

This planning application is open for
public comment until
20 October 2025

| | |
|----------------------|--|
| Reference no | PLN-25-0047 |
| Site | 924 DEDDINGTON ROAD DEDDINGTON |
| Proposed Development | Retrospective multiple dwelling and deck (vary access and parking provisions) |
| Zone | 12.0 Village |
| Use class | Residential |

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

PLANNING APPLICATION
Proposal

Exhibited

Description of proposal: As Constructed Dwelling and Deck

.....

.....

.....

.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 924 Deddington Road

Deddington TAS 7212

CT no: 248708/4

Estimated cost of project \$.....400,000..... (include cost of landscaping,
car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes

If yes – main building is used asDwelling.....

.....

If variation to Planning Scheme provisions requested, justification to be provided:

.....

.....

.....

.....

(attach additional sheets if necessary)

Is any signage required?

(if yes, provide details)

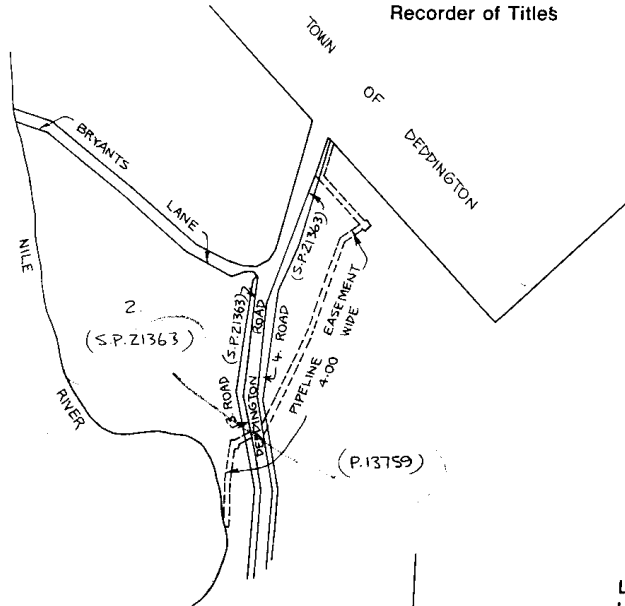
OS-D 435

ANNEXURE TO **CERTIFICATE OF TITLE**
FOLIO OF REGISTER

VOL. 2950

FOL. 51

E. R. T...
Recorder of Titles

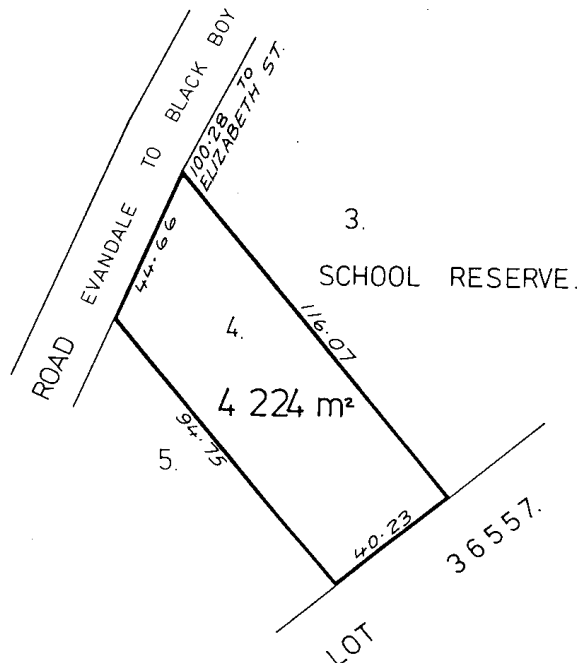


REGISTERED NUMBER

248708

MEAS. IN METRES.
TWN. DEDDINGTON.

Lot 4 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.





Plumbing Report – Septic Tank Installation / System Details



Property Information

- **Address:** 924 Deddington Road, Deddington, TAS 7212
 - **Council:** Northern Midlands Council
 - **Property ID (PID):** 6399091
 - **Zoning:** Rural Residential
-



Plumbing System – Septic Tank Details

1. Tank Location & Pipework

- **Tank Position:**

The 4000 L Everhard septic tank is installed **15 metres downslope** from the main dwelling, in a location that allows for gravity-fed flow and vehicle access for pump-out.

- **Pipe Gradient / Fall:**

The sewage line from the main house to the septic tank is approximately **15 metres in length**, with an approximate **fall of 1:60** (i.e. **250 mm over 15 m**) to maintain adequate self-cleansing velocity as per AS/NZS 3500.2.

2. Tank Type & Capacity

- **Tank Brand:** Everhard
 - **Tank Size:** 4000 L (Heavy-Duty Polyethylene)
 - **Lid Type:** Trafficable
 - **Inlet/Outlet:** 100 mm PVC DWV pipe with inspection access
 - **Ventilation:** Provided via high point vent downstream of fixture traps and at the tank outlet
 - **Access:** Via vehicle for pump-out
-



Occupancy & Capacity

| Structure | Max Occupants | Fixtures Connected | Flow Estimate |
|----------------|---------------|----------------------------------|--------------------|
| Main House | 6 people | Kitchen, laundry, 1 bathroom, WC | ~900–1,200 L/day |
| Studio / Cabin | 2 people | Bathroom, kitchenette | ~250–400 L/day |
| Total | 8 people | Full household plumbing | ~1,200–1,600 L/day |

Total design capacity: 8 occupants

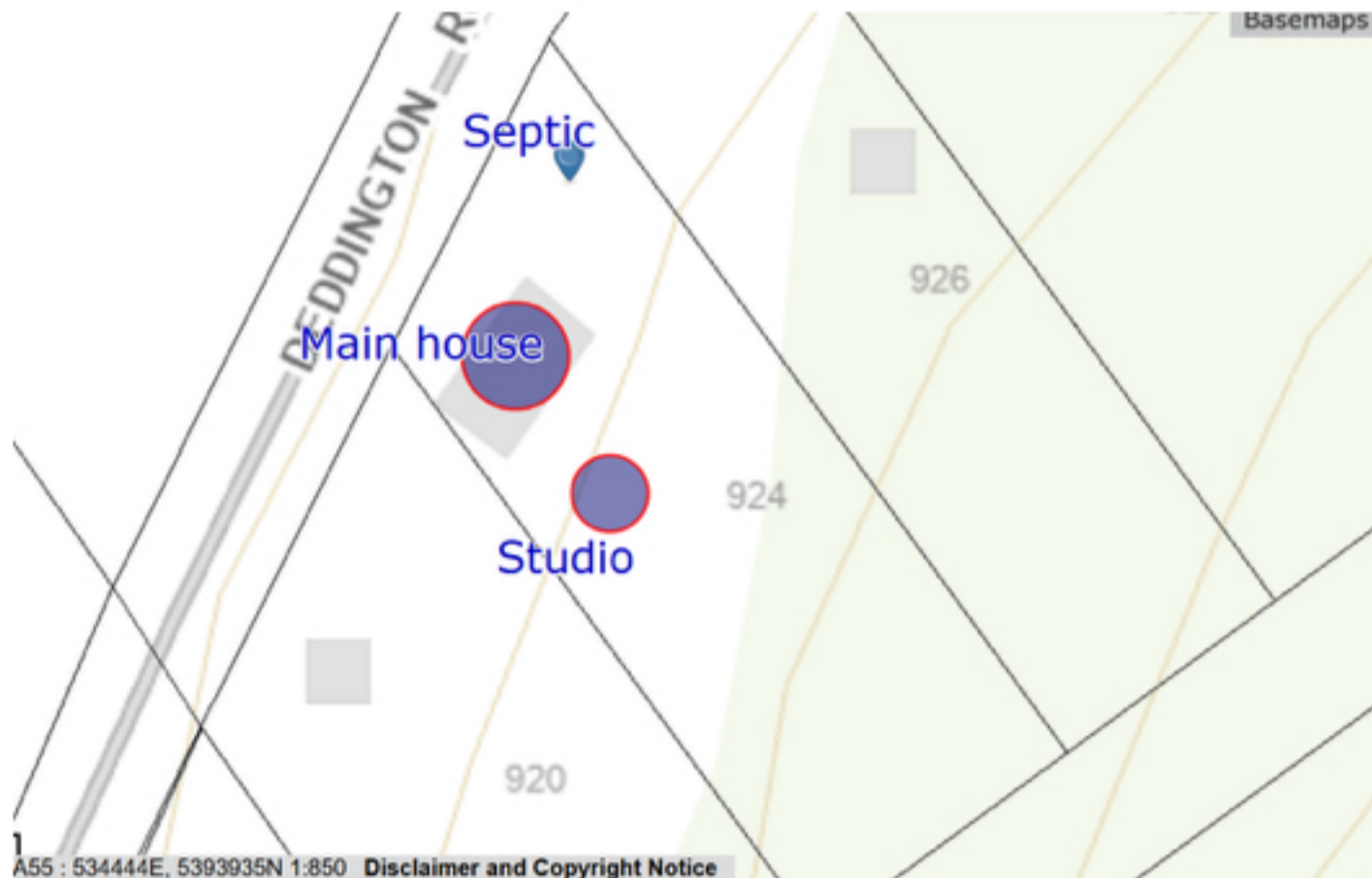
AS/NZS 1547 Guideline: 4000 L septic tank is adequate for up to 10 equivalent persons under normal use.



Drainage / Effluent Disposal

- **Type:** Septic tank with gravity discharge to subsurface absorption trenches
 - **Disposal Field:** Located downslope of tank, in non-traffic, well-drained soil area
 - **Setbacks:**
 - 6 m from dwelling
 - 3 m from boundaries
 - 30 m from any watercourse
 - **Soil Type:** Well-drained loam over clay base.
-

Site Sketch / Map (not to scale)



Deddington Road

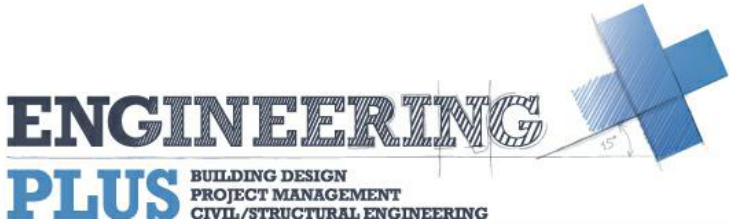
||
|| (Driveway)
|| _____ [Main House]
|| |
|| 15m @ 1:60 fall
|| ↓
|| [Septic Tank]
|| ↓
|| Absorption Trenches

Compliance & Notes

- Septic tank and disposal field are sized and located in accordance with **AS/NZS 1547:2012**
 - Installation performed by licensed plumbing contractor
 - Inspection openings, access lids, and venting installed per Tasmanian Plumbing Code
 - Adequate fall ensures free drainage from both dwellings
 - System is accessible for maintenance and pump-out vehicles
-

Received
26/09/2025

Exhibited



DRAWING SCHEDULE

| | |
|-----|---|
| A00 | COVER PAGE |
| A01 | SITE PLAN |
| A02 | CONSTRUCTION PLAN - AS CONSTRUCTED DWELLING |
| A03 | CONSTRUCTION PLAN - AS CONSTRUCTED PERGOLA |
| A04 | FLOOR PLAN - AS CONSTRUCTED DWELLING |
| A05 | ROOF PLAN |
| A06 | ELEVATIONS #1 |
| A07 | ELEVATIONS #2 |
| A08 | 3D PERSPECTIVE #1 |
| A09 | 3D PERSPECTIVE #2 |
| A10 | 3D PERSPECTIVE #3 |
| A11 | 3D PERSPECTIVE #4 |

PROJECT INFORMATION

| | |
|------------------------------|-------------------------|
| BUILDING DESIGNER: | GRANT JAMES PFEIFFER |
| ACCREDITATION No: | CC2211T |
| ZONE: | 12.0 VILLAGE |
| BUILDING CLASS: | CLASS 1A |
| LAND TITLE REFERENCE NUMBER: | 248708/4 |
| DESIGN WIND SPEED: | ASSUMED 'N3' |
| SOIL CLASSIFICATION: | ASSUMED 'H1' |
| CLIMATE ZONE: | 7 |
| BUSHFIRE-PRONE BAL RATING: | N/A |
| ALPINE AREA: | N/A |
| CORROSION ENVIRONMENT: | NO |
| FLOODING: | NO |
| LANDSLIP: | LOW |
| DISPERSIVE SOILS: | UNKNOWN |
| SALINE SOILS: | UNKNOWN |
| SAND DUNES: | NO |
| MINE SUBSIDENCE: | NO |
| LANDFILL: | NO |
| GROUND LEVELS: | REFER PLAN |
| ORG LEVEL: | 75mm ABOVE GROUND LEVEL |

AS CONSTRUCTED STUDIO

S . BRIEN
924 DEDDINGTON ROAD,
DEDDINGTON TAS 7212

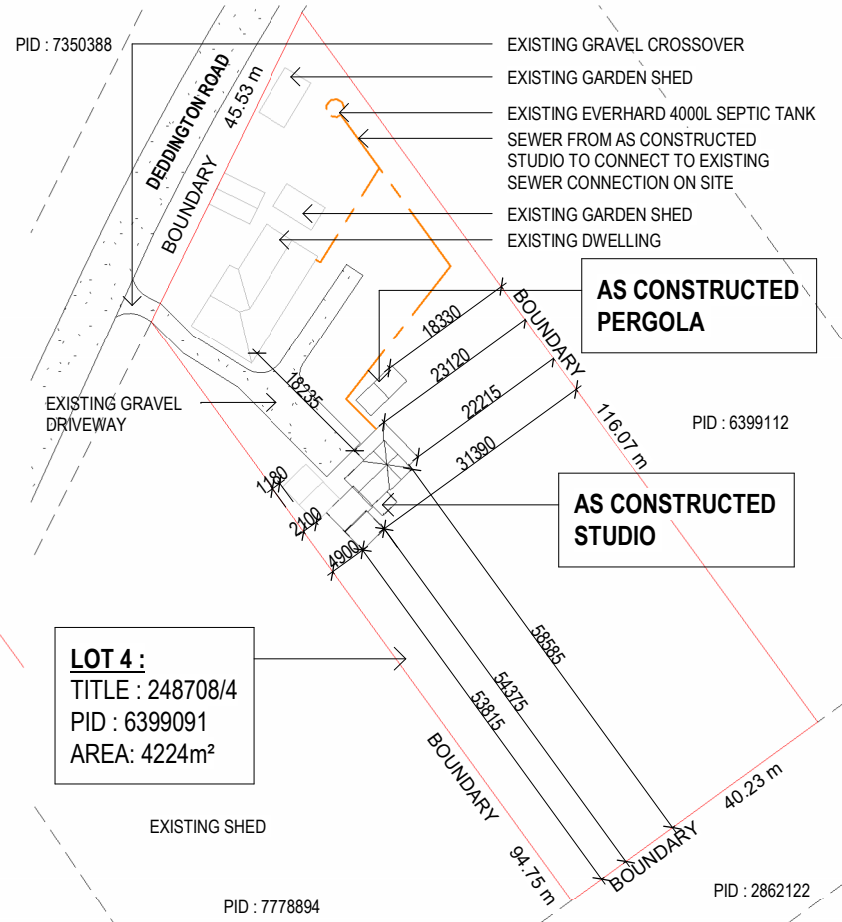
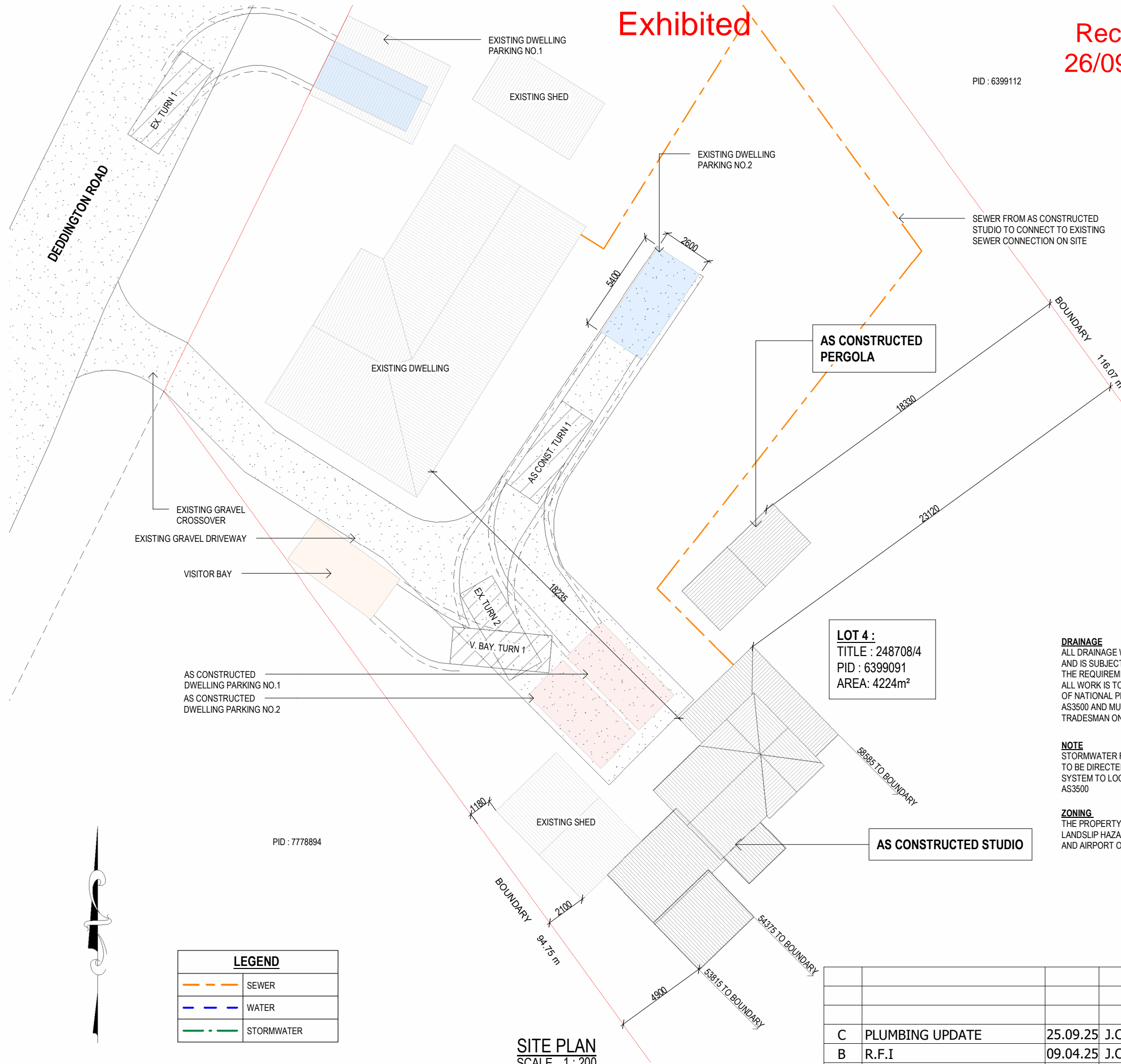
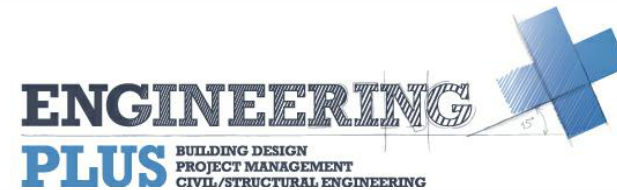
NORTHERN MIDLANDS COUNCIL

ISSUED FOR APPROVAL

| DEVELOPMENT AREA | |
|------------------------|----------|
| Name | Area |
| AS CONSTRUCTED PERGOLA | 27.78 m² |
| AS CONSTRUCTED STUDIO | 71.33 m² |
| DECK | 14.80 m² |
| EXISTING FRONT SHED | 28.34 m² |
| 142.25 m² | |

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LOCALITY PLAN
SCALE 1:1000

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM AS CONSTRUCTED DWELLING TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

ZONING
THE PROPERTY IS ENTIRELY LOCATED IN A LOW LANDSLIP HAZARD BAND, BUSHFIRE - PRONE AREAS AND AIRPORT OBSTACLE LIMITATION AREA.

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Client: S. BRIEN
Project: AS CONSTRUCTED STUDIO
Address: 924 DEDDINGTON ROAD,
DEDDINGTON TAS 7212

Office: 6331 7021
info@engineeringplus.com.au



Date Drawn: 13.03.25
Drawn: J. Chin
Checked: R. Hall
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-37 A01 / A11
Rev: C

| LEGEND | |
|--------|------------|
| | SEWER |
| | WATER |
| | STORMWATER |

SITE PLAN
SCALE 1:200

LOT 4:
TITLE : 248708/4
PID : 6399091
AREA: 4224m²

AS CONSTRUCTED
PERGOLA

AS CONSTRUCTED
STUDIO

AS CONSTRUCTED
PERGOLA

AS CONSTRUCTED
STUDIO

SEWER FROM AS CONSTRUCTED
STUDIO TO CONNECT TO EXISTING
SEWER CONNECTION ON SITE

AS CONSTRUCTED
DWELLING PARKING NO.1
AS CONSTRUCTED
DWELLING PARKING NO.2

EXISTING GRAVEL
CROSSOVER
EXISTING GRAVEL DRIVEWAY
VISITOR BAY

EXISTING DWELLING
PARKING NO.1
EXISTING SHED
EXISTING DWELLING
PARKING NO.2



CONSTRUCTION FIRST FLOOR PLAN - AS CONSTRUCTED STUDIO
SCALE 1:100

| Area Schedule (Gross Building) | | |
|--------------------------------|-----------|-----------|
| Name | Area | Area (sq) |
| AS CONSTRUCTED PERGOLA | 27.78 m² | 2.99 |
| AS CONSTRUCTED STUDIO | 71.33 m² | 7.68 |
| DECK | 14.80 m² | 1.59 |
| EXISTING FRONT SHED | 28.34 m² | 3.05 |
| | 142.25 m² | 15.31 |

| | | | | |
|------|---------------------|----------|------|------------------------------|
| | | | | Date Drawn: 13.03.25 |
| | | | | Drawn: J. Chin |
| | | | | Checked: R. Hall |
| C | PLUMBING UPDATE | 25.09.25 | J.C | Approved: J. Pfeiffer |
| B | R.F.I | 09.04.25 | J.C | Scale: As Shown @ A3 |
| A | ISSUED FOR APPROVAL | 18.03.25 | J.C | Accredited Building Designer |
| Rev: | Amendment: | Date: | Int: | Designer Name: J. Pfeiffer |
| | | | | Accreditation No: CC22 |

Client: S. BRIEN
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Address: 924 DEDDINGTON ROAD,
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Office: 6331 7021
info@engineeringplus.com.au

| | |
|-------------------|-----|
| Drawing No: | Rev |
| 2025-37 A02 / A11 | C |



ENGINEERING
PLUS BUILDING DESIGN
 PROJECT MANAGEMENT
 CIVIL/STRUCTURAL ENGINEERING

WINDOW SCHEDULE

| MARK | HEIGHT | WIDTH | TYPE | U-VALUE | SHGC |
|------|--------|-------|------|---------|------|
| W1 | 1010 | 1820 | DG | 4.3 | 0.55 |
| W2 | 1270 | 1720 | DG | 4.3 | 0.55 |
| W3 | 700 | 1000 | DG | 4.3 | 0.55 |
| W4 | 1250 | 2220 | DG | 4.3 | 0.55 |
| W5 | 810 | 770 | DG | 4.3 | 0.55 |
| W6 | 1600 | 860 | DG | 4.3 | 0.55 |
| W7 | 1500 | 1460 | DG | 4.3 | 0.55 |
| W8 | 1250 | 770 | DG | 4.3 | 0.55 |
| W9 | 1270 | 1700 | DG | 4.3 | 0.55 |
| W10 | 1250 | 770 | DG | 4.3 | 0.55 |
| W11 | 1270 | 1700 | DG | 4.3 | 0.55 |

* - IF HEIGHT TO GROUND IS GREATER THAN 2.0m
WINDOW TO HAVE PERMANENTLY FIXED ROBUST
SCREEN INSTALLED OR HAVE AN OPENING
RESTRICTED TO 125mm

DISCLAIMER

ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

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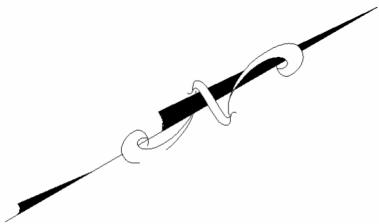
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Client: **S. BRIEN**

Project: AS CONSTRUCTED STUDIO
Address: 924 DEDDINGTON ROAD,
DEDDINGTON TAS 7212

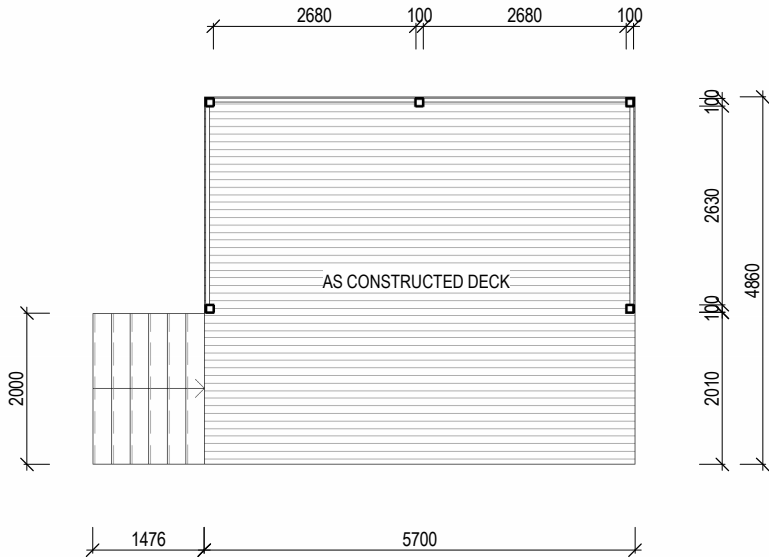
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CONSTRUCTION GROUND FLOOR PLAN - AS CONSTRUCTED PERGOLA
SCALE 1 : 100

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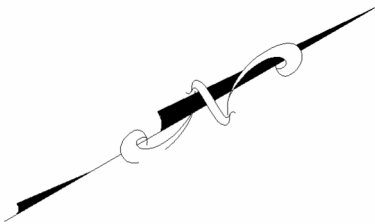
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| | | | | | | | |
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| | | | | Date Drawn: 13.03.25 | Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T | Drawing No: 2025-37 A03 / A11 | Rev C |
| | | | | Drawn: J. Chin | | | |
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| | | | | Approved: J. Pfeiffer | | | |
| C | PLUMBING UPDATE | 25.09.25 | J.C | Scale: As Shown @ A3 | | | |
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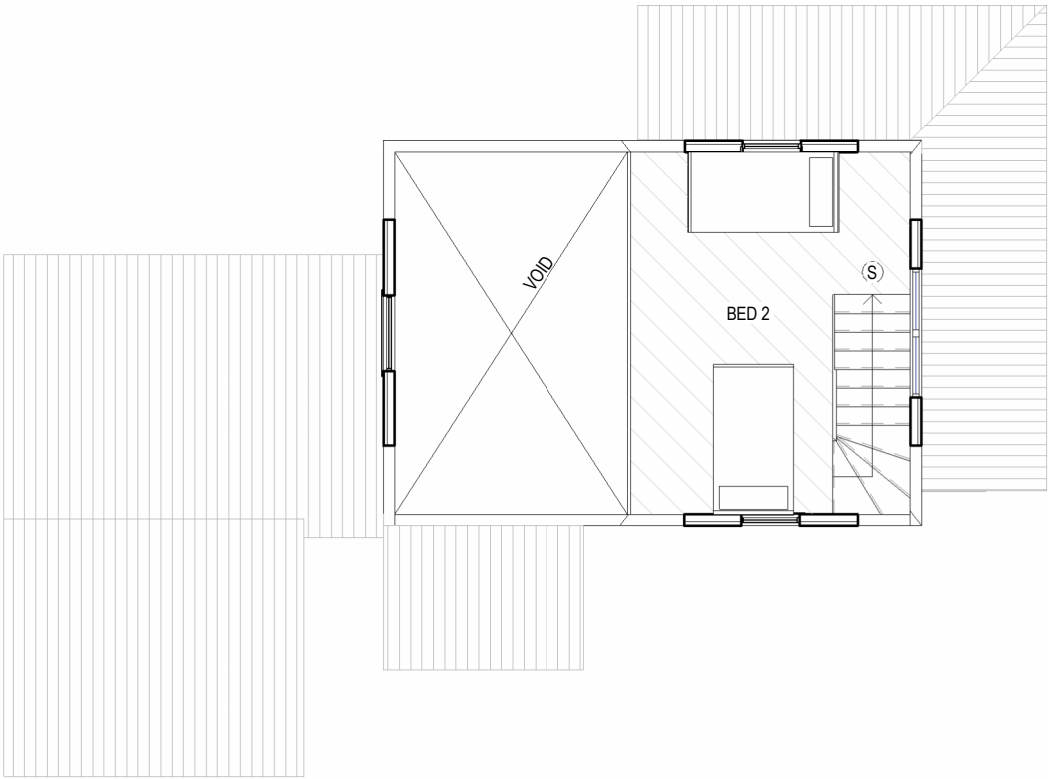


GROUND FLOOR PLAN - AS CONSTRUCTED STUDIO
SCALE 1 : 100

| FLOOR COVERINGS | |
|-----------------|-----------------------|
| | CARPET |
| | CONCRETE |
| | TIMBER DECKING |
| | TILE |
| | VINYL TIMBER FLOORING |

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5.2

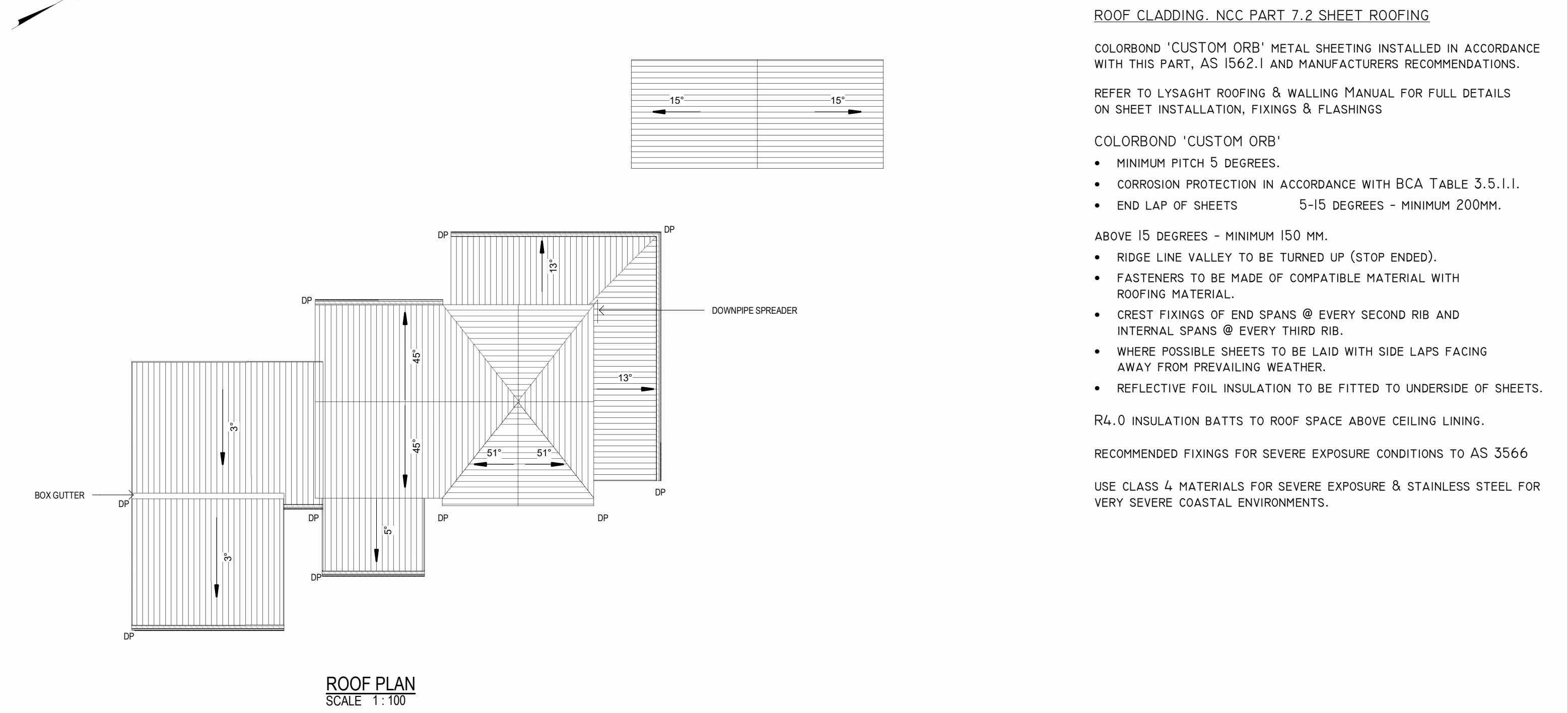
(S) - DENOTES INTERCONNECTED SMOKE DETECTORS



FIRST FLOOR PLAN - AS CONSTRUCTED STUDIO
SCALE 1 : 100

| Area Schedule (Gross Building) | | |
|--------------------------------|-----------------------|-----------|
| Name | Area | Area (sq) |
| AS CONSTRUCTED PERGOLA | 27.78 m ² | 2.99 |
| AS CONSTRUCTED STUDIO | 71.33 m ² | 7.68 |
| DECK | 14.80 m ² | 1.59 |
| EXISTING FRONT SHED | 28.34 m ² | 3.05 |
| | 142.25 m ² | 15.31 |

| | | | | |
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| | | | | Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T |
| | | | | Client: S. BRIEN Project: AS CONSTRUCTED STUDIO Address: 924 DEDDINGTON ROAD, DEDDINGTON TAS 7212 Office: 6331 7021 info@engineeringplus.com.au |
| | | | | Drawing No: 2025-37 A04 / A11 Rev C |



DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
SELECTED IN ACCORDANCE WITH TABLES 7.4.4a TO 7.4.4c

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d

END STOP WEIR
100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
NOT SUITABLE WHEN END-STOP ABUTS WALL
INVERTED NOZZLE
INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP
FRONT FACE WEIR
200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
INSTALLED MIN. 25mm BELOW FASCIA TOP
RAINHEAD
75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b

FRONT FACE SLOTTED GUTTER
MIN SLOT OPENING 1200mm/ GUTTER m
LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP
CONTROLLED BACK GAP
PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
ONE PER BRACKET - MIN. 50mm WIDE
GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

| | | | | |
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Drawing No: 2025-37 A05 / A11

Rev: C

EAVE & SOFFIT CONSTRUCTION ABCB VOLUME 2 PART 7.4.5
EAVE WIDTH - 600MM

- SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

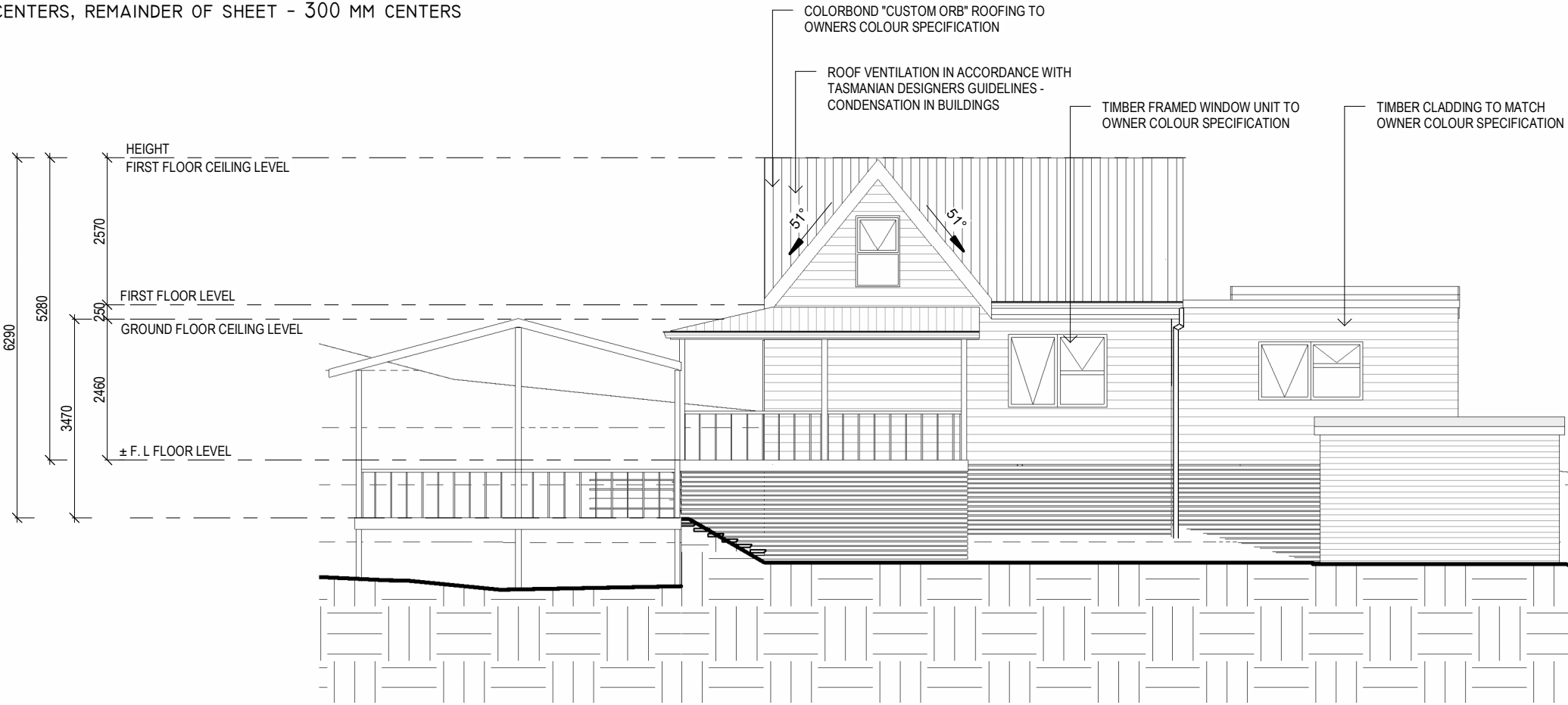
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

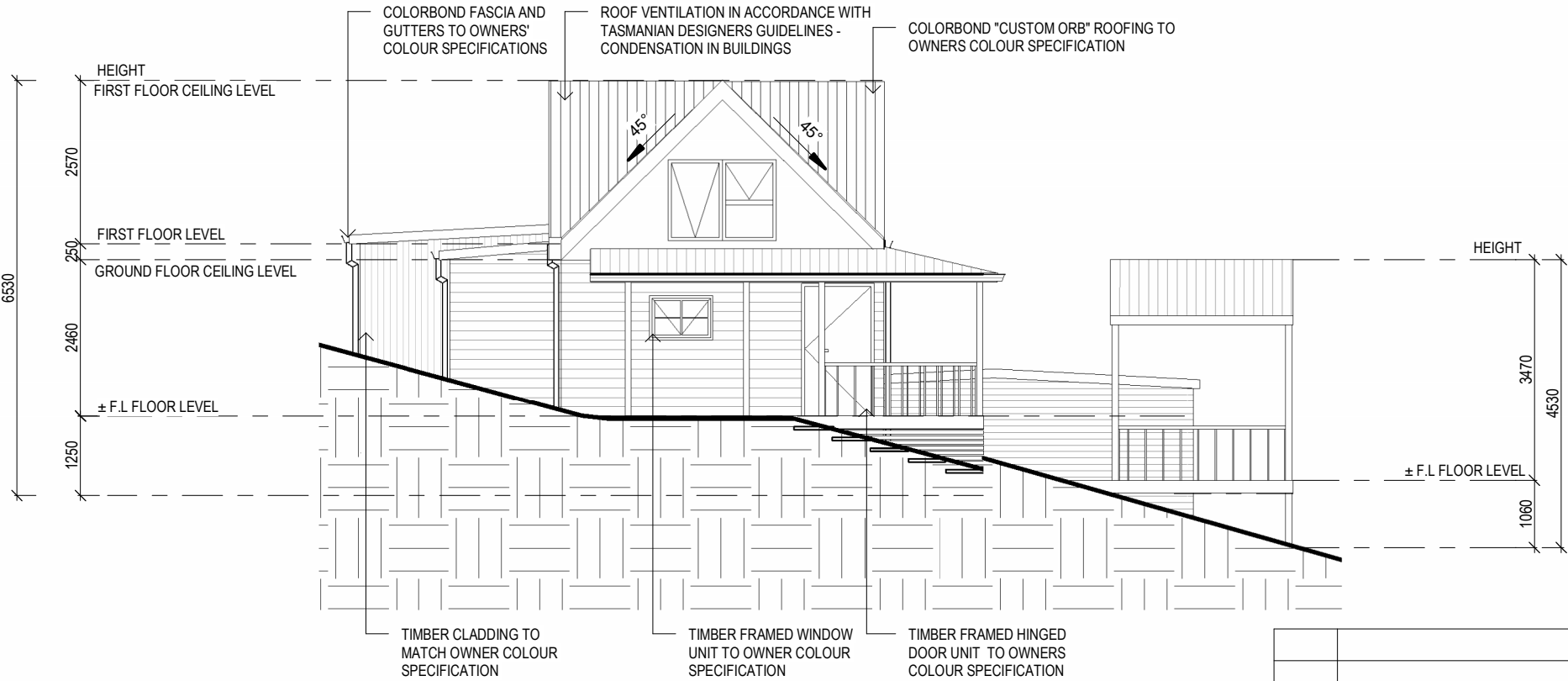
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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NORTHWEST ELEVATION
SCALE 1:100



NORTHEAST ELEVATION
SCALE 1:100

ISSUED FOR APPROVAL

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Drawing No: 2025-37 A06 / A11
Rev: C

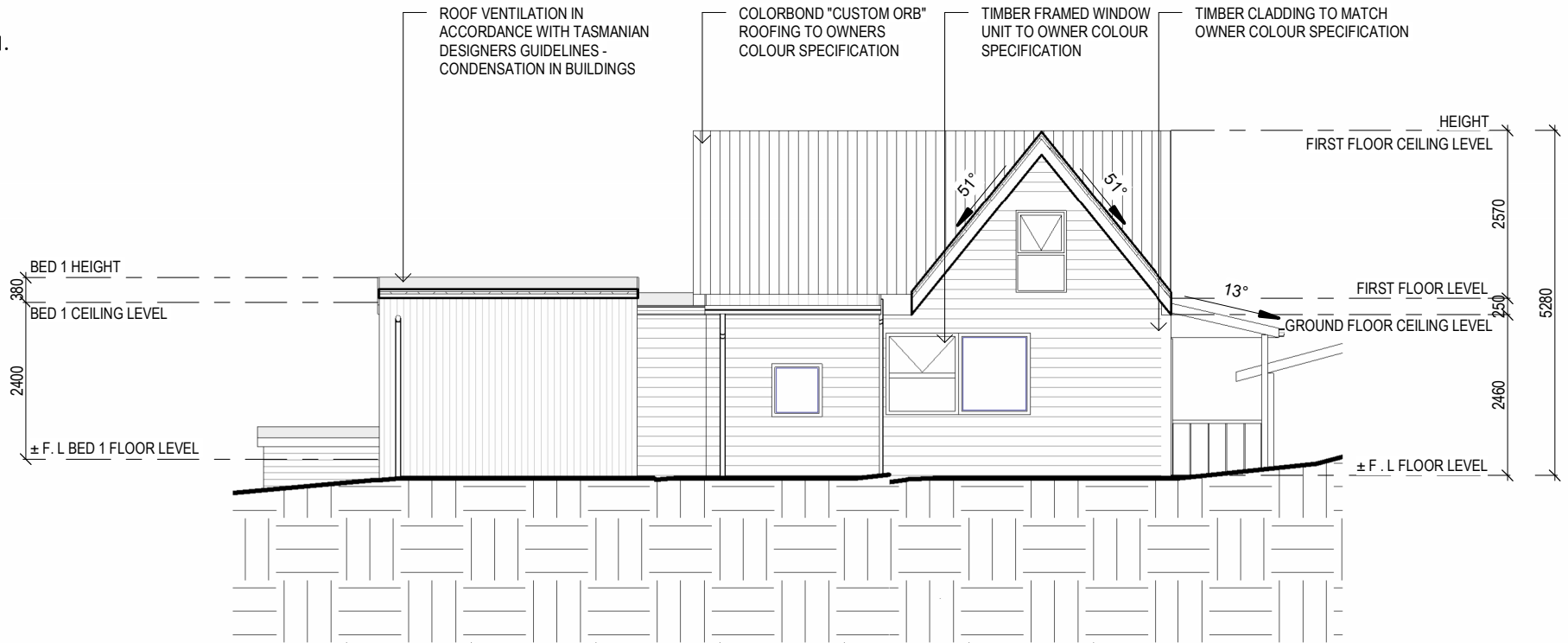
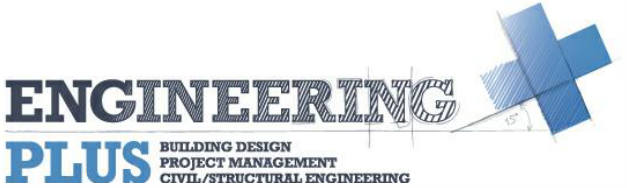
- SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
 - A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
 - VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

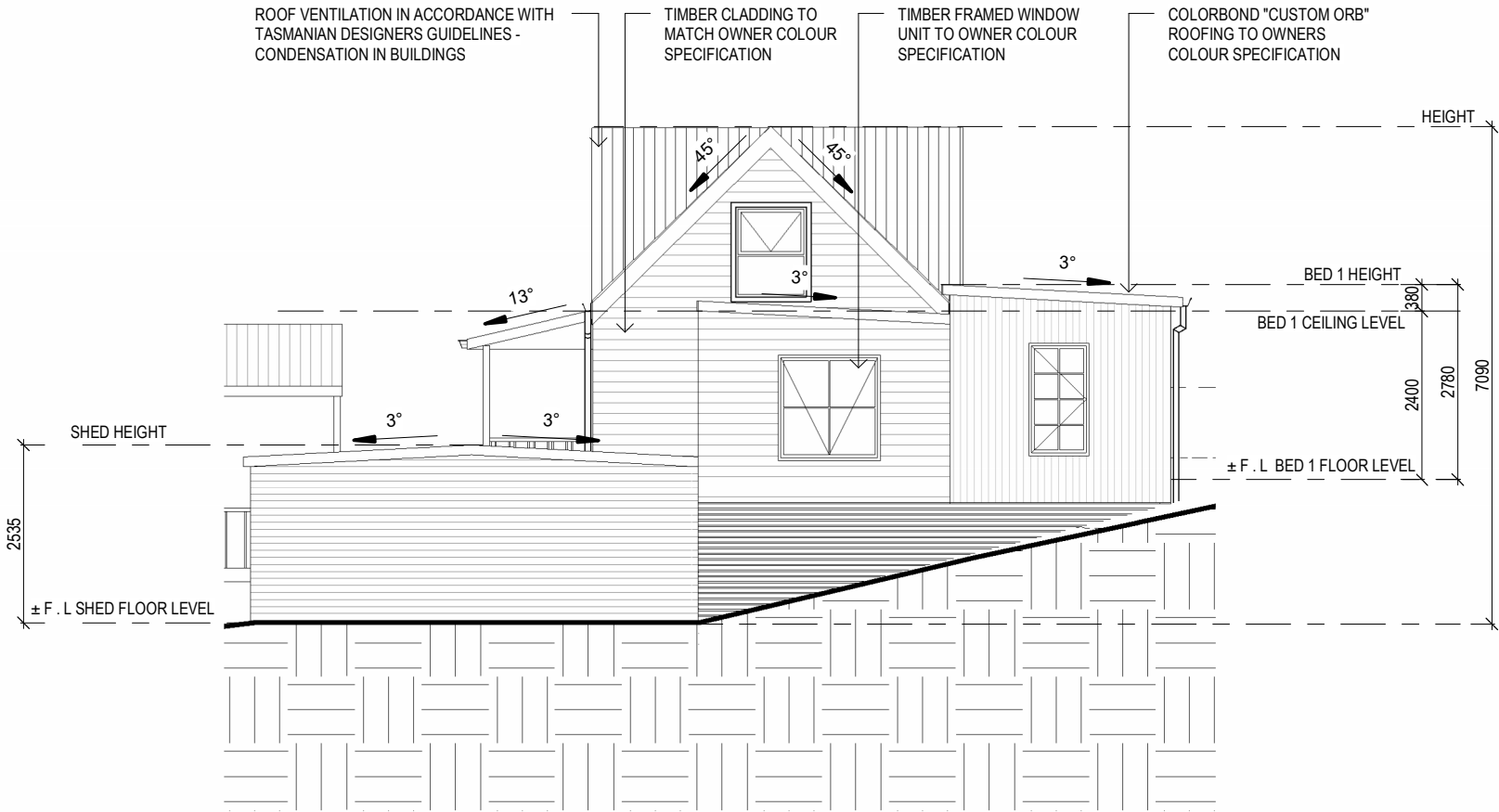
ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

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SOUTHEAST ELEVATION
SCALE 1:100



SOUTHWEST ELEVATION
SCALE 1:100

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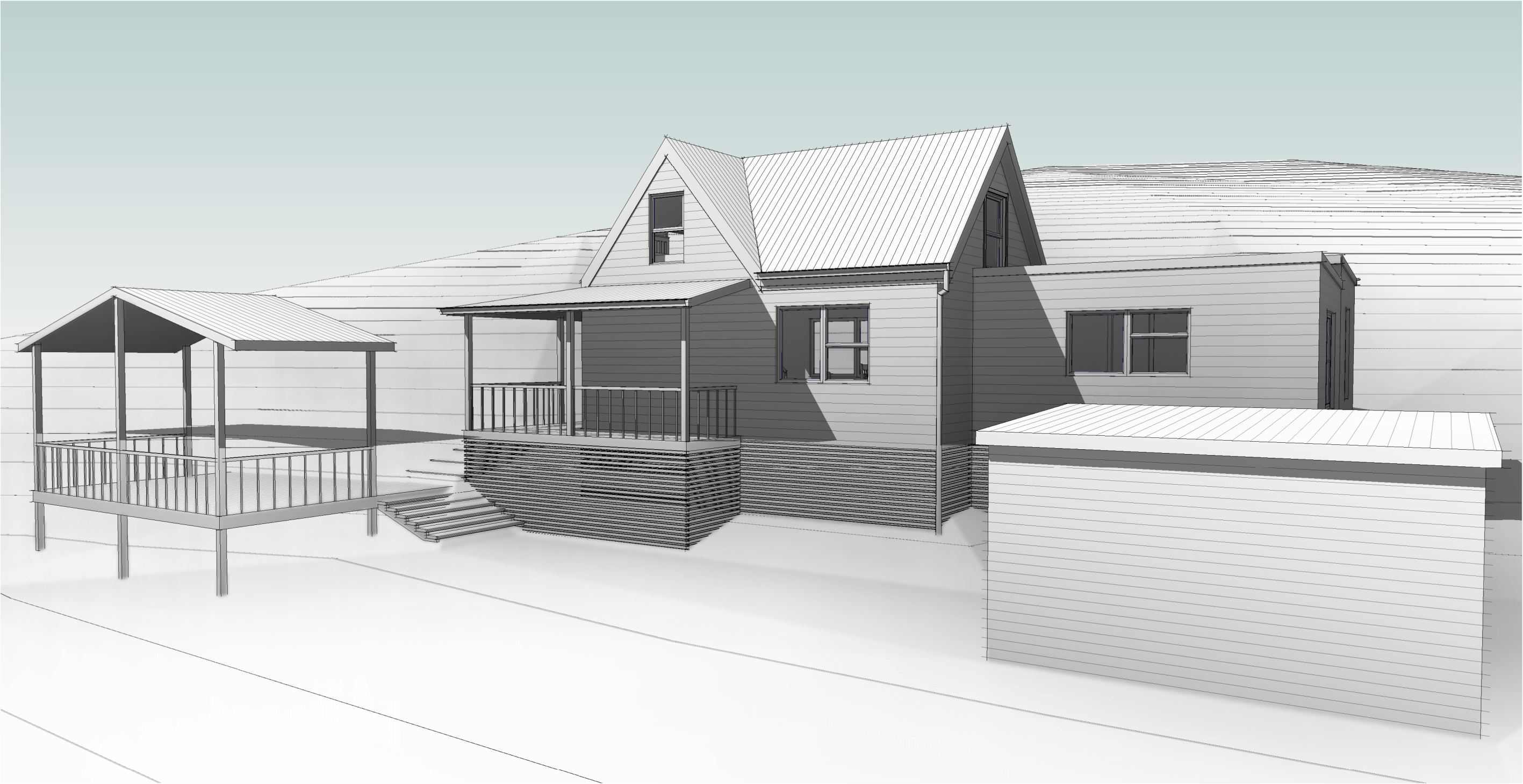


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| C | PLUMBING UPDATE | 25.09.25 | J.C | |
| B | R.F.I | 09.04.25 | J.C | |
| A | ISSUED FOR APPROVAL | 18.03.25 | J.C | |
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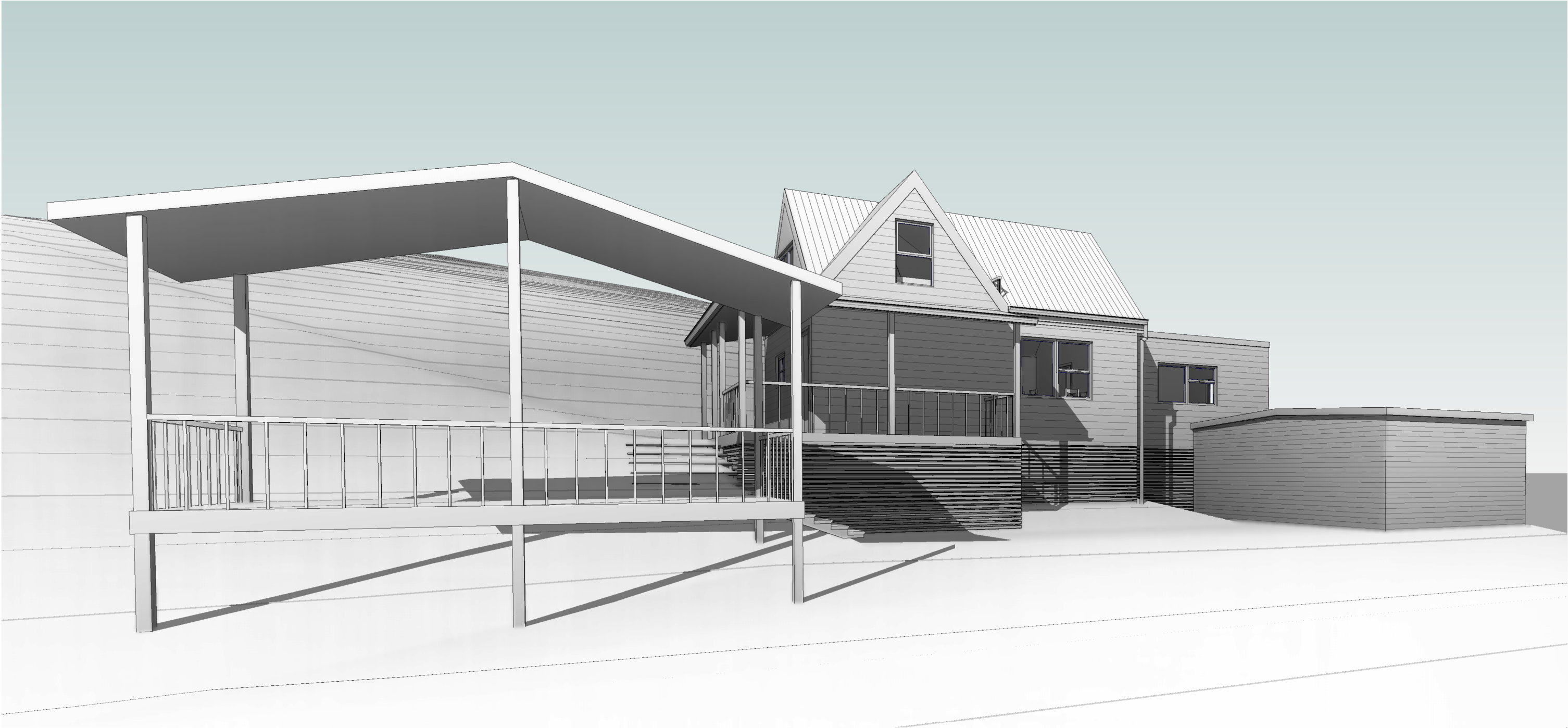
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info@engineeringplus.com.au

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|------|---------------------|----------|------|---|
| | | | | Date Drawn: 13.03.25 |
| | | | | Drawn: J. Chin |
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| | | | | Approved: J. Pfeiffer |
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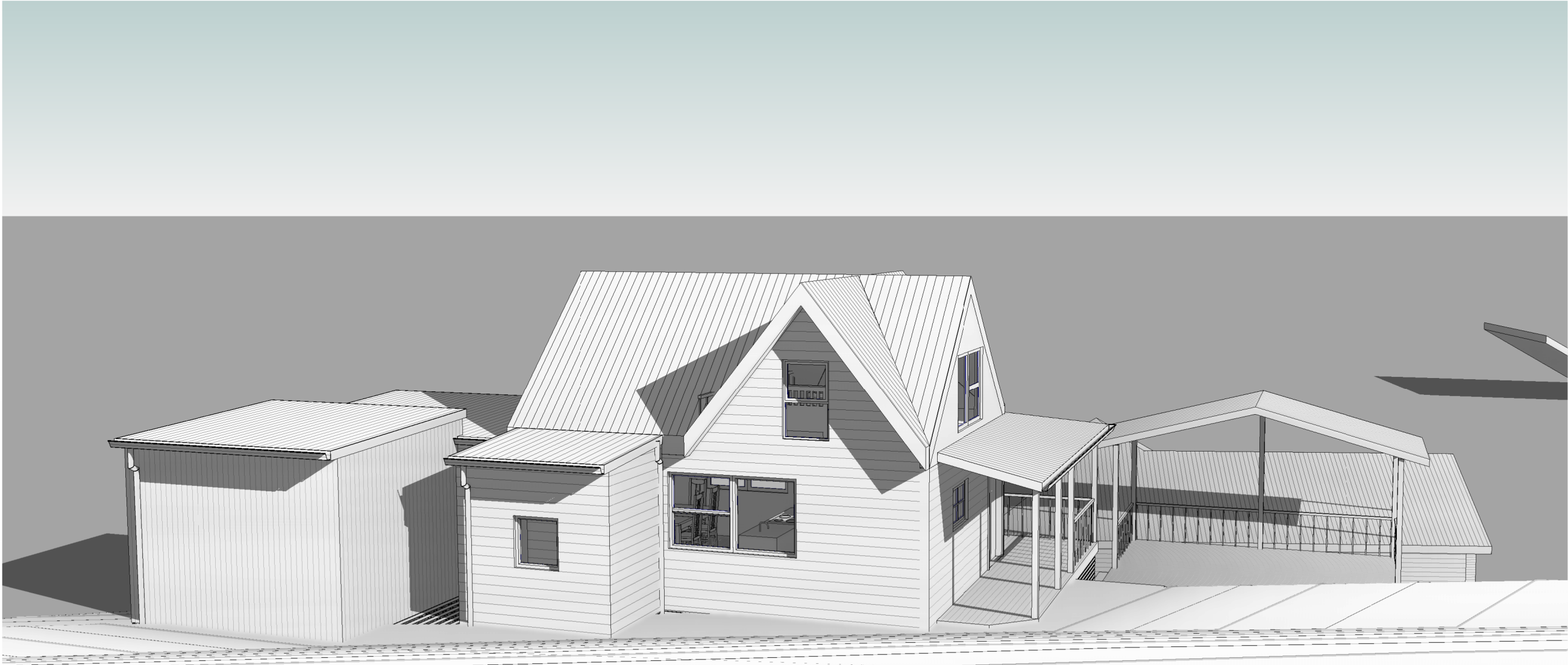
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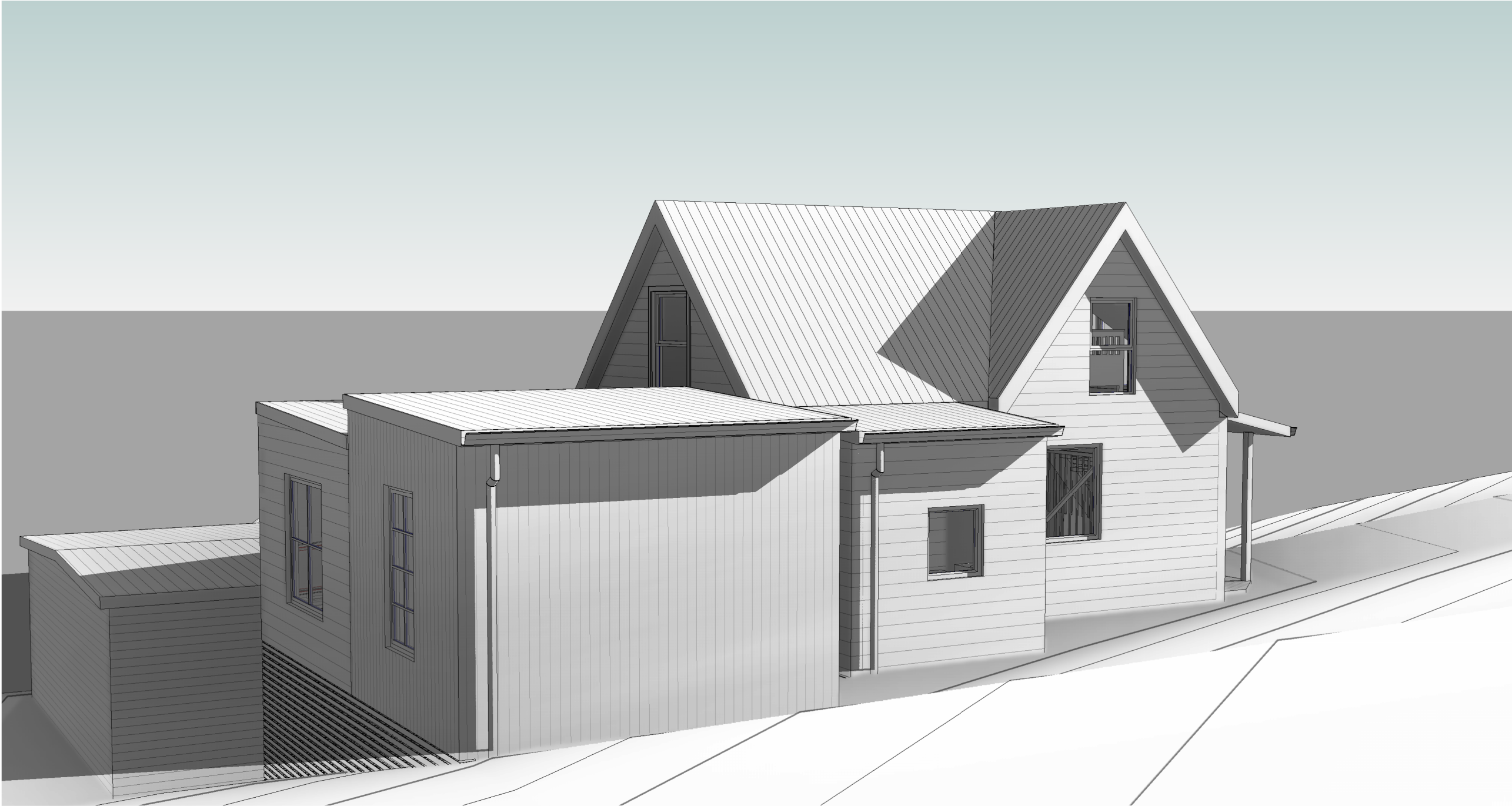
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