

This planning application is open for
public comment until
27 October 2025

Reference no	PLN-25-0108
Site	10-12 BARCLAY STREET EVANDALE
Proposed Development	Gazebo and Greenhouse
Zone	8.0 General Residential
Use class	Residential

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)



NORTHERN
MIDLANDS
COUNCIL

PLANNING APPLICATION

FOR BUILDINGS, WORKS AND CHANGE OF USE

(E.g. Residential houses, sheds, carports, retaining walls, visitor accommodation, commercial development, signage etc.)

Office Use Only:

The Proposal

Description of proposal:

Garden gazebo.

Garden greenhouse

Driveway construction material:

metal & timber & perspex

The Land

Site address:

12 Barclay Street
Evandale TAS 7212

Title reference:

C/T:

Existing buildings on site:

house + shed

Existing use of site:

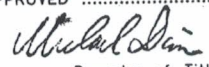
Residential

Applicant justification of any variation/discretion to the
Tasmanian Planning Scheme – Northern Midlands

FOLIO PLAN

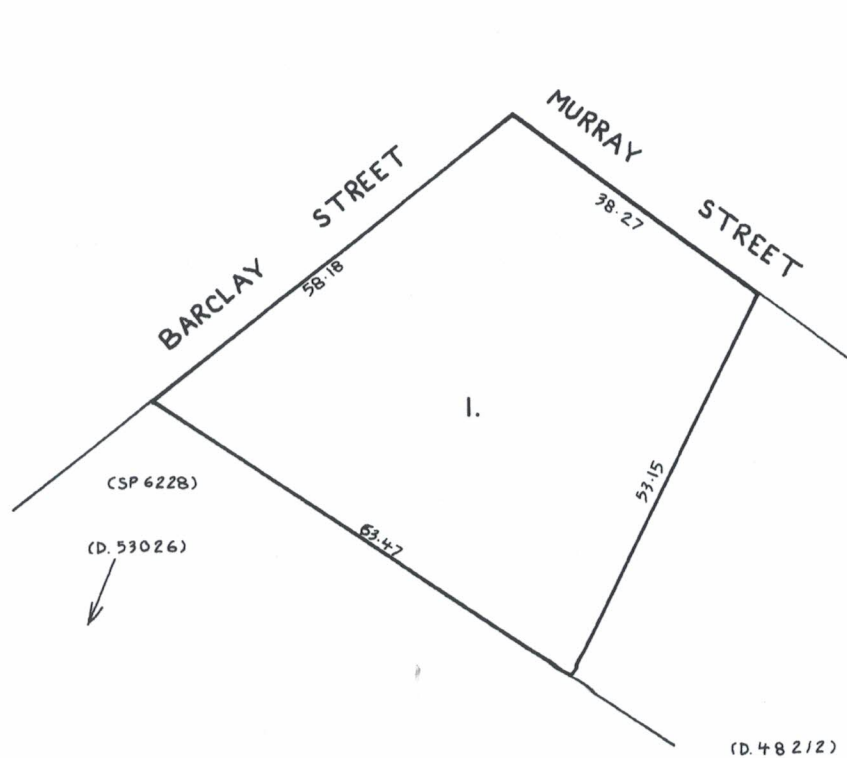
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

FILE No. Y.16624		CONVERSION PLAN LOCATION TOWN OF EVANDALE CONVERTED FROM 68/7652 NOT TO SCALE LENGTHS IN METRES	REGISTERED NUMBER D. 108785
GRANTEE PART OF 62-1-26, GTD TO KENNEDY MURRAY			APPROVED 15 DEC 1993  Recorder of Titles
TASMAP SHEET No. 47	LAST UPI No. 0778	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	DRAWN BY: CGW

SKETCH BY WAY OF ILLUSTRATION ONLY

"EXCEPTED LANDS"



Your Ref: PLN_25_0108

29 September 2025

The Manager
Northern Midlands Council
PO Box 156
Longford
TAS 7301

Attention: Brandie Strickland

Dear Brandie,

Planning Application PLN_25_0108
12 Barclay Street, Evandale

I refer to your letter dated 18 June 2025.

In response, adopting your paragraph numbers, please note.

1. Please find attached the List site plan with
 - a. Site Plan with dimensions
 - b. Existing vegetation marked on the plan
 - c. No existing or vegetation will be removed
 - d. Existing pedestrian and vehicle access to the site are noted.
 - e. Location of existing and proposed buildings on the site are noted.
2. Attached is a Whole Structure diagram of the gazebo with dimensions in the table headed Nodes.

Please note the structure does not require footings or any sub ground work as it will rest on the existing natural and finished ground level.

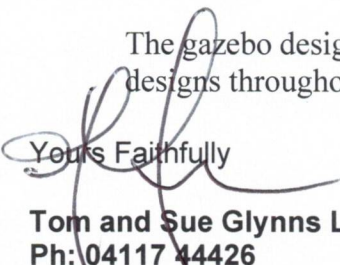
3. No vegetation will be removed.
4. There will be no demolition of any structure required.
5. The gazebo's natural timber structure is sympathetic to the existing timber house and shed on the site and neighbourhood structures.

The gazebo's roof design is similar and sympathetic to the existing roof shape on the existing on site structures as well as neighbourhood structures.

The gazebo is of a minimalist design and does not represent a bulky or imposing element on the site.

The gazebo is set back from the site boundaries, does not impose on the neighbours and does not create any shadowing or privacy to the neighbouring property.

The gazebo design is of a traditional nature, fitting in with other traditional and heritage designs throughout the precinct.

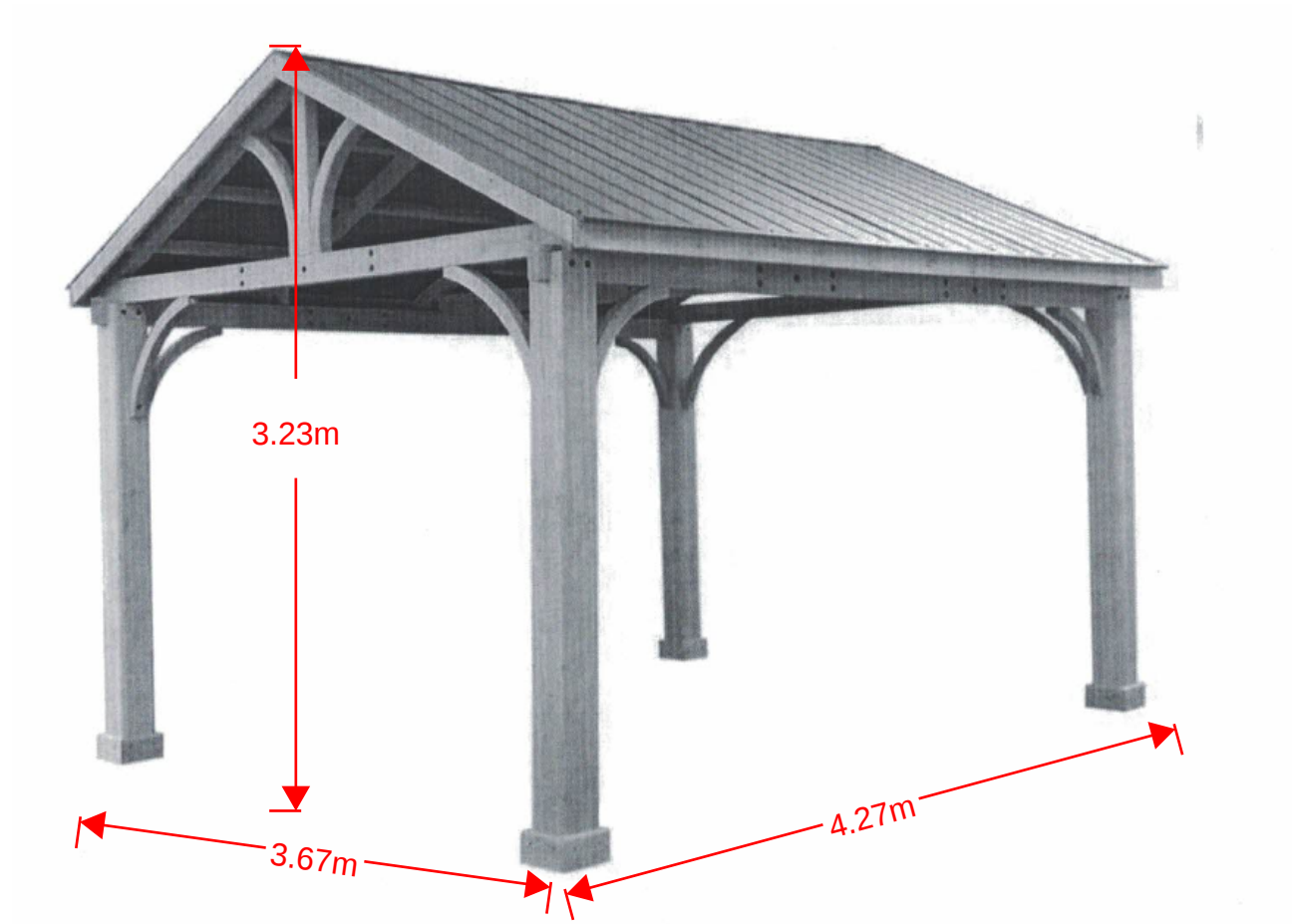
Yours Faithfully

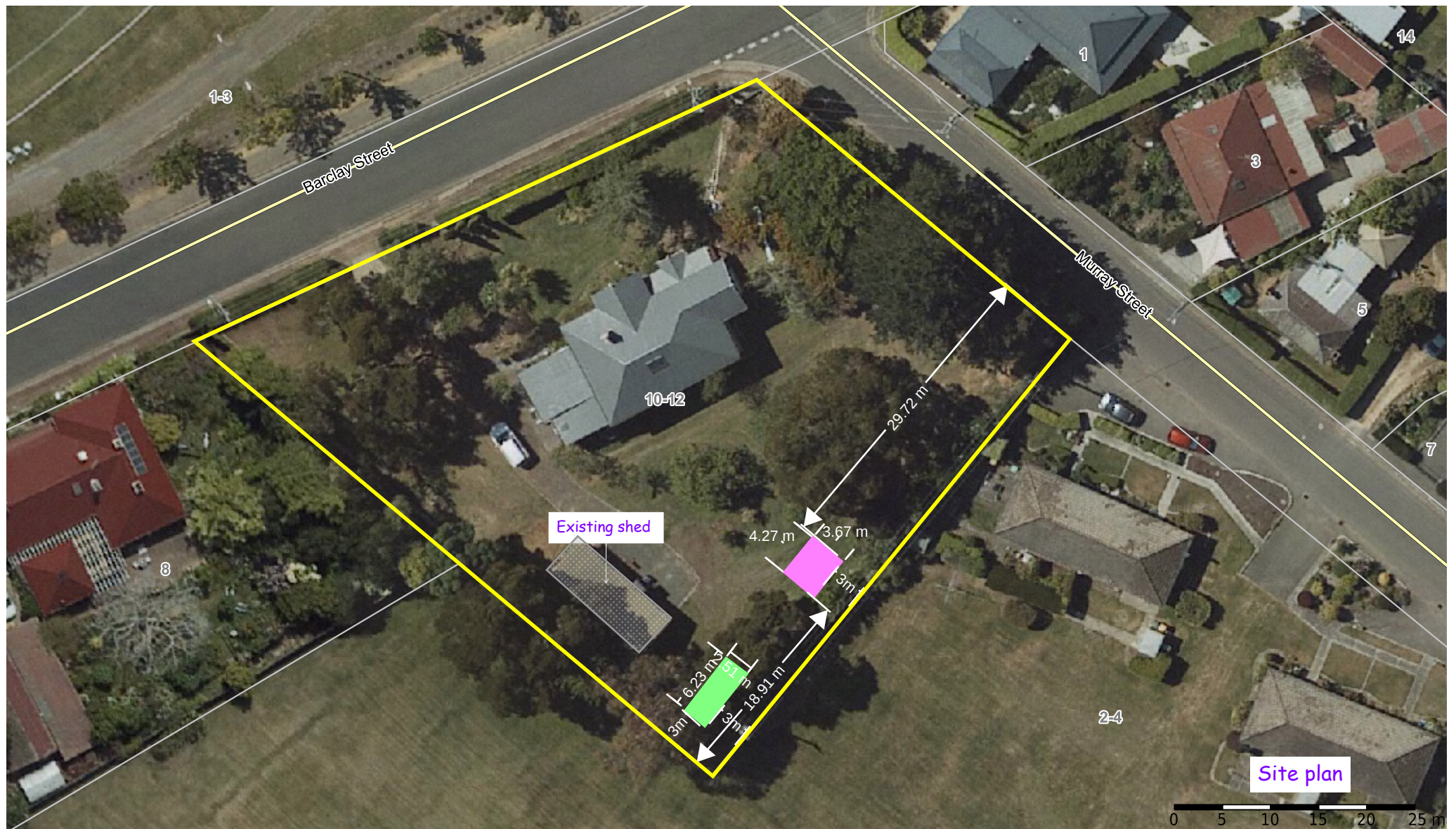
Tom and Sue Glynnns Lawyers

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Base data from theLIST, © State of Tasmania. For actual boundaries refer Title Plan.

Base image by TASMAR, © State of Tasmania
Where shown, aerial photography is indicative only and should not be used as an accurate comparison of title boundaries.

Where shown, underground services are diagrammatic only.
Actual location of services are to be confirmed on site.



3/10/2025

1:500

