

This planning application is open for
public comment until
13 October 2025

Reference no	PLN-25-0156
Site	105-107 MAIN STREET CRESSY
Proposed Development	Change of Use to Residential (Two Communal Residences)
Zone	8.0 General Residential
Use class	Residential

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



NORTHERN
MIDLANDS
COUNCIL

PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

The Proposal

Description of proposal:

We are proposing to change the use to communal residence for the property.

Driveway construction material:

The Land

Site address:

105-107 Main Street, Cressy, 7302

Title reference:

C/T: S.P 7447.

Existing buildings on site:

2

Existing use of site:

Residential

Applicant justification of any variation/discretion to the Tasmanian Planning Scheme – Northern Midlands

We are proposing to use the property to accommodate workers for Tasmanian Quality Meats.

Owner: Trustees of the Methodist Church
KEITH SKIRVING AND OTHERS

Title Reference: 18/7905 27/8363
Reconveyance No. 42/736

Grantee: Part of 100 ac. located to William Brumby

PLAN OF SURVEY

by Surveyor C.J. COHEN
of land situated in the

TOWN OF CRESSY

1 : 500

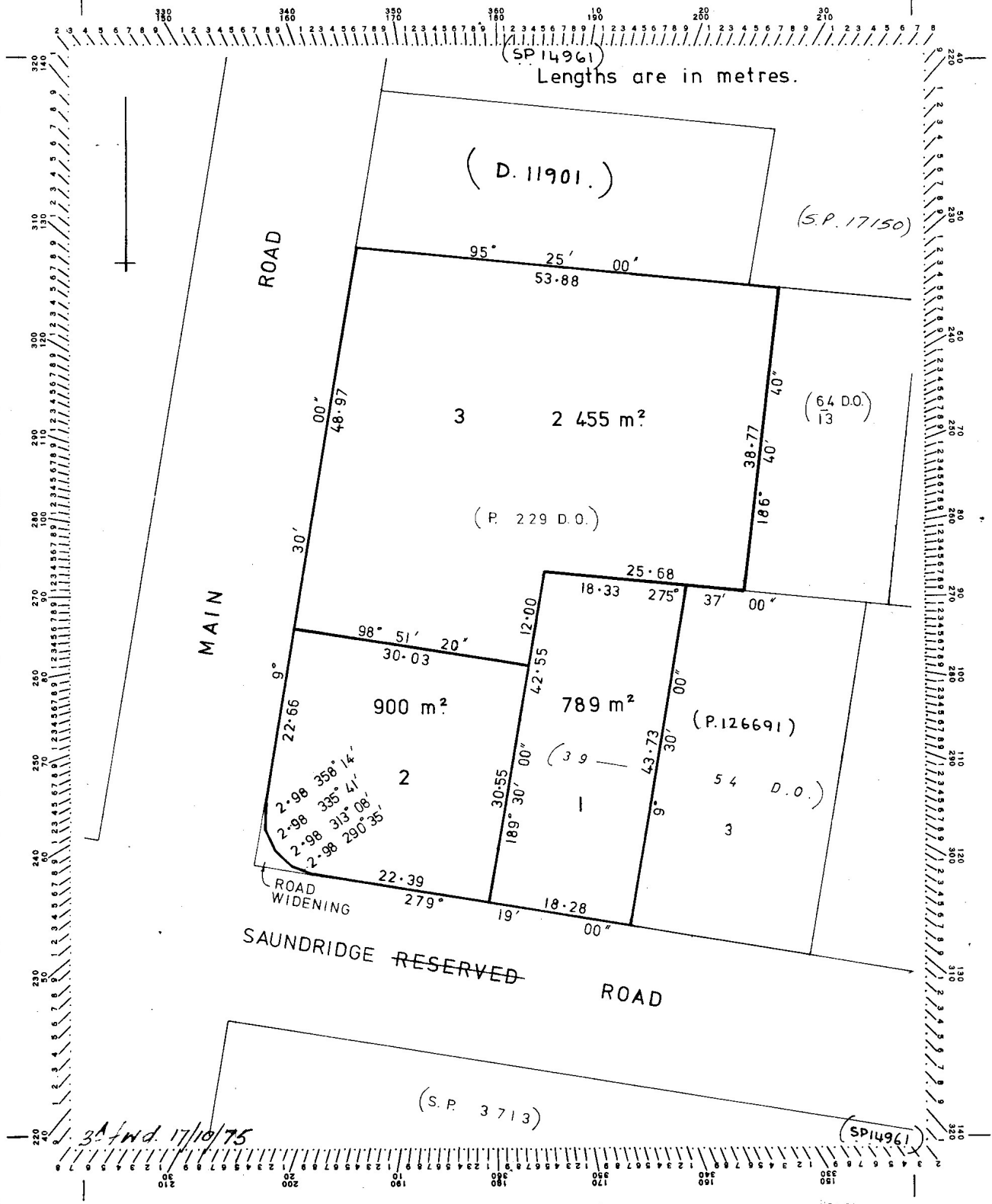
Registered Number:

S.P 7447

Effective from: 15 DEC 1975

P/I

Recorder of titles





PROPOSED CHANGE OF USE
& INTERNAL MODIFICATIONS,
105-107 MAIN STREET,
CRESSY, 7302.

Received
19/09/2025

Exhibited

DRAWING #	DRAWING
MNS105-1	COVER PAGE
MNS105-2	SITE PLAN - EXISTING
MNS105-3	SITE PLAN - PROPOSED
MNS105-4	EXISTING & PROPOSED GROUND FLOOR PLAN - DWELLING
MNS105-5	EXISTING AND PROPOSED FIRST FLOOR PLAN - DWELLING
MNS105-6	EXISTING & PROPOSED FLOOR PLAN - HALL
MNS105-7	CONSTRUCTION NOTES
MNS105-8	WATERPROOFING DETAILS

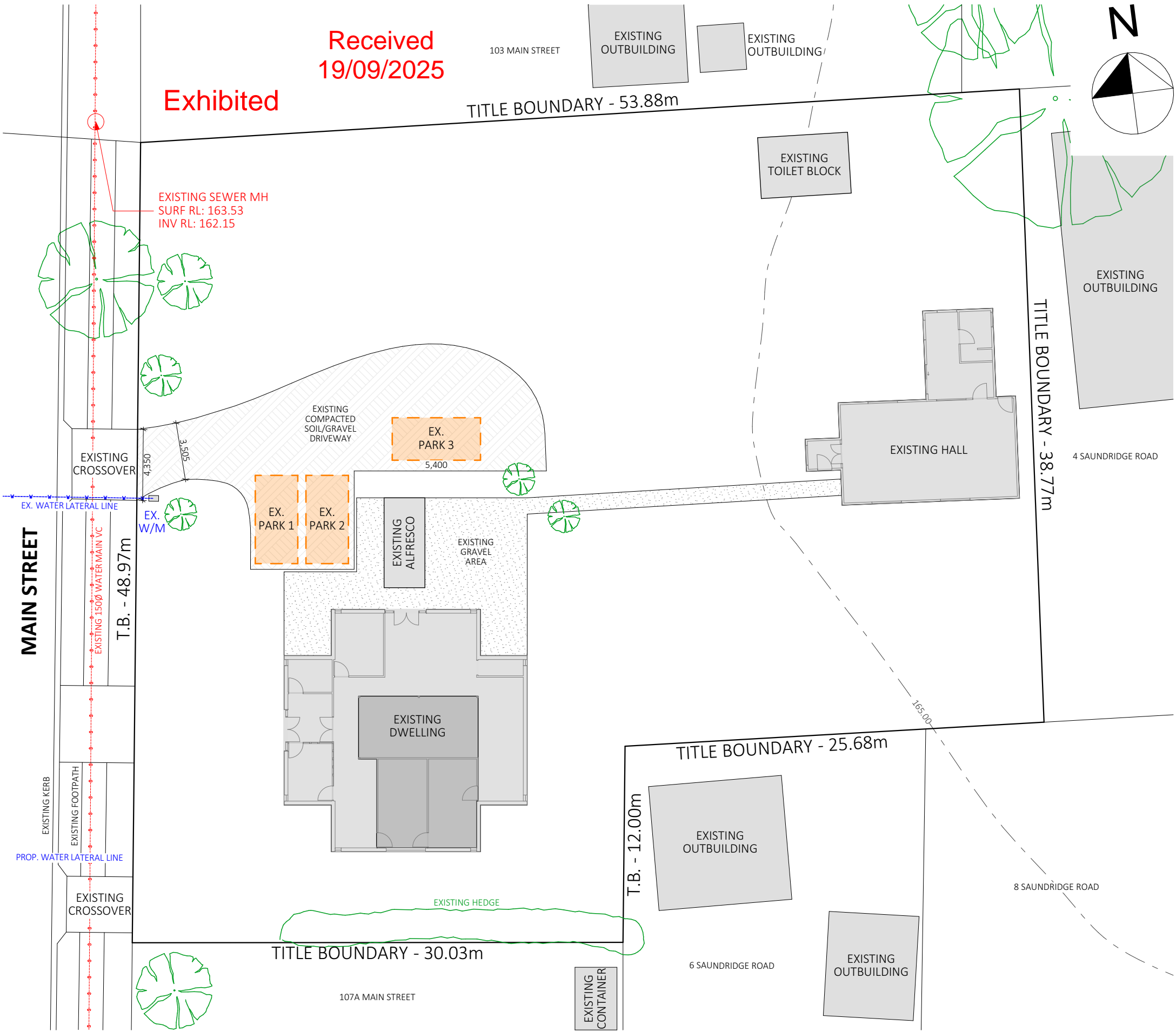
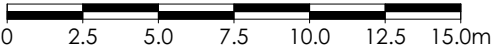
CLASSIFICATION OF BUILDING		COUNCIL	ZONE		
EXISTING: CLASS 1A PROPOSED: CLASS 1B		NORTHERN MIDLANDS	GENERAL RESIDENTIAL		
AREAS	(m²)	LAND TITLE REFERENCE	7447/3	ENERGY STAR RATING	N/A
PROPOSED COMMUNAL RESIDENCE A - GF	188.06	PROPERTY ID	6749899	CLIMATE ZONE	7
PROPOSED COMMUNAL RESIDENCE A - FF	61.65	LOT SIZE (M²)	2455	ALPINE AREA	N/A
PROPOSED COMMUNAL RESIDENCE B	95.61	BAL RATING	N/A	CORROSION ENV'	LOW
EXISTING ALFRESCO	13.75	DESIGN WIND CLASS	N/A	SITE HAZARDS	N/A
EXISTING TOILET BLOCK	20.58	SOIL CLASSIFICATION	N/A		
		PLANNING OVERLAY	AIRPORT OBSTACLE LIMITATION AREA, BUSHFIRE-PRONE AREAS		

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT: TYLER AYRES	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	MNS105
							R1	09/09/2025	FOR PLANNING	DRAWN	S.B.	DRAWING	1/8
							R2	12/09/2025	PLANNING RFI				
							R3	19/09/2025	PLANNING RFI	CHECKED	M.L.	SCALE (@A3)	NTS



LOCALITY PLAN
NOT TO SCALE

AREA	m ²
EXISTING DWELLING GF	188.06
EXISTING DWELLING FF	61.65
EXISTING HALL	95.61
EXISTING ALFRESCO	13.75
EXISTING TOILET BLOCK	20.58



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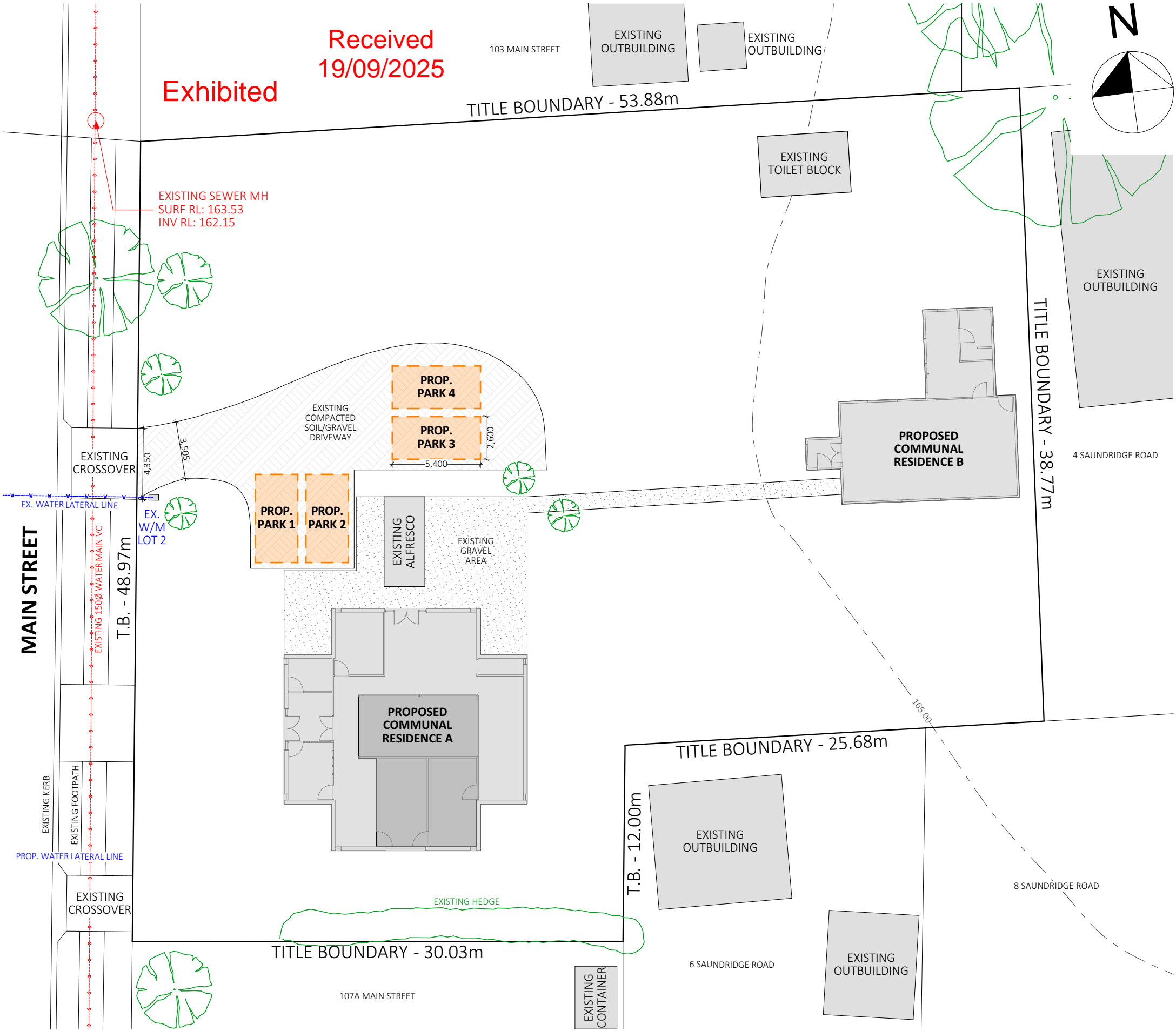
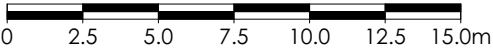
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R3	19/09/2025	PLANNING RFI	CHECKED	M.L.	SCALE (@A3)	1:250



LOCALITY PLAN
NOT TO SCALE

AREA	m ²
PROPOSED COMMUNAL RESIDENCE A - GF	188.06
PROPOSED COMMUNAL RESIDENCE A - FF	61.65
PROPOSED COMMUNAL RESIDENCE B	95.61
EXISTING ALFRESCO	13.75
EXISTING TOILET BLOCK	20.58



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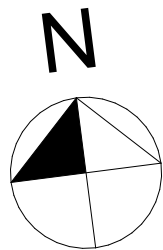
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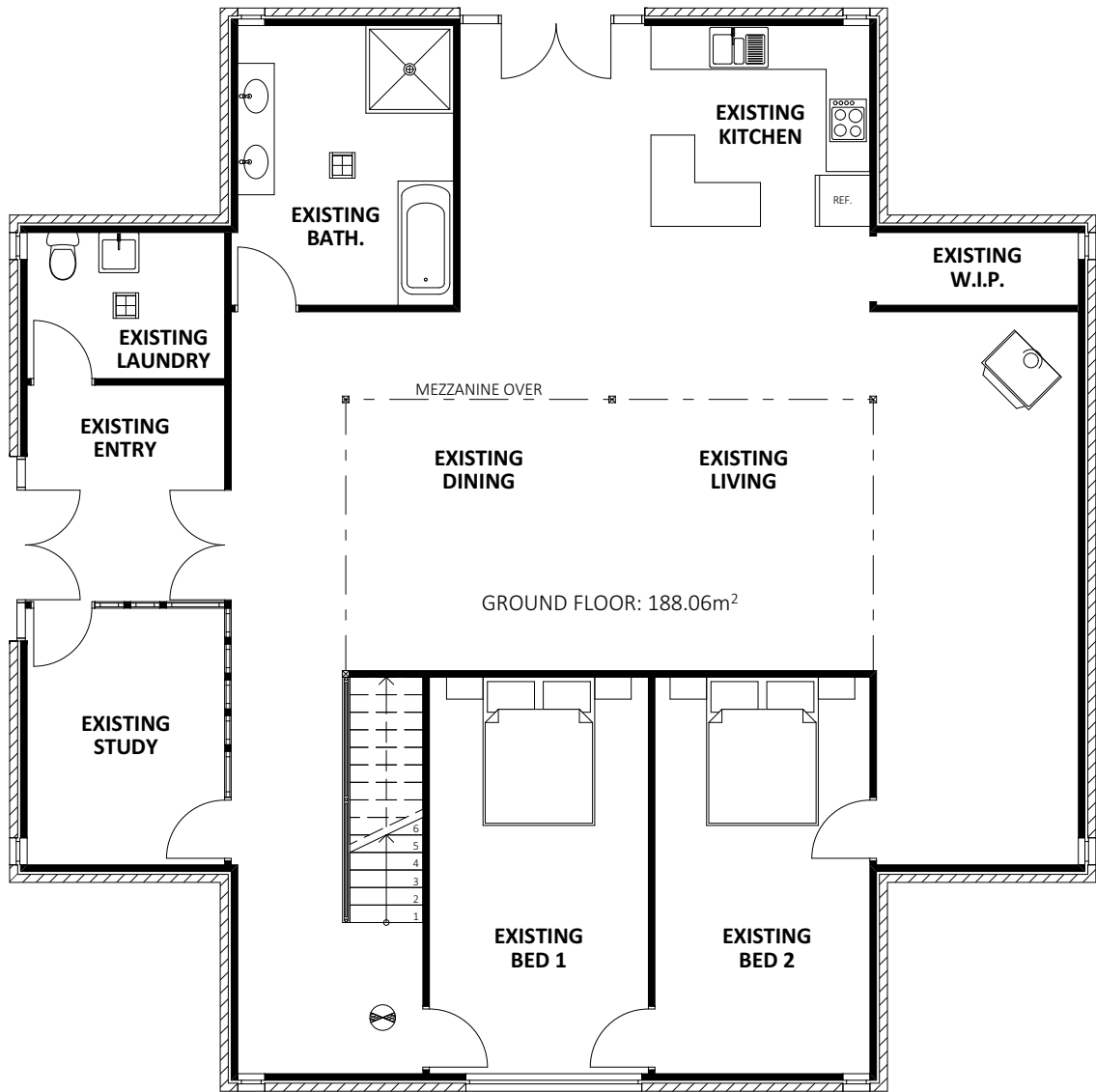
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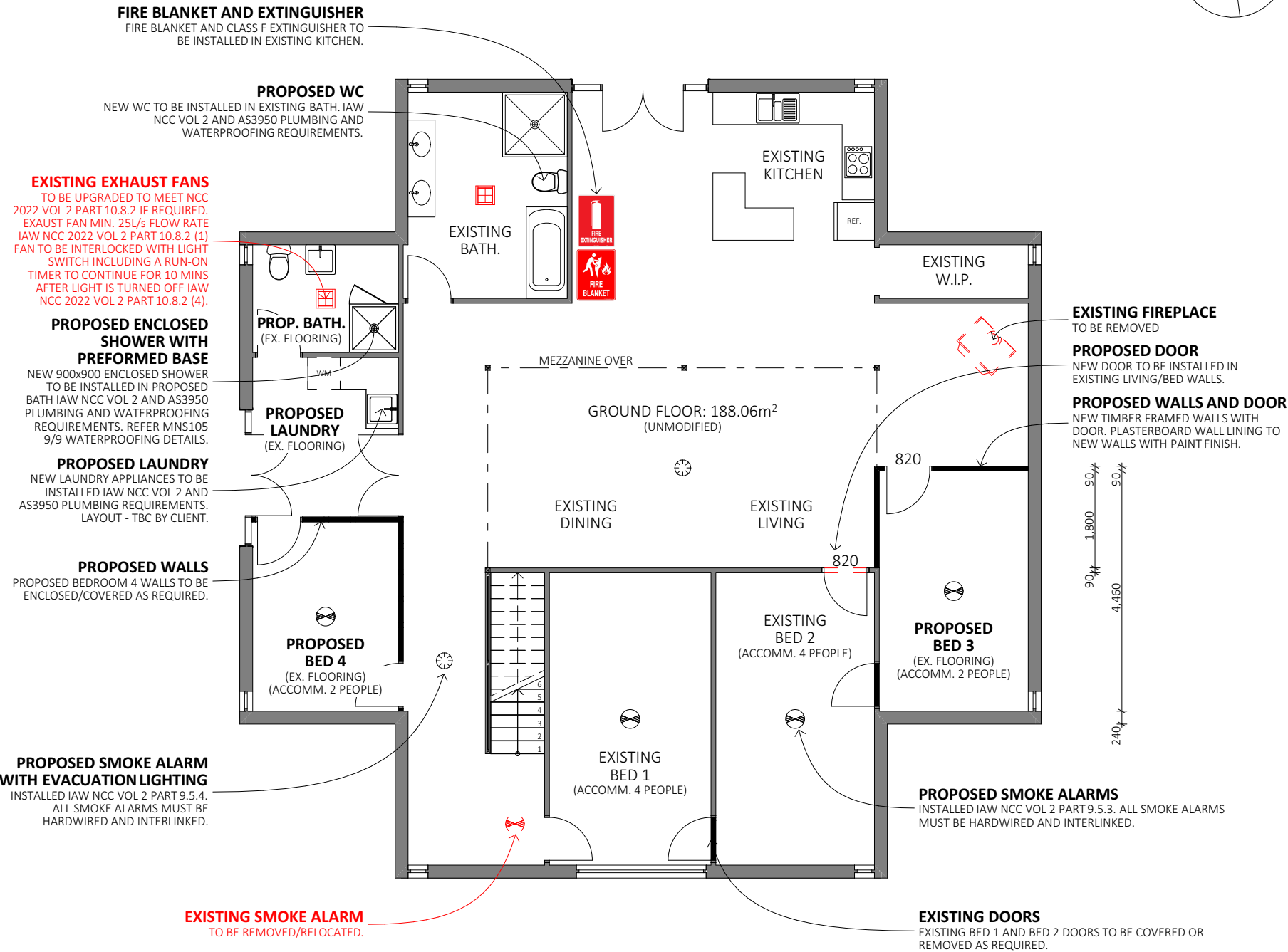
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EXISTING GROUND FLOOR



PROPOSED GROUND FLOOR



KEY:	
	EXISTING GLAZED WALL
	NEW WALL
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



NOTE:
- BUILDER TO CONFIRM ALL DIMENSIONS ON SITE.



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DRAWING
EXISTING &
PROPOSED
GROUND FLOOR
PLAN - DWELLING

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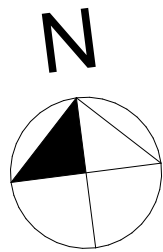
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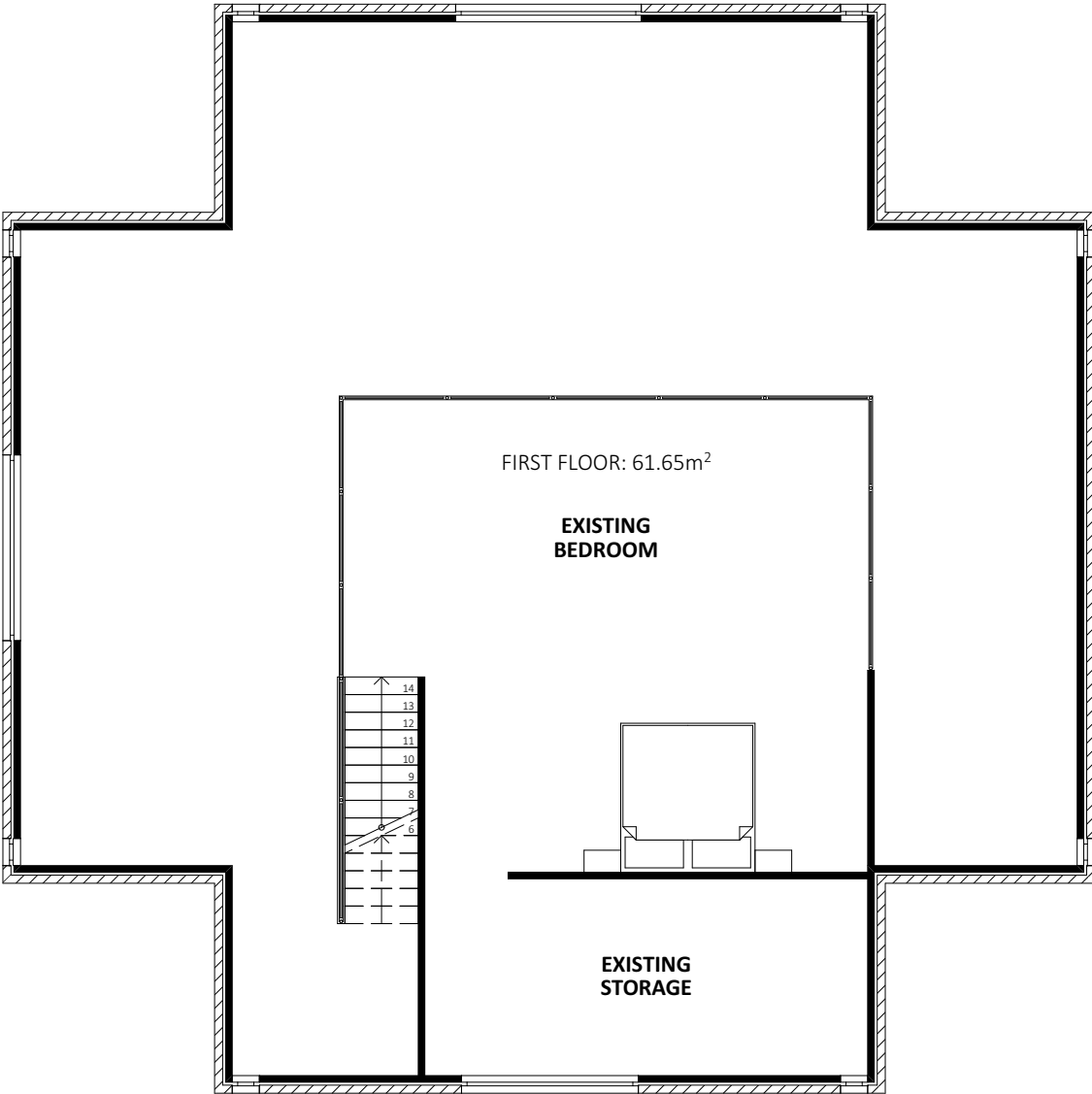
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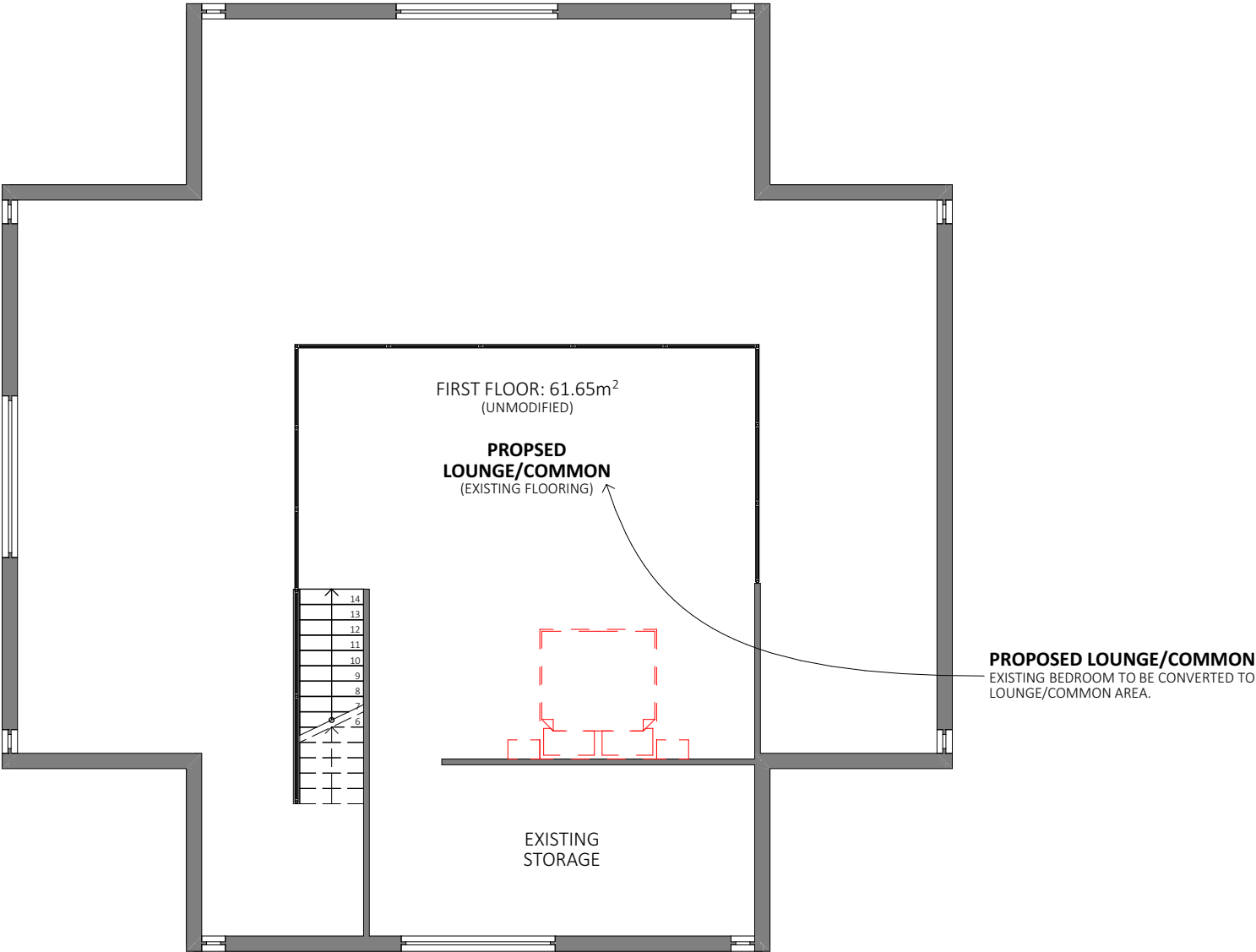
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EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR



KEY:	
	NEW WALL
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



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DRAWING
EXISTING AND
PROPOSED FIRST
FLOOR PLAN -
DWELLING

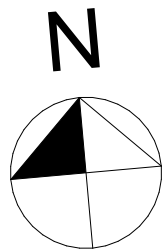
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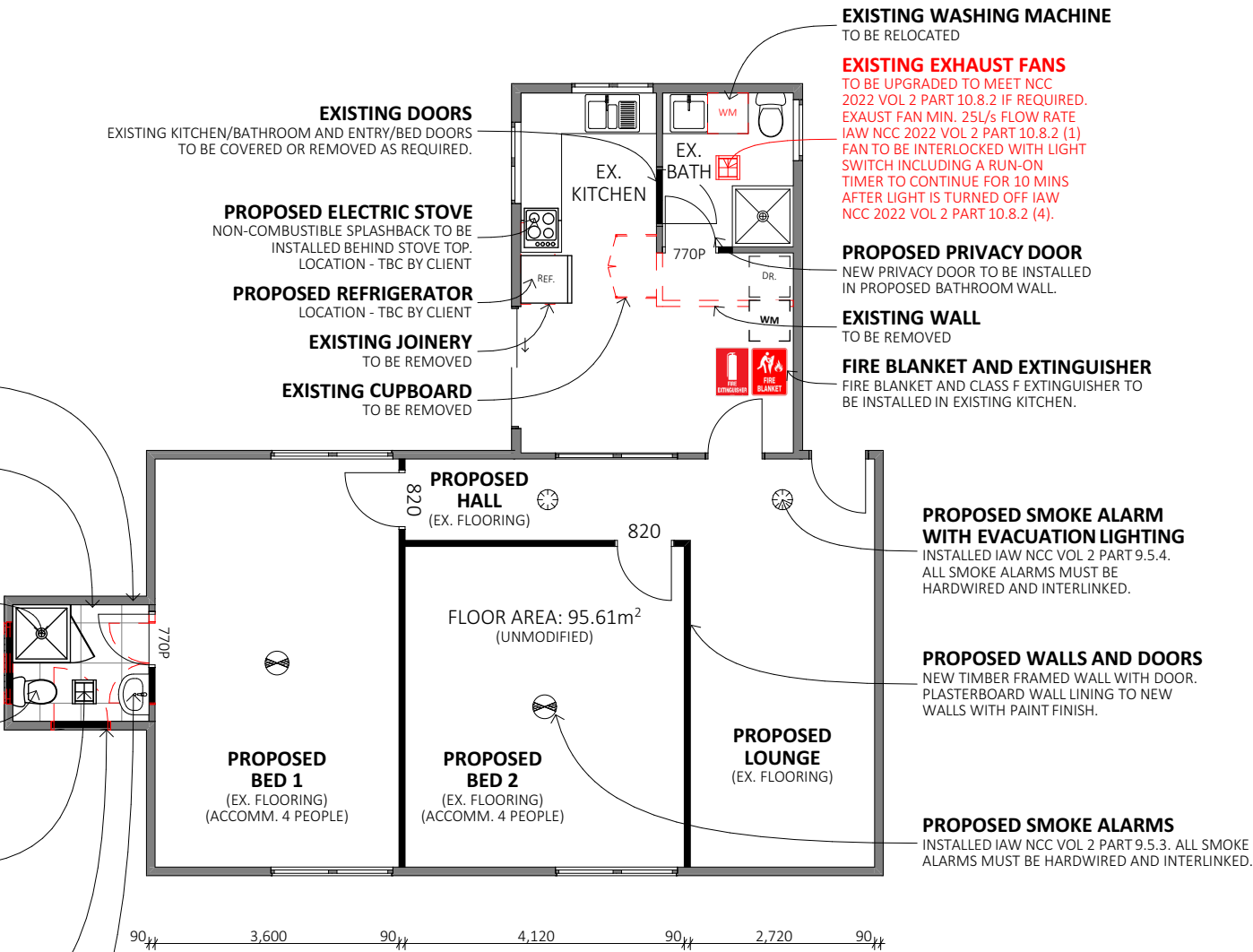
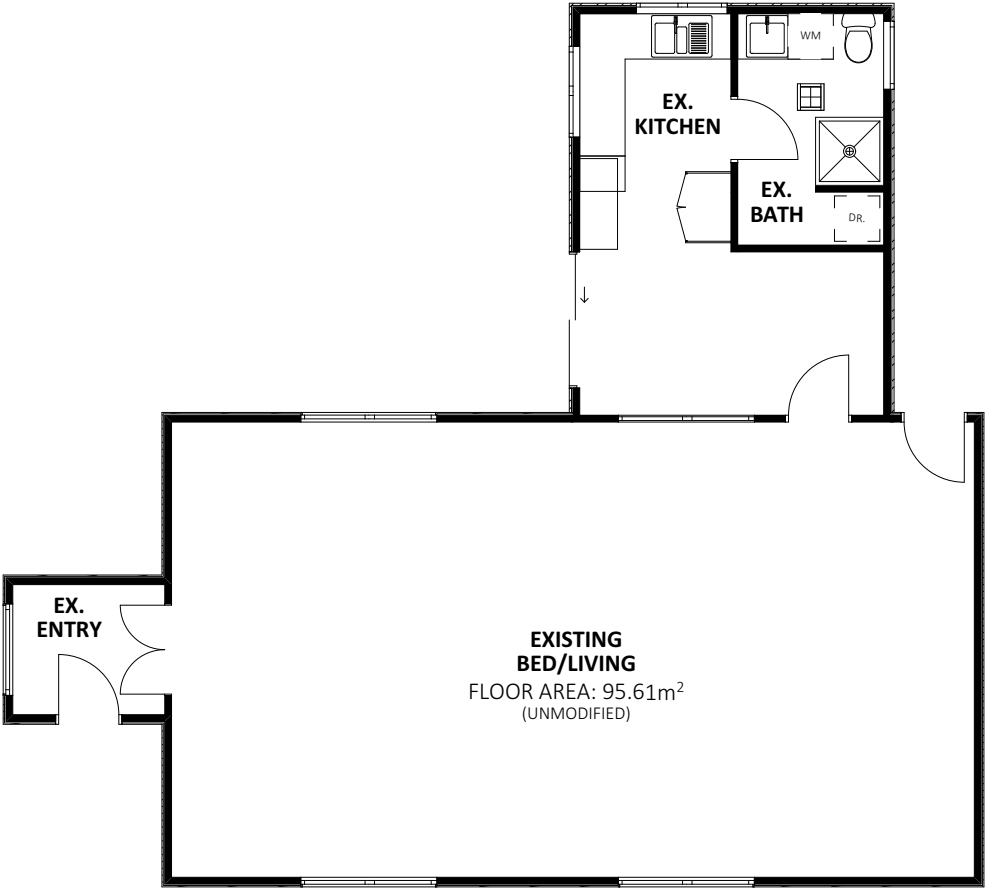
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EXISTING GROUND FLOOR

PROPOSED GROUND FLOOR



- PROPOSED PRIVACY DOOR**
NEW PRIVACY DOOR TO BE INSTALLED TO PROPOSED ENS.
- PROPOSED TILE FLOOR**
TO BE FULLY WATER RESISTANT
WATER PROOF JOINTS AT FLOOR AND WALL JUNCTION, MIN 25mm ABOVE FINISHED FLOOR SURFACE
- PROPOSED ENCLOSED SHOWER WITH PREFORMED BASE**
NEW 850x850 ENCLOSED SHOWER TO BE INSTALLED IN PROPOSED BATH IAW NCC VOL 2 AND AS3950 PLUMBING AND WATERPROOFING REQUIREMENTS. REFER MNS105 9/9 WATERPROOFING DETAILS.
- PROPOSED WC**
NEW WC TO BE INSTALLED IN PROPOSED ENS. IAW NCC VOL 2 AND AS3950 PLUMBING AND WATERPROOFING REQUIREMENTS.
- EXHAUST FANS**
EXHUAUST FAN TO BE INSTALLED IN PROPOSED ENS. AND MUST MEET NCC 2022 VOL 2 PART 10.8.2. EXHAUST FAN MIN. 25L/s FLOW RATE IAW NCC 2022 VOL 2 PART 10.8.2 (1) FAN TO BE INTERLOCKED WITH LIGHT SWITCH INCLUDING A RUN-ON TIMER TO CONTINUE FOR 10 MINS AFTER LIGHT IS TURNED OFF IAW NCC 2022 VOL 2 PART 10.8.2 (4).
- EXISTING EXTERNAL DOOR & WINDOW**
TO BE FULLY REMOVED AND REPLACED WITH TIMBER INFILL FRAMING. WEATHERBOARD CLADDING TO MATCH EXISTING CLADDING TO BE INSTALLED IAW MANUFACTURERS SPECIFICATIONS. AQUACHEK WALL LINING TO NEW WALL WITH PAINT FINISH.
- PROPOSED BASIN**
NEW BASIN TO BE INSTALLED IN PROPOSED ENS. IAW NCC VOL 2 AND AS3950 PLUMBING AND WATERPROOFING REQUIREMENTS.

KEY:	
	NEW WALL
	WALL TO BE REMOVED
	EXISTING/UNMODIFIED



- NOTES:**
- PROPOSED WALLS TO BE INSTALLED CLEAR OF EXISTING WINDOWS.
 - BUILDER TO CONFIRM ALL DIMENSIONS ON SITE.



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DRAWING
EXISTING &
PROPOSED FLOOR
PLAN - HALL

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GENERAL:
ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.
ALL CONSTRUCTION TO COMPLY WITH THE NCC 2022 VOL 2 AND AUSTRALIAN STANDARDS.

CHECK THE CONSTRUCTION PLANS ARE THE MOST RECENT AMENDMENT.
IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

FRAMING:
ALL TIMBER FRAMING TO COMPLY WITH AS 1684.2-2021, ANY STRUCTURAL DRAWINGS/
SPECIFICATIONS, MATERIAL SUPPLIER’S SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS.
WALL BRACING AND TIE-DOWN OF TIMBER CONSTRUCTION TO COMPLY WITH AS 1684.2-2021 AND
STRUCTURAL DRAWINGS & DETAILS.

FIRE SAFETY:
GENERALLY IAW NCC 2022 VOL 2 PART 9.4
SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5
SMOKE ALARMS AND EVACUATION LIGHTING IAW WITH NCC 2022 VOL 2 PART 9.5. MUST BE INSTALLED A
MINIMUM 300mm AWAYFROM CORNER JUNCTION OF THE WALL AND CEILING. TO BE BETWEEN 500mm
AND 1500mm AWAYFROM A RAKED CEILING APEX.

FIT OUT SCHEDULE:
WALL & CEILING LININGS - PLASTERBOARD WITH PAINT FINISH
WALL / CEILING JUNCTION TYPE - TBC BY CLIENT
ARCHITRAVE TYPE / FINISH - TBC BY CLIENT
FLOOR COVERINGS IN WET AREAS TO COMPLY WITH NCC 2022 VOL 2 PART 10.2
ALL INTERNAL DOORS TO BE REDICOTE HARD BOARD, HONEYCOMB CORE
REFER AT THE WIDTH NOTED ON FLOOR PLAN.

ELECTRICAL:
ALL WIRING, LIGHTING, ELECTRICAL OUTLETS, FIXTURES MUST BE INSTALLED BY A LICENSED
PRACTITIONER AND IAW WITH AS 3000:2018.
ALL LIGHTING AND ELECTRICAL FITTINGS FIXTURES AS PRESCRIBED BY THE OWNER AT THE TIME OF
INSTALLATION.

HEALTH AND AMENITY
WET AREA WATER PROOFING GENERALLY IAW NCC 2022 VOL 2 PART 10.2, REFER TO WATERPROOFING
DETAILS.
FACILITIES GENERALLY TO BE IAW NCC 2022 VOL 2. PART 10.4.1 AND FIGURE 10.4.2
SANITARY COMPARTMENT TO HAVE A MINIMUM 1200mm BETWEEN THE CLOSEST PAN AND THE
NEAREST PART OF THE DOOR WHEN CLOSED. IF NOT, LIFT OFF HINGES ARE TO BE FITTED TO SWING
DOORS.
VENTILATION TO BE IAW NCC 2022 VOL 2 PART 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION
AN EXHAUST FAN OR OTHER MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A
SANITARY COMPARTMENT, LAUNDRY, KITCHEN OR BATHROOM, OR WHERE MECHANICAL VENTILATION IS
PROVIDED IN ACCORDANCE WITH 10.6.3(b), PROVIDED CONTAMINATED AIR EXHAUSTS COMPLY WITH
10.8.2

- EXAUST FANS GENERALLY IAW NCC 2022 VOL 2 PART 10.8.2
- (1) AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR
LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF-
 - (a) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
 - (b) 40 L/S FOR A KITCHEN OR LAUNDRY.
 - (2) EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT
OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.
 - (3) WHERE A VENTING CLOTHES DRYER IS INSTALLED, IT MUST DISCHARGE DIRECTLY OR VIA A
SHAFT OR DUCT TO OUTDOOR AIR.
 - (4) AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR
SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH 10.6.2(a) MUST-
 - (a) BE INTERLOCKED WITH THE ROOM’S LIGHT SWITCH; AND
 - (b) INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10
MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF.
- VENTILATION OF ROOF SPACES GENERALLY IAW NCC 2022 VOL 2 10.8.3

ENCLOSED SHOWER WITH PREFORMED BASE:
TO BE INSTALLED IAW FIGURE 10.2.19a AND 10.2.19b.
ALL TAP AND SPOUT PENETRATIONS TO BE FULLY WATERPROOFED.
SHOWER SCREEN 2100mm HIGH AND INSTALLED IAW FIGURE 10.2.19b

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NCC VOL 2 PART 10.2 WET AREA WATERPROOFING

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH PREFORMED SHOWER BASE IAW PARTS 10.2.2 AND 10.2.19	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAT 1800mm ABOVE THE FINISHED FLOOR SUBSTRATE - SEE FIGURE 10.2.2. WHERE WATER-RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE THE POTENTIAL TO BE AFFECTED BY WATER AND MOISTURE MUST BE WATERPROOFED, INCLUDING THE BOTTOM EDGE OVER PREFORMED SHOWER BASE.	WATERPROOF TO A HEIGHT OF NOT LESS THAT 1800mm ABOVE THE FINISHED FLOOR SUBSTRATE - SEE FIGURE 10.2.2. WHERE WATER-RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE THE POTENTIAL TO BE AFFECTED BY WATER AND MOISTURE MUST BE WATERPROOFED, INCLUDING THE BOTTOM EDGE OVER PREFORMED SHOWER BASE.	ALL PENETRATIONS WITH THE SHOWER TO BE WATERPROOF - REFER TO NCC 2022 VOL 2 PART 10.2.23 PENETRATIONS.
WALLS ADJOINING OTHER VESSELS (E.G. SINKS, LAUNDRY TUBS AND BASINS IAW PART 10.2.5	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAT 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL -SEE FIGURE 10.2.5	WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO WALL	ALL TAP & SPOUT PENETRATIONS TO BE WATERPROOF - REFER TO NCC 2022 VOL 2 PART 10.2.5 AND 10.2.23 PENETRATIONS.
LAUNDRIES AND WCS IAW PART 10.2.5	WATER RESISTANT TO ENTIRE FLOOR	N/A	WATER-RESISTANT ALL WALL/FLOOR JUNCTIONS, WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAT 40MM	N/A

TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING

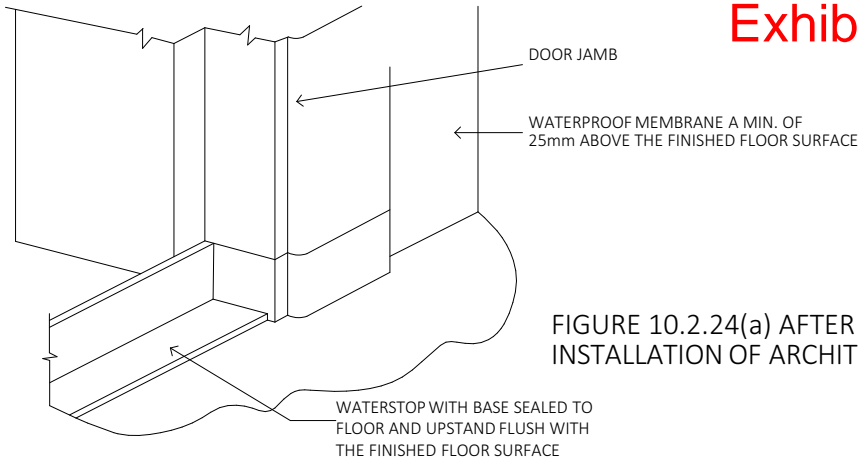


FIGURE 10.2.24(a) AFTER INSTALLATION OF ARCHITRAVE

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TYPICAL BATHROOM DOOR DETAILS FOR WHOLE BATHROOM WATERPROOFING

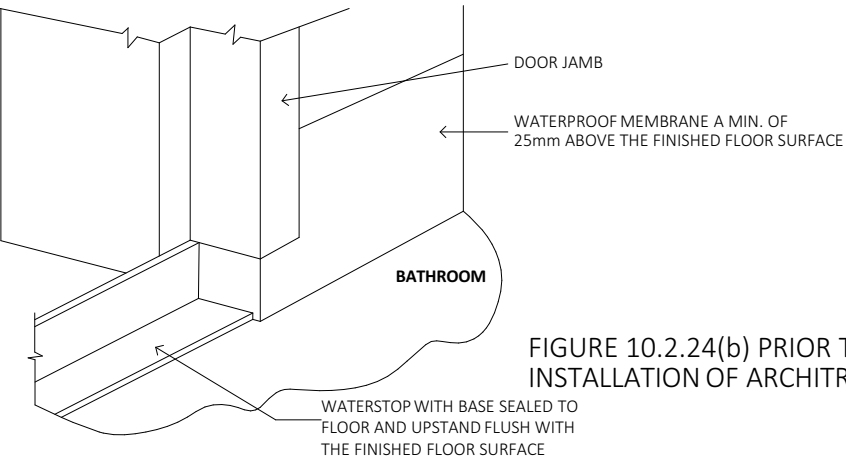


FIGURE 10.2.24(b) PRIOR TO INSTALLATION OF ARCHITRAVE

SHOWER AREAS (ENCLOSED & UNENCLOSED)

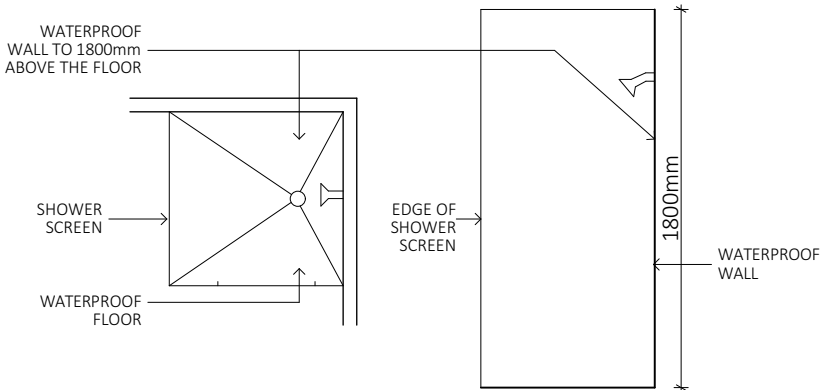


FIGURE 10.2.2- ENCLOSED SHOWER

PREFORMED SHOWER BASES - TILE OPTION

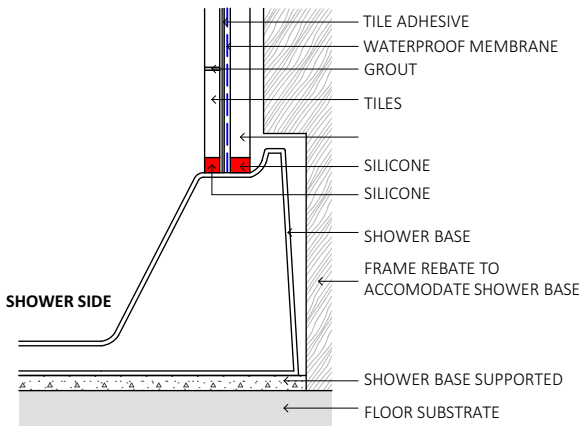


FIGURE 10.2.19a- ALTERNATIVE

BOND BREAKER INSTALLATION OF BONDED MEMBRANES

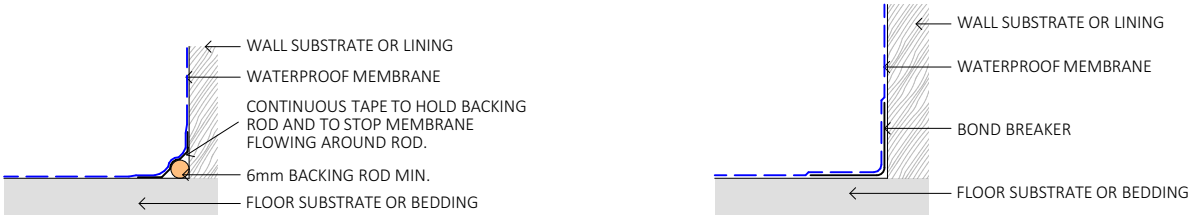


FIGURE 10.2.27- BOND BREAKER DETAILS

PREFORMED SHOWER BASES

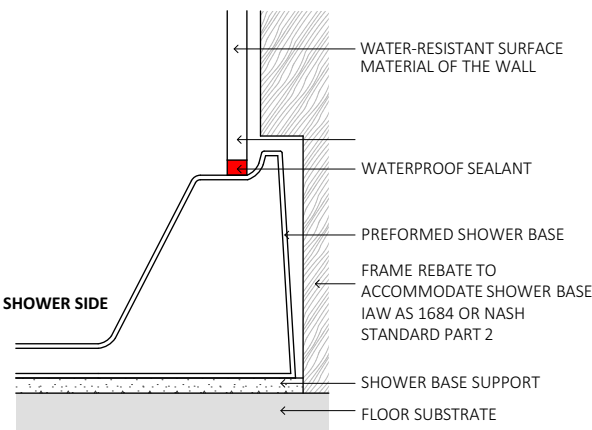


FIGURE 10.2.19a

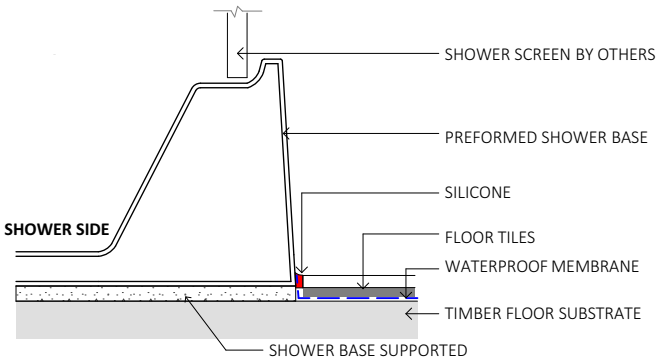


FIGURE 10.2.19b



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SITE ADDRESS:
105-107 MAIN STREET,
CRESSY, 7302.

DRAWING
WATERPROOFING
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I/WE APPROVE THESE DRAWING TO BE
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