER NOZZLES AND THE LIKE MUST BE WATERPROOFED BY SEALING WITH-</div> <div>(i) SEALANTS; OR</div> <div>(ii) PROPRIETARY FLANGE SYSTEMS; OR</div> <div>(iii) A COMBINATION OF (i) AND (ii)</div> <div>CONT. NEXT COLUMN</div>	<div>10.2.23 PENETRATIONS CONT.</div> <div>(b) THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL</div> <div>(c) THE FOLLOWING MUST BE WATERPROOFED:</div> <div>(i) ALL PENETRATIONS DUE TO MECHANICAL FIXINGS OR FASTENINGS OF SUBSTRATE MATERIALS</div> <div>(ii) ANY PENETRATION OF THE SURFACE MATERIALS DUE TO MECHANICAL FIXINGS OR FASTENINGS</div> <div>(iii) RECESSED SOAP HOLDERS (NICHE'S) AND THE LIKE</div> <div>(d) TAP AND SPOUT PENETRATIONS ON HORIZONTAL SURFACES SURROUNDING BATHS AND SPAS MUST BE WATERPROOFED BY-</div> <div>(i) SEALING THE TAP BODY TO THE SUBSTRATE SEALANTS; OR</div> <div>(ii) PROPRIETARY FLANGE SYSTEMS</div> <div>10.2.24 FLASHINGS/JUNCTIONS</div> <div>FLASHINGS MUST BE INSTALLED IN ACCORDANCE WITH 10.2.2 TO 10.2.5 AND THE FOLLOWING:</div> <div>(a) PERIMETER FLASHING TO WALL/FLOOR JUNCTIONS MUST HAVE A-</div> <div>(i) VERTICAL LEG THAT EXTENDS A MINIMUM OF 25mm ABOVE THE FINISHED FLOOR LEVEL, EXCEPT ACROSS DOORWAYS; AND</div> <div>(ii) HORIZONTAL LEG THAT HAS A MINIMUM WIDTH OF NOT LESS THAN 50mm</div> <div>(b) WHERE A WATER RESISTANT SUBSTRATE IS USED IN CONJUNCTION WITH A WATER RESISTANT SURFACE MATERIAL, A WATERPROOF SEALANT MUST BE INSTALLED AT THE SUBSTRATE JUNCTION AT THE WALL/FLOOR JUNCTION</div> <div>(c) PERIMTER FLASHINGS AT A FLOOR LEVEL OPENING MUST COMPLY WITH THE FOLLOWING:</div> <div>(i) WHERE THE WHOLE WET AREA FLOOR IS WATERPROOF, AT FLOOR LEVEL OPENINGS, A WATERSTOP MUST BE INSTALLED THAT HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL WITH THE FLOOR MEMBRANE BEING TERMINATED TO CREATE A WTAERPROOF SEAL TO THE WATERSTOP AND TO THE PERIMETER FLASHING</div> <div>(ii) IN ANY OTHER CASE, AT A FLOOR LEVEL OPENING A WATERSTOP MUST BE INSTALLED THAT HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL AND WATERPROOFED TO THE PERIMETER FLASHING</div> <div>(d) A VERTICAL FLASHING, EITHER EXTERNAL TO THE WET AREA OR INTERNAL, MUST EXTEND A MINIMUM OF 1800mm ABOVE THE FINISHED FLOOR LEVEL</div> <div>EXPLANATORY INFORMATION:</div> <div>VERTICAL FLASHING MAY BE USED AS FOLLOWS:</div> <div>(a) EXTERNAL VERTICAL FLASHING MAY BE USED WITH EXTERNAL MEMBRANE SYSTEMS AND INSTALLED BEHIND THE WALL SHEETING OR RENDER. THEY MUST HAVE LEGS OF SUFFICIENT WIDTH TO ALLOW THE WALL SHEETING OR RENDER TO OVERLAP</div> <div>BY NOT LESS THAN 32mm</div> <div>CONT. NEXT COLUMN</div>	<div>10.2.24 FLASHINGS/JUNCTIONS CONT.</div> <div>(b) INTERNAL VERTICAL FLASHING MAY BE USED WITH BOTH EXTERNAL AND INTERNAL MEMBRANE SYSTEMS PROVIDED EACH LEG HAS A MINIMUM OVERLAP OF 40mm TO THE WALL SHEETING OR RENDER AND WHERE USED WITH-</div> <div>(i) INTERNAL MEMBRANE, MUST EXTEND VERTICALLY FROM THE SHOWER TRAY; AND</div> <div>(ii) EXTERNAL MEMBRANES, MUST OVERLAP THE TOP EDGE OF THE FLOOR WATERPROOFING SYSTEM BY NOT LESS THAN 20mm</div> <div>(iii) PREFORMED SHOWER BASES OR BATHS, MUST EXTEND TO THE BOTTOM EDGE OF THE WALL SHEETING OR RENDER</div> <div>10.2.25 SHOWER AREA FLOOR MEMBRANE APPLICATION</div> <div>FOR HOBLESS SHOWERS, OR SHOWERS WITH HOB'S OR STEPDOWNS, THE MEMBRANE MUST BE APPLIED OVER THE FLOOR AND UP THE VERTICAL FACE OF THE WALL SUBSTRATE TO A MINIMUM HEIGHT OF 1800mm ABOVE THE FINISHED TILE LEVEL OF THE FLOOR</div> <div>10.2.26 SHOWER AREA MEMBRANE REQUIREMENTS FOR WALL SHEETING SUBSTRATES</div> <div>(1) WHERE WALL SHEETING IS USED WITH AN EXTERNAL MEMBRANE SYSTEM IN A SHOWER AREA IT MUST BE WATERPROOF TO PREVENT WATERMOVEMENT BY CAPILLARY ACTION</div> <div>(2) WHERE WATER RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE THE POTENTIAL TO BE AFFECTED BY WATER AND MOISTURE MUST BE WATERPROOFED, INCLUDING THE BOTTOM EDGE OVER A PREFORMED SHOWER BASE</div> <div>10.2.27 BOND BREAKER INSTALLATION FOR BONDED MEMBRANES</div> <div>(1) BOND BREAKERS MUST BE INSTALLED AT ALL WALL/WALL, WALL/FLOOR, HOB/WALL JUNCTIONS AND AT MOVEMENT JOINTS WHERE THE MEMBRANE IS BONDED TO THE SUBSTRATE</div> <div>(2) BOND BREAKERS MUST BE OF THE TYPE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE MEMBRANE TO BE USED</div> <div>10.2.28 INSTALLATION OF INTERNAL MEMBRANES</div> <div>(1) WHERE A SHOWER HAS A HOB THE MEMBRANE MUST BE BROUGHT OVER THE TOP OF THE HOB, DOWN THE OUTSIDE FACE AND TERMINATE NOT LESS THAN 50mm ONTO THE FLOOR</div> <div>(2) WHERE THE SHOWER HAS A WATERSTOP, THE MEMBRANE MUST BE BROUGHT TO THE TOP OF THE FINISHED FLOOR, EXCEPT WHERE IT IS UNDER A FRAMED SHOWER SCREEN WHERE IT MUST TERMINATE NOT LESS THAN 5mm ABOVE THE FINISHED TILE SURFACE</div>	<div>10.2.29 INSTALLATION OF INTERNAL MEMBRANES</div> <div>(1) MEMBRANE DRAINAGE CONNECTIONS IN CONCRETE FLOORS MUST COMPLY WITH ONE OF THE FOLLOWING:</div> <div>(a) A DRAINAGE FLANGE MUST BE INSTALLED WITH THE WATERPROOFING MEMBRANE TERMINATED AT OR IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION</div> <div>(b) WHERE A PREFORMED SHOWER BASE IS USED, PROVISION MUST BE MADE TO DRAIN THE TILE BED AND PROVIDE A WATERPROOF CONNECTION TO THE DRAIN</div> <div>(2) FOR MEMBRANE DRAINAGE CONNECTIONS IN OTHER FLOORS, A DRAINAGE FLANGE MUST BE INSTALLED WITH THE WATERPROOFING MEMBRANE TERMINATED AT OR IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION</div> <div>(3) WHERE A PREFORMED SHOWER BASE IS USED, PROVISION MUST BE MADE TO DRAIN THE TILE BED AND PROVIDE A WATERPROOF CONNECTION TO THE DRAIN</div> <div>(4) FLOOR WASTES MUST BE OF SUFFICIENT HEIGHT TO SUIT THE THICKNESS OF THE TILE AND TILE BED AT THE OUTLET POSITION</div> <div>EXPLANATORY INFORMATION: DRAINAGE FLANGES</div> <div>-FOR MEMBRANE DRAINAGE CONNECTIONS IN CONCRETE FLOORS: DRAINAGE FLANGE MAY BE EITHER CAST INTO THE CONCRETE SLAB OR SET INTO THE TOP SURFACE OF THE CONCRETE SLAB OR THE TILE BED</div> <div>- FOR MEMBRANE DRAINAGE CONNECTIONS IN OTHER FLOORS: DRAINAGE FLANGE MAY BE EITHER SET INTO THE FLOOR SUBSTRATE OR THE TILE BED</div> <div>10.2.30 DRAINAGE RISER CONNECTION</div> <div>(1) WHERE A PREFORMED SHOWER BASE IS USED, THE DRAINAGE RISER MUST BE CONNECTED TO THE TRAY WITH A WATERPROOF JOINT</div> <div>(2) WHERE AN IN SITU SHOWER TRAY IS USED, THE MEMBRANE MUST BE ABLE TO FORM A PERMANENT WATERPROOF SEAL TO THE DRAINAGE RISER OR DRAINAGE FLANGE</div>	<div>10.2.31 DOOR JAMBS ON TILED FLOORS</div> <div>WHERE THE BOTTOM OF A DOOR JAMB DOES NOT FINISH ABOVE THE FLOOR TILING, THE PORTION OF THE DOOR FRAME BELOW THE FLOOR TILING MUST BE WATERPROOFED TO PROVIDE A CONTINOUS SEAL BETWEEN THE PERIMETER FLASHING AND THE WATERSTOP</div> <div>10.2.32 SHOWER SCREENS</div> <div>(1) FOR A SHOWER WITH A HOB, THE SHOWER SCREEN MUST BE INSTALLED FLUSH WITH THE SHOWER AREA SIDE OF THE HOB OR OVERHANG INTO THE SHOWER AREA</div> <div>(2) FOR A SHOWER WITH A STEPDOWN, THE SHOWER SCREEN MUST BE INSTALLED FLUSH WITH THE FINISHED VERTICAL SURFACE OF THE STEPDOWN OF THE SHOWER AREA</div> <div>(3) FOR A SHOWER WITHOUT A HOB OR STEPDOWN, THE SHOWER SCREEN MUST INCORPORATE OR BE MOUNTED ON AN INVERTED CHANNEL, POSITIONED OVER THE TOP OF THR WATERSTOP, THAT DEFINES THE SHOWER AREA</div> <div>(4) FOR BATH END WALLS AND DIVIDING WALLS ABUTTING A SHOWER, THE SHOWER SCREEN MUST BE POSITIONED SO THAT THE BOTTOM EDGE WITHIN THE SHOWER AREA IS FLUSH WITH THE OUTSIDE EDGE OF THE BATH OR OVERHANGING INTO THE SHOWER AREA</div> <div>EXPLANATORY INFORMATION</div> <div>-A SELF-DRAINING SUB-SILL IS CONSIDERED TO BE PART OF THE SHOWER SCREEN</div>
---	--	--	--	---	---	--

AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:

25013

SCALE: IF IN DOUBT ASK

SCALE @ A3

PRINT DATE:

27/01/2026

rev. Amendment

DRAWING No:

A09

Date

ISSUE: APPROVAL

10 of 12

REV: 0

CORROSION TABLE

Corrosion protection for fixings. Defined in AS/NZS 2312.2 and described in AS 4312		
Category (ISO)		Generic Examples
C2	Arid/urban inland	Most areas of Australia at least 50km from the coast.  Inland 3 - 6km for a less sheltered bay or gulf.  Can extend to winthin 1km from quiet, sheltered seas.
Fixings in accordance with category above or better		

Table 3.5.1.1 Acceptable corrosion protection for metal sheeting

Environment	Location	Minimum metal coating in accordance with AS 1397: Metallic coated steel	Minimum metal coating in accordance with AS 1397: Metallic and organic coated steel
Low (Mild steel corrosion rate 1.3 to 25 µm/y)	Typically remote inland areas or more than 1 km from sheltered bays	Z450 galvanised or AZ150 aluminium/zinc or AM125 aluminium/zinc/ magnesium	Z275 galvanised or AZ150 aluminium/zinc or AM100 aluminium/zinc/ magnesium

Table 6.3.9a Minimum protective coatings for structural steel members

Environment	Location	Minimum metal coating: Option 1 (Hot dip galvanising)	Option 2 (Hot dip galvanising)	Option 3 (Paint) see Table 6.3.9b
Low (Mild steel corrosion rate 1.3 to 25 µm/y)	Typically remote inland areas or more than 1km from sheltered bays	HDG75	-	ACL2, ACC2, IZS1 , PUR2A

INSULATION SCHEDULE (BCA 3.12)

Region:-	C
Climate Zone:-	7.
WALLS	
R- Value Min:-	R- 2.8
R-Value of wall materials:-	R- 0.42
Reflective wall sisalation:-	R- 0.05
Combined wall insulation:-	R- 2.50
R- Value Walls Total:-	R- 2.97
ROOF	
R- Value Min:-	R- 5.1 - Upward
R-Value of roof materials:-	R- 0.21
Foil backed 50mm thick insulation blanket	R- 1.00
Bulk Ceiling insulation batts:-	R- 4.10 (min)
R- Value Roof Total:-	R- 5.31
FLOORS	
R- Value Floor Min:-	R- 2.75 - Downward
R-Value of Floor materials:-	R- 0.51
Added Floor insulation:-	R- 2.5
R- Value Floor Total:-	R- 3.01

AS CONSTRUCTED WORKS

11 WELLINGTON STREET ROSS TAS 7209

REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:	SCALE: IF IN DOUBT ASK	PRINT DATE:
25013	SCALE @ A3	27/01/2026

rev.	Amendment	Date
DRAWING No:	ISSUE: APPROVAL	
A10	11 of 12	REV: 0

# HOUSING PROVISIONS

## 2 STRUCTURE

### STRUCTURAL PROVISIONS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO.STRUCTURAL PROVISIONS ARE TO BE IN STRICT COMPLIANCE WITH PARTS 2.2.1- 2.2.5 OF THE BCA. RFER ALSO TO ENG'RS DRAWINGS FOR DETAILS.

## 3 SITE PREPARATION

### 3.2 EARTHWORKS

CONTACT BEFORE YOU DIG TO LOCATE UNDERGROUND SERVICES. THE BUILDER SHALL PROVIDE TEMPORARY SHORING FOR ANY EXCAVATION WORK WITHIN 1m FROM THE TITLE BOUNDARY. ANY EXCAVATION DEPTH OVER 1m IN HEIGHT FROM NATURAL GROUND SHOULD BE REFERED TO THE THE ENGINEER TO CONFIRM THE STABILITY OF THE SURROUNDING GROUND. PROVIDE SILT FENCING TO LOCAL COUNCIL GUIDELINES.

### 3.3 DRAINAGE

REFER TO PLUMBING NOTES

### 3.4 TERMITE RISK MANAGEMENT

TERMITE RISK MANAGEMENT NOT APPLICABLE FOR TASMANIAN WORKS

## 4 FOOTINGS AND SLABS

### 4.2 FOOTINGS, SLABS AND ASSOCIATED ELEMENTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL FOOTINGS AND SLABS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS 2870 OR AS 2159 AS APPROPRIATE AND THE REQUIREMENTS OF PARTS 4.2.1 - 4.2.22

## 5 MASONRY

### 5.2 MASONRY VENEER

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.2.1 - 5.2.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

### 5.3 CAVITY MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CAVITY MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.3.1 - 5.3.7 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773

### 5.4 UNREINFORCED SINGLE LEAF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL UNREINFORCED SINGLE LEAF MASONRY SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.4.1 - 5.4.5 OF THE BCA AND AUSTRALIAN STANDARD AS: 3700 AND AS: 4773

### 5.5 ISOLATED PIERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ISOLATED PIERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS:3700 OR AS: 4773 PARTS 1 & 2 AS APPROPRIATE AND THE REQUIREMENTS OF THE BCA PARTS 5.5.1 - 5.5.6

## 5 MASONRY

### 5.6 MASONRY COMPONENTS & ACCESSORIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.6.1 - 5.6.8 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

### 5.7 WEATHERPROOFING OF MASONRY

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL MASONRY VENEER SHALL BE IN STRICT COMPLIANCE WITH PARTS 5.7.1 - 5.7.6 OF THE BCA AND AUSTRALIAN STANDARDS AS: 3700 AND AS: 4773 (PARTS 1 AND 2)

## 6 FRAMING

### 6.2 SUB-FLOOR VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SUB FLOOR VENTILATION SHALL BE IN STRICT COMPLIANCE WITH PARTS 6.2.1 OF THE BCA AND AUSTRALIAN STANDARDS AS: 1684 (PARTS 1,2 ,3 & 4)

### 6.2 STRUCTURAL STEEL MEMBERS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL STRUCTURAL STEEL MEMBERS SHALL BE IN STRICT COMPLIANCE WITH ENGINEERING DRAWINGS & AUSTRALIAN STANDARDS AS APPROPRIATE AND THE REQUIREMENTS OF THIS HOUSING PROVISION PARTS 6.3.1 - 6.3.9

## 7 ROOF AND

## WALL CLADDING

### 7.2 SHEET ROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL SHEET ROOF CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.2.1 - 7.2.8

### 7.3 ROOF TILES AND SHINGLES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL ROOF TILES AND SHINGLES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

### 7.4 GUTTERS AND DOWNPIPES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GUTTERS AND DOWNPIPES SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.3.1 - 7.3.6

### 7.5 TIMBER AND COMPOSITE WALL CLADDING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL TIMBER AND COMPOSIE WALL CLADDING SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 7.5.1 - 7.5.8

## 8 GLAZING

### 8.2 WINDOWS AND EXTERNAL GLAZED DOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL WINDOWS AND GLAZED DOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.2.1 - 8.2.2

### 8.3 GLASS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLASS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.3.1 - 8.2.3 AND AUSTRALIAN STANDARDS AS:1288 AS 1170.1 ,AS 2047 AND AS/NZS 5601. REFER ALSO GLAZING CALCULATOR AND OR ENGERY REPORT (SHGC AND U VALUES) REFER ALSO TO BAL (BUSHFIRE) REQUIREMENTS.

### 8.4 GLAZING HUMAN IMPACT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL GLAZINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 8.4.1 - 8.4.8 AND AUSTRALIAN STANDARDS AS:1288 AS 1170.1 ,AS 2047 AND AS/NZS 5601.

## 9 FIRE SAFETY

### 9.2 FIRE SEPARATION OF EXTERNAL WALLS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE SEPARATION OF EXTERNAL WALLS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.2.1 - 9.2.10

### 9.3 FIRE PROTECTION OF SEPERATING WALLS AND FLOORS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF WALLS AND FLOORS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.3.1 - 9.3.4

### 9.4 FIRE PROTECTION OF GARAGE TOP DWELLINGS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL FIRE PROTECTION OF GARAGE TOP DWELLINGS SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING PARTS 9.4.1 - 9.4.2

### 9.5 SMOKE ALARMS AND EVACUATION LIGHTING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SMOKE ALARMS (1a & 1b) AND EVACUATION LIGHTING (1b) SHALL BE IN STRICT ACCORDANCE WITH PARTS 9.5.1 - 9.5.5

## 10 HEALTH AND AMENITY

### 10.2 WET AREA WATERPROOFING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL WET AREA WATERPROOFING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.2.1 - 10.2.32 AND AUSTRALIAN STANDARDS AS:3740 AND AS/NZS:4858

### 10.3 ROOM HEIGHTS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL ROOM HEIGHTS ARE TO IN ACCORDANCE WITH 10.3.1.

## 10 HEALTH AND AMENITY

### 10.4 FACILITIES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL REQUIRED FACILITIES ARE TO IN ACCORDANCE WITH 10.4.1. - 10.4.2

### 10.5 LIGHT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL NATURAL AND ARTIFICIAL LIGHTING SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.5.1 - 10.5.2

### 10.6 VENTILATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL VENTILATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.6.1 - 10.6.3

### 10.7 SOUND INSULATION

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL SOUND INSULATION SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.7.1 - 10.7.7

### 10.8 CONDENSATION MANAGEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL CONDESATION MANAGAMENT SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.8.1 - 10.8.3

## 11 SAFE MOVEMENT AND ACCESS

### 11.2 STAIR AND RAMP CONSTRUCTION

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL STAIR 7 RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PARTS 11.2.1 - 11.2.6

### 11.3 BARRIERS AND HANDRAILS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO ALL BARRIERS AND HANDRAILS SHALL BE IN ACCORDACNE WITH PARTS 11.3.1 - 11.3.8

## 12 ANCILLARY PROVISIONS

### 12.2 CONSTRUCTION IN ALPINE AREAS

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO CONSTRUCTION IN APLINE AREAS SHALL BE IN ACCORDACNE WITH PARTS 12.2.1 - 12.2.4

### 12.3 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO THE ATTACHEMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WAILING PLATE SHALL BE IN STRICT ACCORDANCE WITH PARTS 12.3.1- 12.3.4

### 12.4 HEATING APPLIANCES, FIRE PLACES, CHIMNEY AND FLUES

IN STRICT ACCORDANCE THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, DOMESTIC SOLID FUEL BURNING APPLUCANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH AS/NZS 2918. AND HEATING APPLUCANCES INSTALLED IN STRICT ACCORDANCE WITH PART 12.4. REFER ALSO TO RELEVANT DETAILS

## 3.12 ENERGY EFFICIENCY

### 3.12.1 BUILDING FABRIC

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING FABRIC SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.1

### 3.12.2 EXTERNAL GLAZING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, EXTERNAL GLAZING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.2

### 3.12.3 BUILDING SEALING

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, THE BUILDING SEALING SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.3

### 3.12.4 CEILING FANS

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, CEILIGN FANS SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.4

### 3.12.5 SERVICES

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.5

### 3.12.6 AIR MOVEMENT

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, SERVICES SHALL BE IN STRICT ACCORDANCE WITH PARTS 3.12.6

## SCHEDULE 9 - TASMANIA

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, 10 HEALTH AND AMENITY SHALL BE IN STRICT ACCORDANCE WITH PARTS 10.4 - 1.04.3

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, 13 ENERGY EFFICIENCY SHALL BE IN STRICT ACCORDANCE WITH PARTS 13.1- 13.7

## LIVABLE HOUSING DESIGN STANDARDS

NOT APPLICABLE

## PLUMBING CODE

### B - WATER SERVICES

#### COLD WATER SERVICES

IN ACCORDANCE WITH PART B1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF COLD WATER SERVICES MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. BACKFLOW SHALL BE INSTALLED TO ALL COLD WATER SUPPLY IN ACCORDANCE WITH AS/NZS 2845. WATER SUPPLY PRESSURE SHALL BE SET TO MAXIMUM 500kpa

#### HEATED WATER SERVICES

IN ACCORDANCE WITH PART B2. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A HEATED WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.4 OR SECTION 3 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. HEATED WATER MUST BE STORED AT A MINIMUM OF 60°. HEATED WATER SHALL BE TEMPERED TO 50° TO ALL SANITARY FIXTURES FOR PERSONAL HYGIENE PURPOSES. HEATED WATER SHALL BE DELIVERED AT 60° FOR KITCHEN AND LAUNDRY FIXTURES.

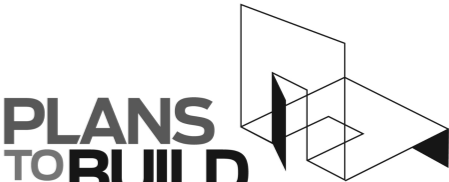
### C - SANITARY PLUMBING AND DRAINAGE SYSTEMS

#### SANITARY PLUMBING AND DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A SANITARY PLUMBING SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.2 OR SECTION 4 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART

#### ROOF DRAINAGE SYSTEMS

IN ACCORDANCE WITH PART C NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3 OR FOR CLASS 1 AND CLASS 10 BUILDINGS. COMPLY WITH THE DEEMED-TO-SATISFY PROVISIONS OF PARTS 7 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA



ABN 23 269 055 701  
Level 1, Holyman House, 52-60 Brisbane St,  
Launceston, Tasmania, 7250.  
Tel - 6388 9287 - Mob - 0400 655 771  
Email - leigh@planstobuild.com.au  
**L.M.DELL LIC. No. CC5932 G**

**Owner:**  
**R, J & E GARMENT**

rev.	Amendment	Date
DRAWING No:	ISSUE: APPROVAL	
<b>A11</b>	<b>12 of 12</b>	REV: 0

# AS CONSTRUCTED WORKS

# 11 WELLINGTON STREET ROSS TAS 7209

#### REQUIRED APPROVAL STAMPS - BUILDING SURVEYOR / PERMIT AUTHORITY

NOTE: THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE STAMPED BY THE BUILDING SURVEYOR AND/OR PERMIT AUTHORITY.

PROJECT NUMBER:

**25013**

SCALE: IF IN DOUBT ASK

**SCALE @ A3**

PRINT DATE:

**27/01/2026**