

This planning application is open for
public comment until
28 June 2024

Reference no	PLN-24-0085
Site	2C MALCOMBE STREET LONGFORD
Proposed Development	Single Dwelling
Zone	8.0 General Residential
Use class	Residential

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

PLANNING APPLICATION
Proposal

Exhibited

Description of proposal: Proposed New Residence

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 2C Malcombe Street, Longford

.....

CT no:

Estimated cost of project \$ 370,000..... (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes – main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

Refer to design response

.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required?
(if yes, provide details)

SEARCH OF TORRENS TITLE

VOLUME 184621	FOLIO 9
EDITION 2	DATE OF ISSUE 14-Aug-2023

SEARCH DATE : 04-Apr-2024

SEARCH TIME : 09.13 AM

DESCRIPTION OF LAND

Town of LONGFORD

Lot 9 on Sealed Plan 184621

Derivation : Part of Lots 1 and 2 Sec. AH, 2A-3R-39P Gtd. to
William Dodery

Prior CT 213951/1

SCHEDULE 1

M913280 TRANSFER to PJH (TAS) PTY LTD Registered
26-Oct-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP184621 EASEMENTS in Schedule of Easements

E353043 MORTGAGE to Westpac Banking Corporation Registered
14-Aug-2023 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**Prime
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6 June 2024

Northern Midlands Council
PO Box 156
Longford TAS 7301

Dear Planner,

Re: Proposed New Residence, 2C Malcombe Street, Longford**Zone: 8.0 General Residential****Code: Airport Obstacle Limitation Area**

The following design response addresses the parts of the Tasmanian Planning Scheme that apply to a single residence dwelling within the General Residential zone at 2C Malcombe Street, Longford.

8.4.2 Setbacks and Building Envelope for all Dwellings

- A1
 - (a) Complies. Refer to site plan for front setback dimensions.
 - (b) Not applicable. No secondary frontage.
 - (c) Not applicable. Residence to the adjoining property does not share the same primary frontage.
 - (d) Not applicable.

- A2
 - (a) Complies. Garage is greater than 5.5m from the primary frontage.
 - (b) Not applicable.
 - (c) Not applicable.

- A3
 - (a) Complies. Proposed residence is contained within the building envelope
 - (b) Complies. Setbacks from side boundaries greater than 1.5m

8.4.3 Site Coverage and Private Open Space for all Dwellings

- A1 Complies. A total site coverage of 27.53%
- A2 Private open space complies with all clauses.

8.4.5 Width of Openings for Garages & Carports for all Dwellings

- A1 Complies. Garage opening width is 4.8m

8.4.6 Privacy for all Dwellings

- A1 Not applicable. No balcony, deck, roof terrace or carport.
- A2 Not applicable. No floor level more than 1m above existing ground level.
- A3 Not applicable. No shared driveway.

10.4.7 Frontage Fences for all Dwellings

- A1 Front fence not included in proposal.



Longford Specific Area Plan

NOR-S6.7.2 Roof Forms & Materials

- A1 Complies. The proposed dwelling has a tiled, hip and valley roof that conforms with the acceptable solution of roof form & pitch.

NOR-S6.7.3 Wall Materials

- A1 Complies. The proposed dwelling is brick veneer with a lightweight clad space under the eave of the western elevation. The claddings do not veer away from the surrounding streetscape appearance.

NOR-S6.7.4 Windows

- A1 Complies. All windows and doors are 300mm below eave line.
- A2 Complies. The proposed has a glazed area to the front façade of 12.16%. Compliant with the acceptable solution of 30% total surface area consisting of windows.
- A3 Complies. Windows are not visible from public spaces.
- P3 (a) The windows for the proposed dwelling are compatible with the period & style of the surrounding buildings.
- (b) The existing streetscape, on Malcombe Street, Wellington Street and Longford Close does not demonstrate the use of window sashes. In keeping with the appearance of its neighbouring properties, the proposed windows match those of its surroundings.
- (c) The use of brick sills will be consistent with surrounding residences of the proposed lot.
- (d) There is no extensive use of clear glass. All windows are standard-sized and not visible from the street, aside from windows to the front facade.
- (e) As highlighted in (b), vertical mullions are not demonstrated in the surrounding streetscape. The proposal seeks discretion from Council to allow the proposed windows in keeping compatible with its surrounding streetscape and built environment.

Kind regards,

Jessie Medwin

Exhibited

PROPOSED NEW RESIDENCE, 2C MALCOMBE STREET, LONGFORD

T.RATTRAY & J.LOCKETT

PD24132

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	FLOOR PLAN
03	DOOR AND WINDOW SCHEDULES
04	ELEVATIONS
05	ELEVATIONS
06	ROOF PLAN
07	PLUMBING PLAN
08	ELECTRICAL/REFLECTED CEILING PLAN
09	PERSPECTIVES



PLANNING



**Hotondo
Homes**

Received
07.06.2024

FLOOR AREA	127.50 m2	(13.72 SQUARES)
GARAGE AREA	36.08 m2	(3.88 SQUARES)
PORCH AREA	1.83 m2	(0.20 SQUARES)
ALFRESCO AREA	15.18 m2	(1.63 SQUARES)
TOTAL AREA	180.58	19.44

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 Accredited Building Practitioner: Frank Geskus -No CC246A

MAY 2024

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GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR NOTES: NJK DATE: 18/04/24

1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT SURVEYS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. WOOLCOTT SURVEYS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SURVEYS.
6. HORIZONTAL BEARING DATUM IS PLANE BASED ON MGA2020 PER RTK GNSS.
7. VERTICAL DATUM IS AHD83 PER SPM1063.
8. CONTOUR INTERVAL IS 0.1m.
9. BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP184621; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
10. CO-ORDINATES ARE PLANE AND BASED ON MGA2020.

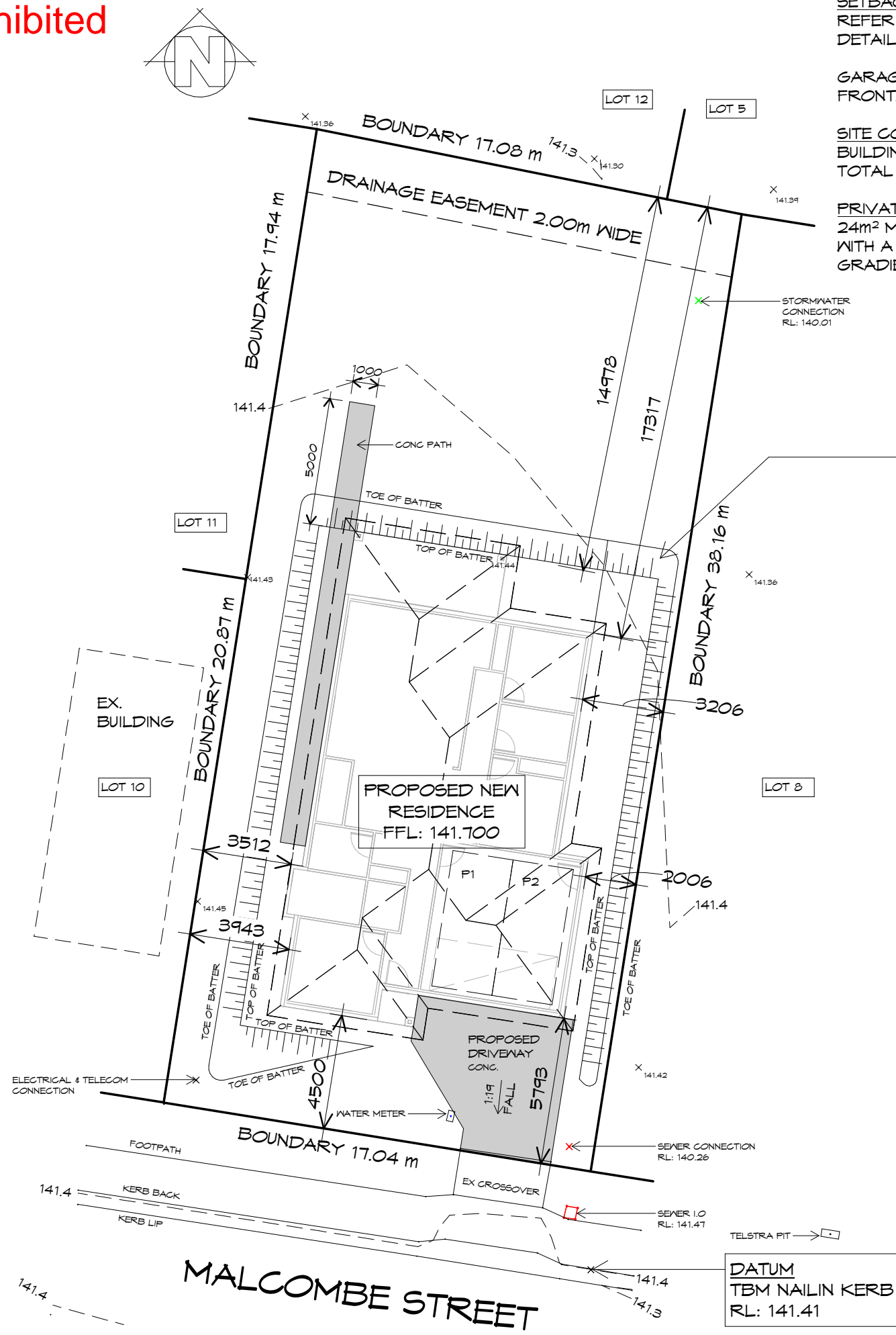


Hotondo Homes

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

SITE PLAN

1 : 200



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07.06.2024

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 4.8m

SITE COVERAGE
BUILDING FOOTPRINT 180.58 /SITE AREA 656 = 0.2753
TOTAL SITE COVERAGE 27.53%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

BATTER NOTE
BATTER AS PER
ABC B HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

TITLE REF: 9/184621
LOT SIZE: 656 m²



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Project:
PROPOSED NEW RESIDENCE,
2C MALCOMBE STREET,
LONGFORD

Client name:
T.RATTRAY & J.LOCKETT

Drawing:
SITE PLAN

Drafted by: I.J
Approved by: S.S.W.

Date: 06.06.2024
Scale: 1 : 200

Project/Drawing no: PD24132 -01
Revision: 03
Accredited building practitioner: Frank Geskus -No CC246A

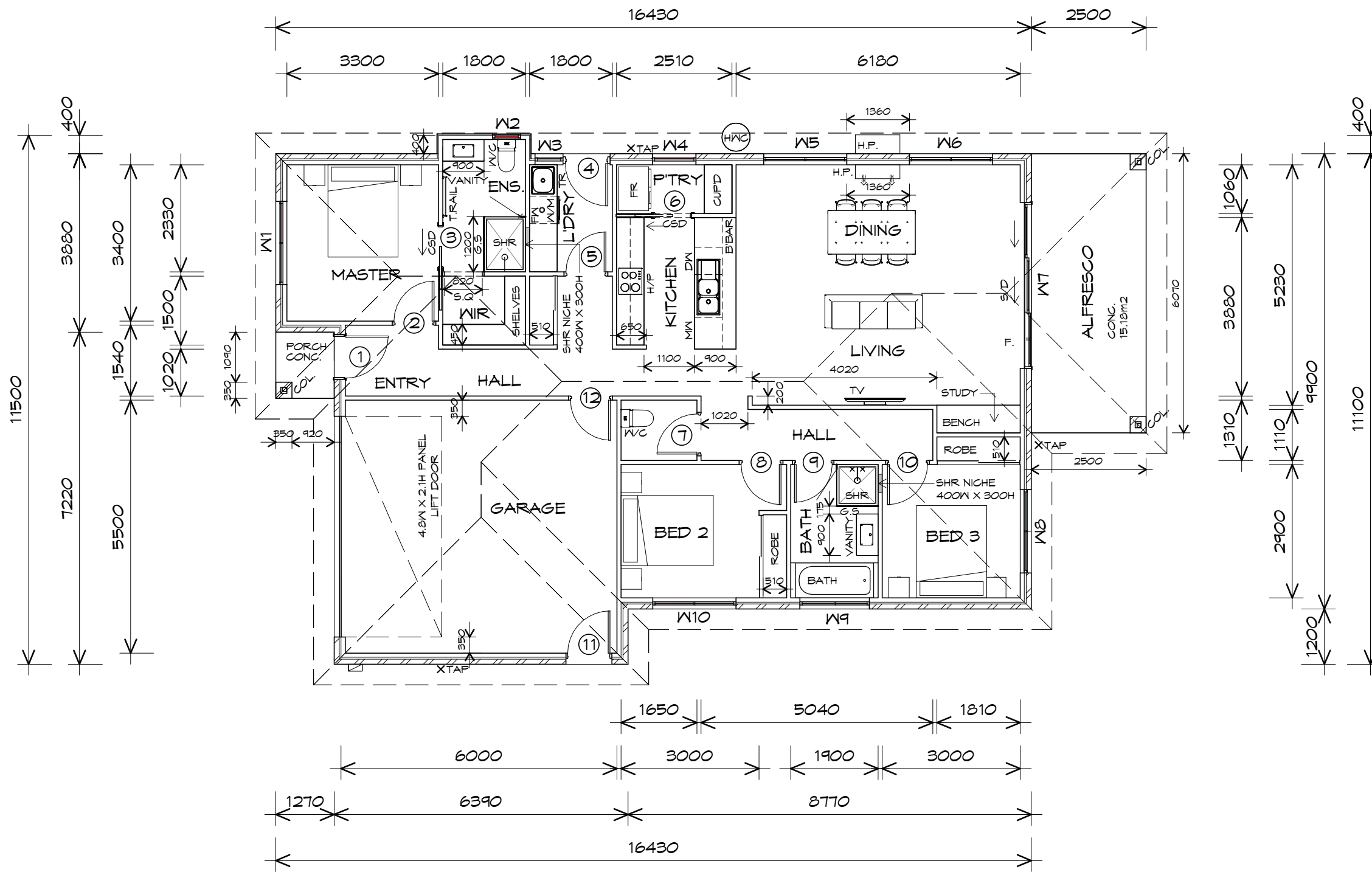


PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Exhibited

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- T.RAIL TOWEL RAIL



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FLOOR PLAN

1 : 100

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FLOOR AREA	127.50 m2	(13.72 SQUARES)
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PORCH AREA	1.83 m2	(0.20 SQUARES)
ALFRESCO AREA	15.18 m2	(1.63 SQUARES)
TOTAL AREA	180.58	19.44

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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Project:
**PROPOSED NEW RESIDENCE,
 2C MALCOMBE STREET,
 LONGFORD**

Client name:
T.RATTRAY & J.LOCKETT

Drawing:
FLOOR PLAN

Drafted by: I.J
 Approved by: S.S.W.

Date: 06.06.2024
 Scale: 1 : 100

Project/Drawing no: PD24132 -02
 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	870	INTERNAL TIMBER DOOR	
3	920	CAVITY SLIDING DOOR	
4	920	EXTERNAL HALF GLASS	CLEAR GLASS - COUPLED
5	870	INTERNAL TIMBER DOOR	
6	820	CAVITY SLIDING DOOR	
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	870	INTERNAL TIMBER DOOR	
11	920	EXTERNAL SOLID DOOR	ALUMINIUM
12	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	900	610	AWNING WINDOW	TRANSLUCENT
W3	900	610	AWNING WINDOW	CLEAR GLASS - COUPLED
W4	1800	950	AWNING WINDOW	
W5	1500	1810	AWNING WINDOW	
W6	1500	1810	AWNING WINDOW	
W7	2100	3610	STACKING SLIDING DOOR	
W8	1800	1810	AWNING WINDOW	
W9	600	1510	AWNING WINDOW	TRANSLUCENT
W10	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

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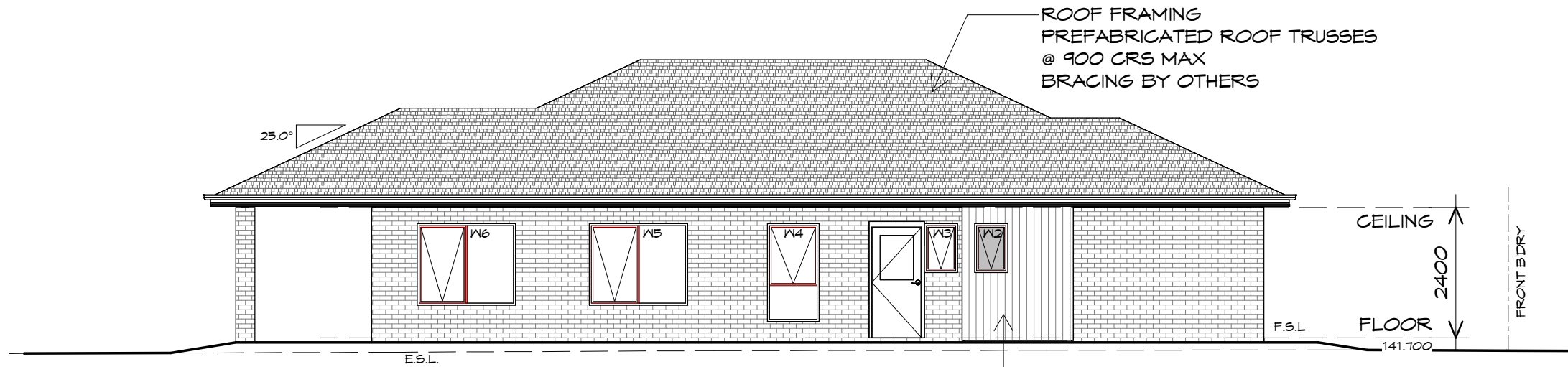
Drawing:
DOOR AND WINDOW
SCHEDULES

Date: 06.06.2024 Scale:

Project/Drawing no: PD24132 -03 Revision: 03

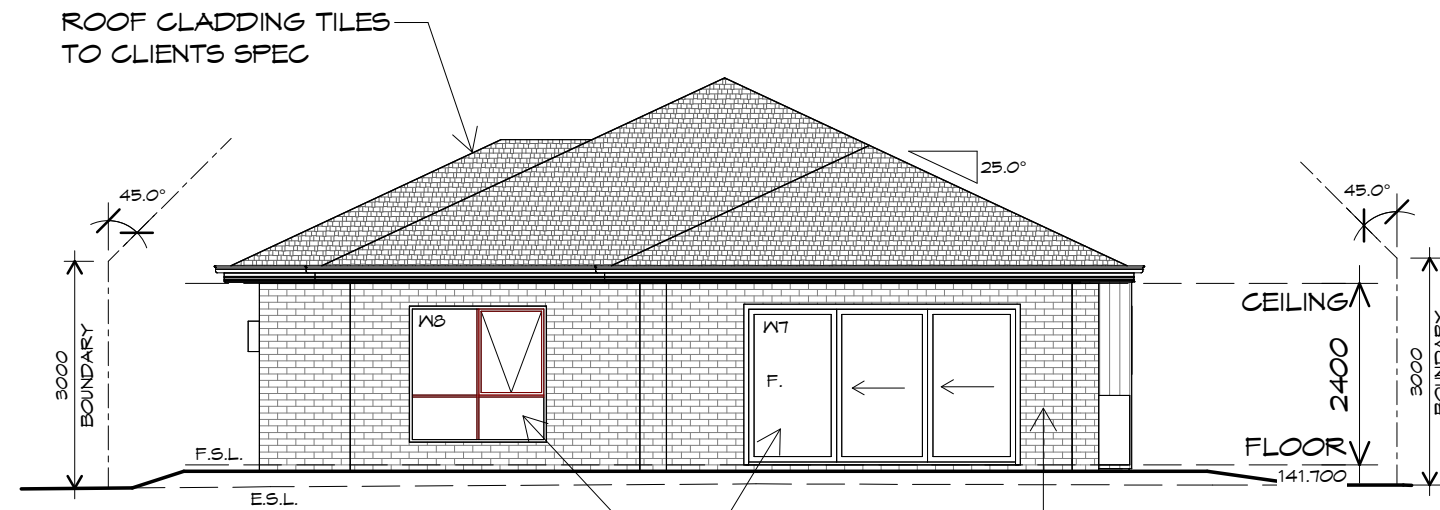
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WESTERN ELEVATION

1 : 100



NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ACBC HOUSING PROVISIONS PART 13.4

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
PIPED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED NEW RESIDENCE,
2C MALCOMBE STREET,
LONGFORD

Client name:
T.RATTRAY & J.LOCKETT

Drawing:
ELEVATIONS

Drafted by: I.J
Approved by: S.S.W.

Date: 06.06.2024
Scale: 1 : 100

Project/Drawing no: PD24132 -04
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



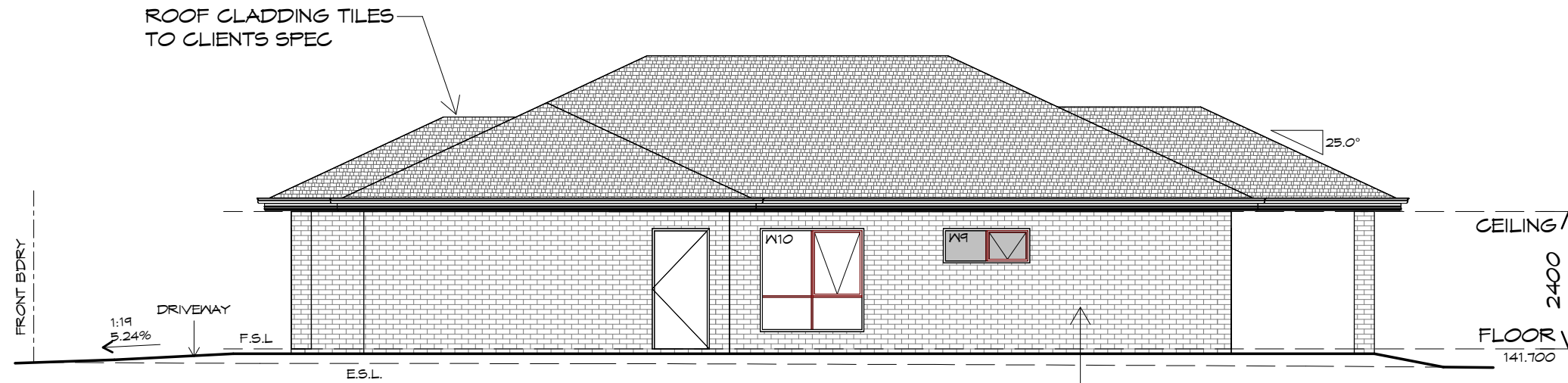
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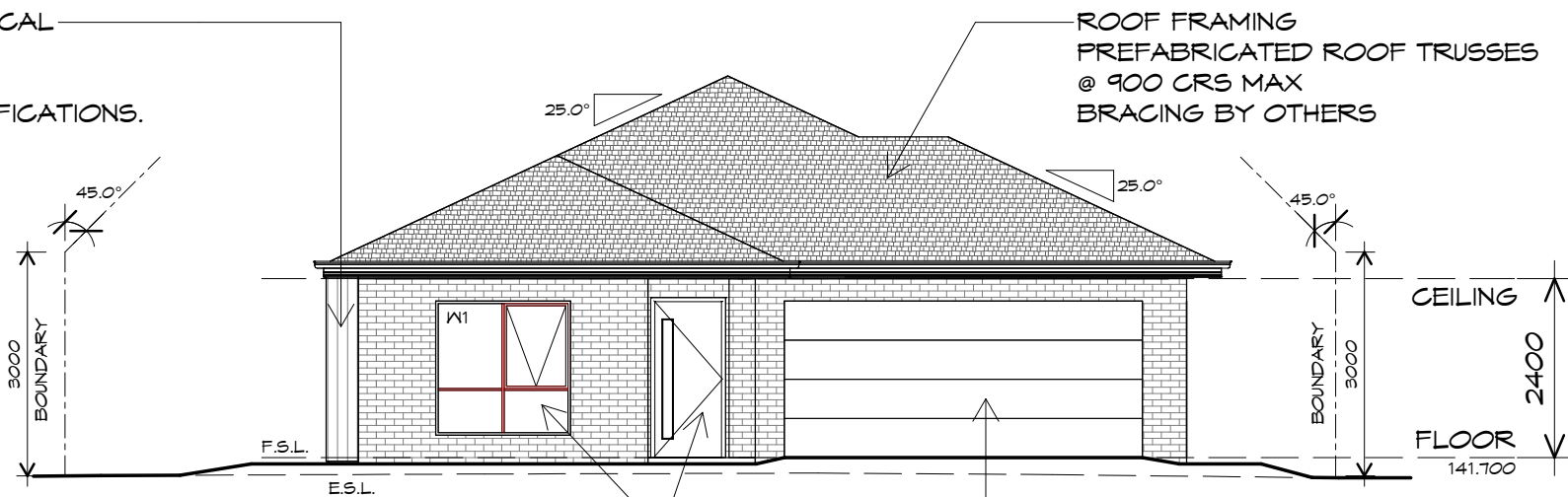


EASTERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 PIPED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH ACBC HOUSING PROVISIONS PART 5

SCYON AXON 133 VERTICAL
 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.



SOUTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

PANEL LIFT DOOR 4800 WIDE x 2100
 HIGH CLADDING PANELS TO CLIENTS
 SPEC FIXED IN ACCORDANCE WITH
 MANUFACTURERS SPEC

PLANNING

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Client name:
T.RATTRAY & J.LOCKETT

Drawing:
ELEVATIONS

Drafted by: I.J. Approved by: S.S.W.

Date: 06.06.2024 Scale: 1 : 100

Project/Drawing no: PD24132 -05 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



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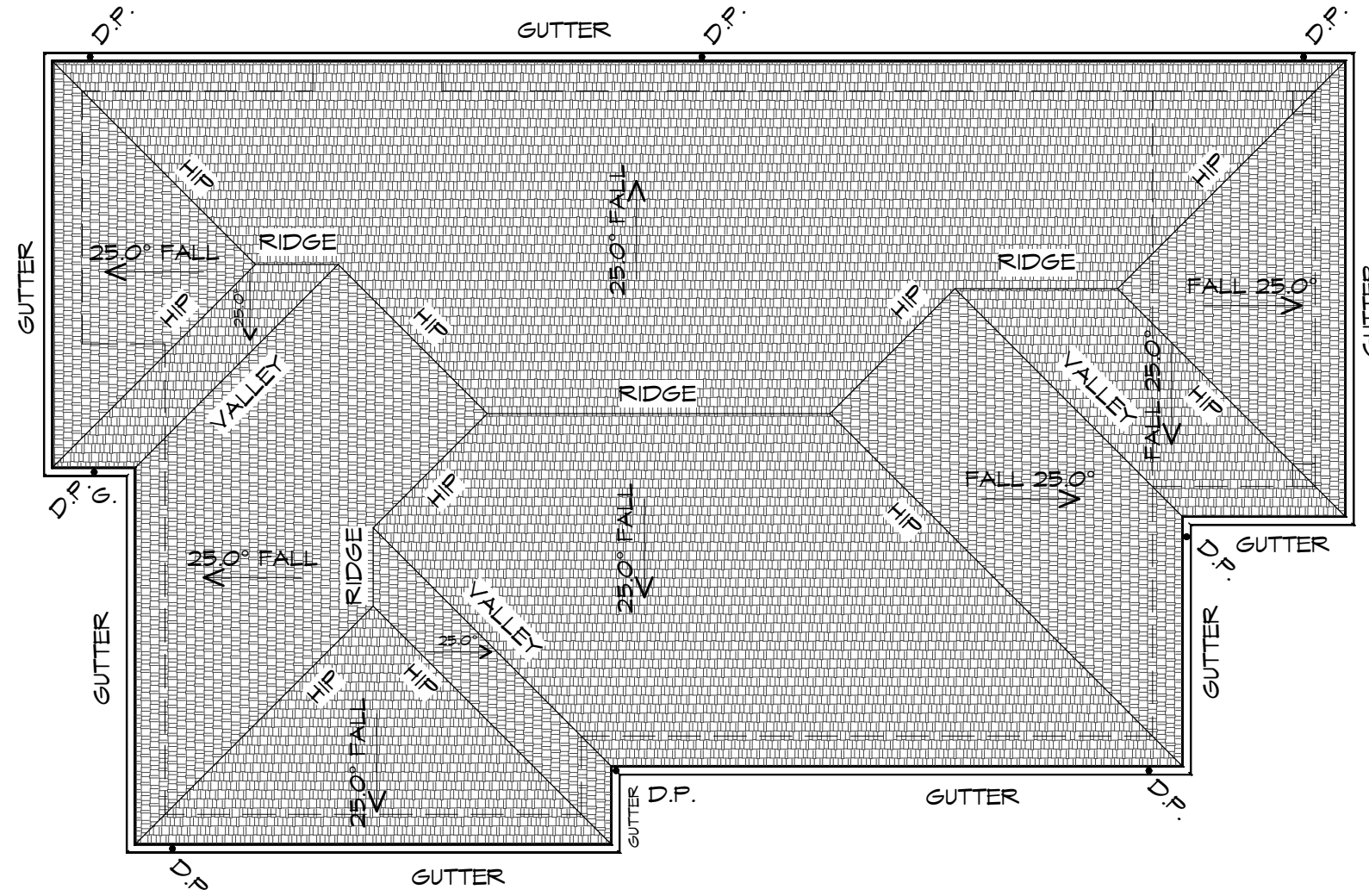
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 07.06.2024



bdca
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

Exhibited



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:100 FOR BOX GUTTERS
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

TILE ROOF
 ROOF TILES TO COMPLY WITH AS2049
 ROOF PITCH NOT LESS THAN 15° AND NO MORE
 THAN 35°. TILES TO BE FIXED IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.3.2.
 TILE FLASHINGS IN ACCORDANCE WITH ABCB
 HOUSING PROVISIONS PART 7.3.2.
 SARKING IN ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 7.3.4 C/W ANTI-PONDING
 DEVICE/BOARD AS PER ABCB HOUSING
 PROVISIONS PART 7.3.5. TILES TO EAVES
 GUTTER MUST OVERHANG MIN 35mm AS PER
 ABCB HOUSING PROVISIONS PART 7.3.6

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Approved by:
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Drawing:
 ROOF PLAN

Date:
 06.06.2024

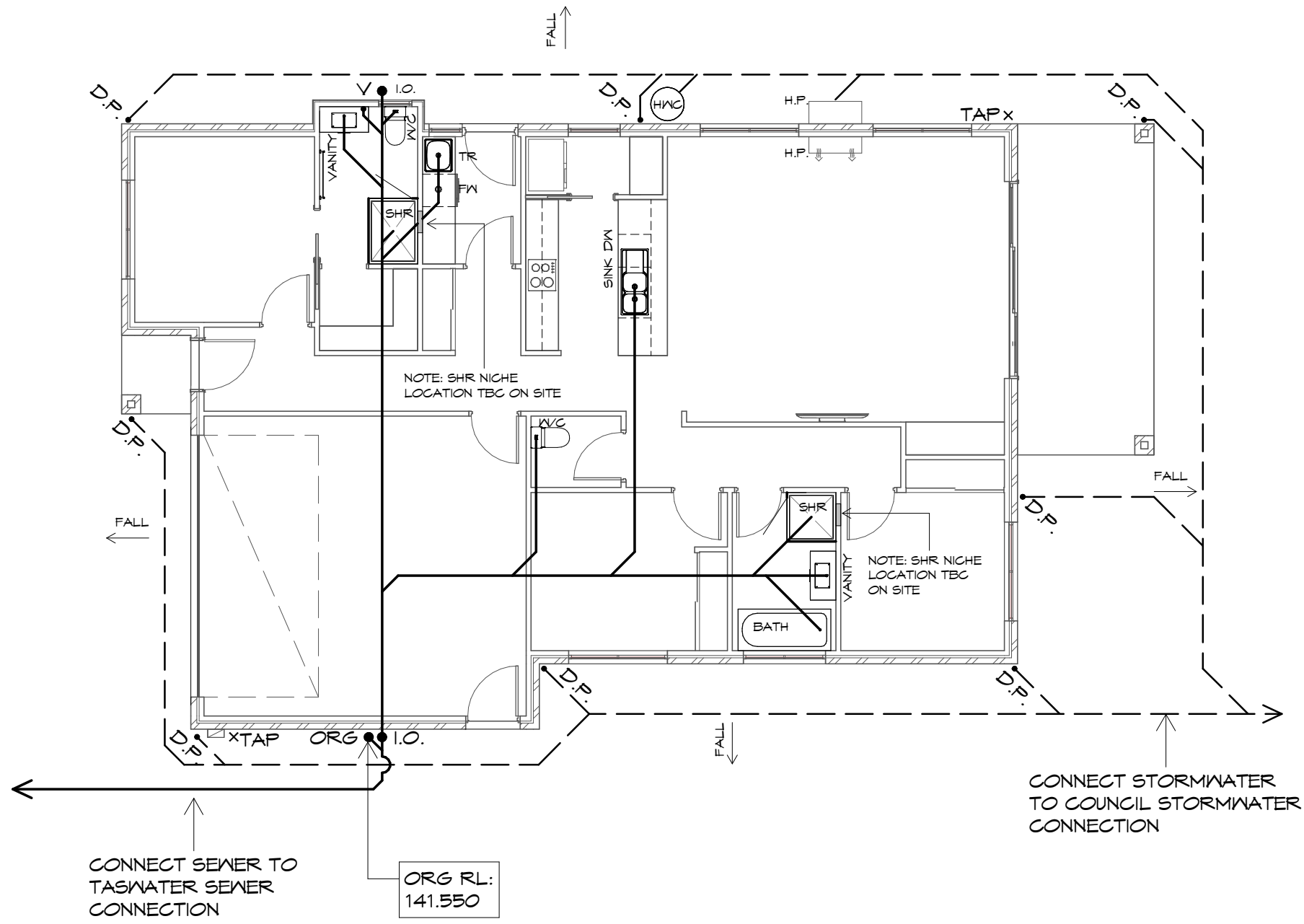
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Project/Drawing no:
 PD24132 -06

Revision:
 03

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PLUMBING NOTES:
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE NATIONAL CONSTRUCTION CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.


LEGEND OF DIAMETERS
 TROUGH = 50mm
 SINK = 50mm
 BATH = 40mm
 BASIN = 40mm
 SHOWER = 50mm
 WC = 100mm
 SEWER = 100mm uPVC
 ORG = OVERFLOW RELIEF GULLY
 VENT = 50mm
 DP = 90mm
 STORMWATER = 100mm uPVC

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER PIPE, MUST COMPLY WITH AS/NZS 3500.2021. MAIN COLD WATER LINE FROM METER TO HOUSE TO BE DN 25mm WITH DN 16mm BRANCHES & HOT WATER MAIN LINES TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.2021.

HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS 3500.2021.

AT THE PROPERTY BOUNDARY, AN APPROVED BACKFLOW PROTECTION VALVE IS TO BE FITTED BEFORE EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING.

FINAL PITS LOCATION AND NUMBER TO BE CONFIRMED ON SITE TO ENSURE SURFACE WATER IS REMOVED FROM AROUND HOUSE.

-  300X300 EVERHART SURFACE DRAINAGE PIT
-  450X450 SURFACE DRAINAGE PIT AT LOCATION OF DRIVEWAY/BATTERS

HOT WATER CYLINDER TO BE INSTALLED AS PER NCC 2022 VOL 3

PLUMBING PLAN

1 : 100

NOTE:
 PLUMBING MAY BE SUBJECT TO CHANGE DUE TO UNFORESEEN SITE/HEIGHT CONDITIONS.

NOTE: ALL WATERPROOFING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE ABCB HOUSING PROVISIONS PART 10.2.1-10.2.32 IN FULL AND MUST BE CARRIED OUT BY A LICENSED TRADESMEN ONLY.

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Drafted by:
 I.J

Approved by:
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Drawing:
 PLUMBING PLAN

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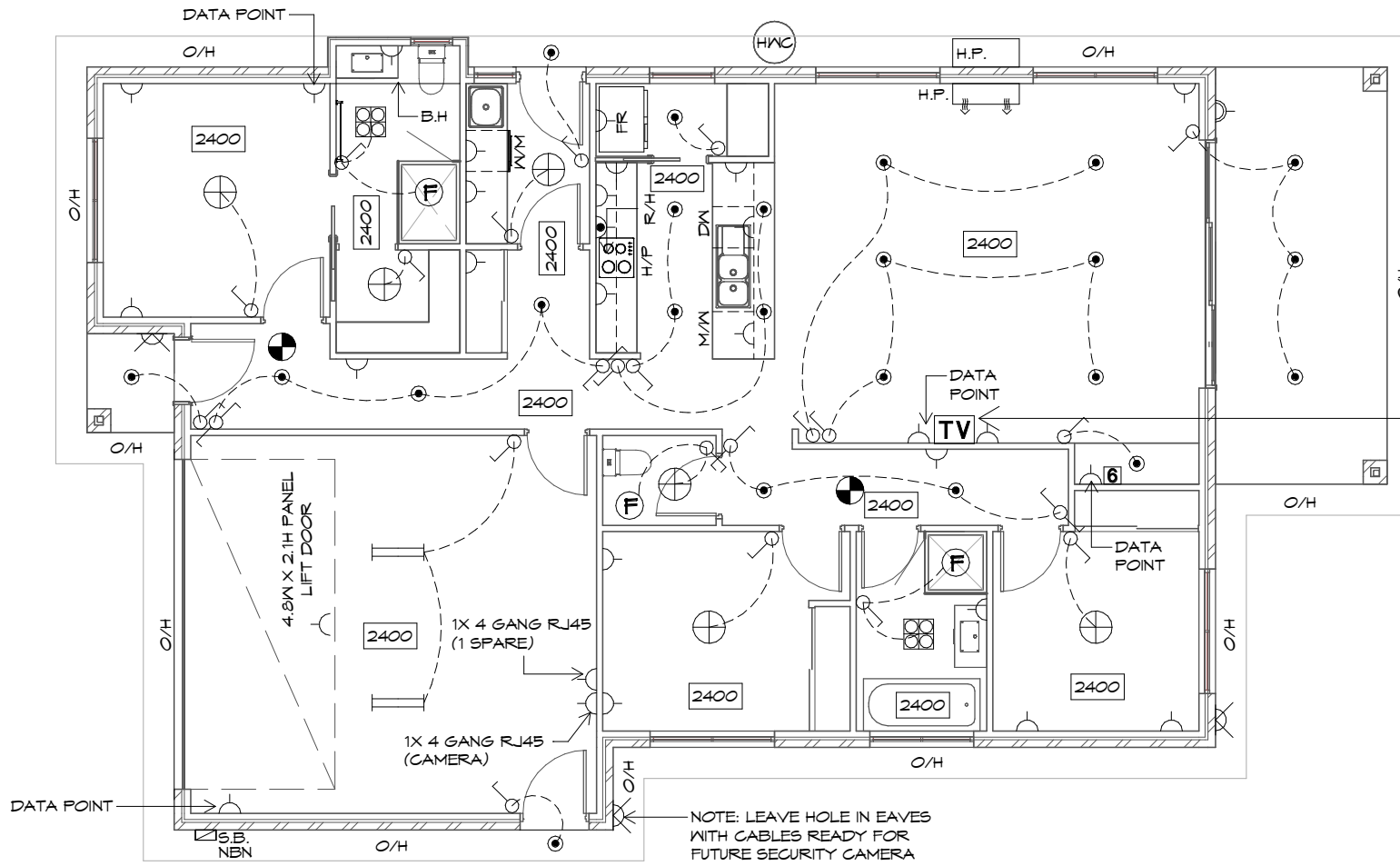
Scale:
 1 : 100

Project/Drawing no:
 PD24132 -07

Revision:
 03

Accredited building practitioner: Frank Geskus -No CC246A

Exhibited



ARTIFICIAL LIGHTING
RESIDENCES TO BE IN COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 13.7.6

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m² FOR CLASS 1 BUILDING
 - 4W/m² FOR VERANDAHS & BALCONIES
 - 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

DATA POINT, POWERPOINT & TV CABLE ALL WALL MOUNTED

ELECTRICAL
ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS
EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

- SMOKE ALARMS**
- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
 - SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ELECTRICAL INDEX

LIGHTING

- ⊕ CEILING LIGHT OUTLET
 - ⊗ FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
 - L.E.D. - SEALED DOWN LIGHT *
 - ▬ TWIN TUBE FLUORESCENT LIGHT
 - HANGING PENDANT
 - ⊗ FUTURE SECURITY CAMERA
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

OTHER

- ⊗ 240V SMOKE ALARM
- ⊠ SWITCH BOX
- ⊕ EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SWITCH TYPE

- ⊕ ONE-WAY SWITCH
- ⊕ TWO-WAY SWITCH

WALL OUTLETS

- ⊕ GENERAL PURPOSE OUTLET (DOUBLE)
- ⊕ WEATHER PROOF OUTLET
- ⊕ HOTPLATE SAFETY CUT-OFF
- TV T.V. OUTLET
- ⊕ DATA (CAT 6)

CEILING

- XXXX DENOTES CEILING HEIGHT
- O/H ROOF OVERHANG/EAVES
- B.H. BULK HEAD

HEATING

- H.P. [Symbol] HEAT PUMP
- H.P. [Symbol] HEAT PUMP, OUTDOOR UNIT

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.



Received
07.06.2024

Hotondo Homes Launceston
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Project:
PROPOSED NEW RESIDENCE,
2C MALCOMBE STREET,
LONGFORD

Client name:
T.RATTRAY & J.LOCKETT

Drafted by:
I.J

Approved by:
S.S.W.

Drawing:
ELECTRICAL/REFLECTED
CEILING PLAN

Date: 06.06.2024
Scale: 1 : 100

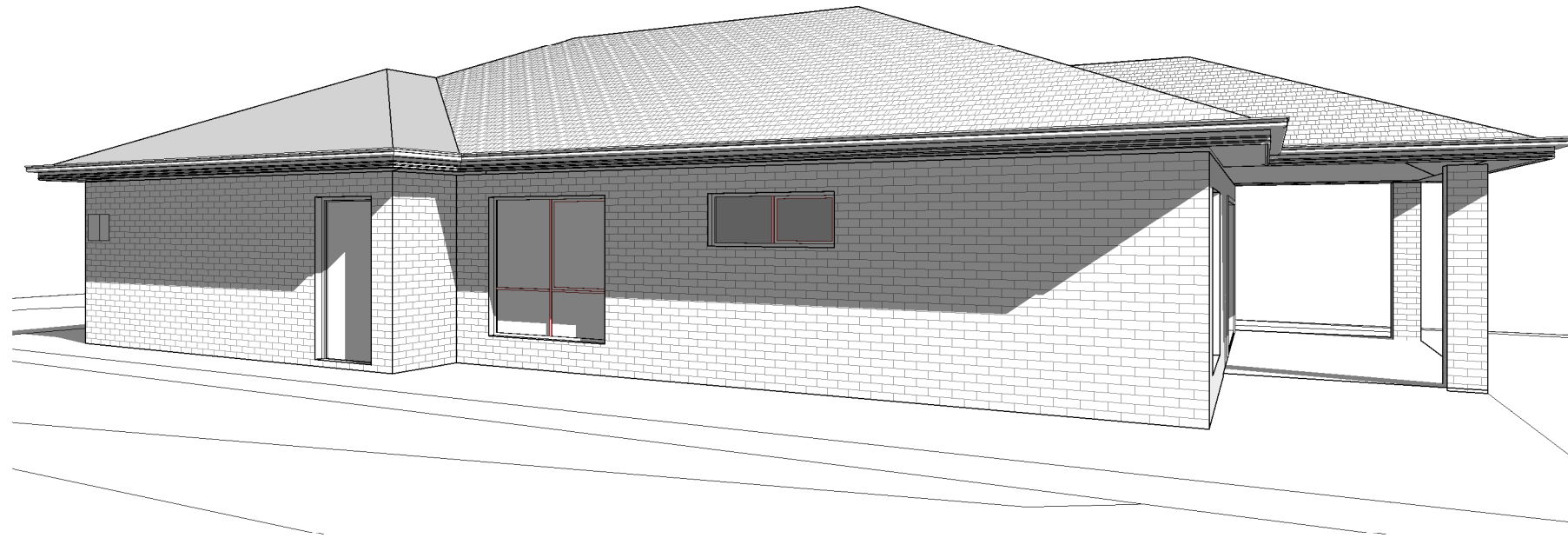
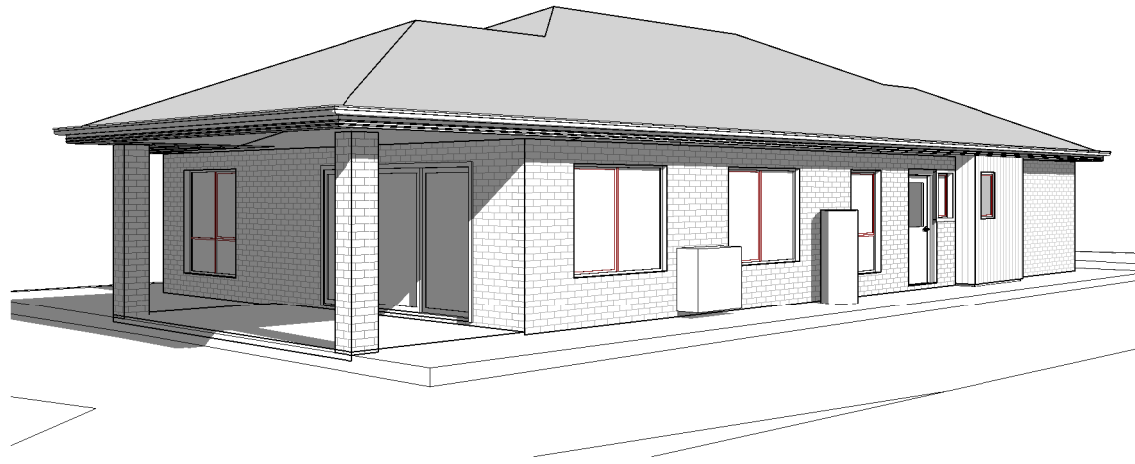
Project/Drawing no: PD24132 -08
Revision: 03



Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Exhibited



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED NEW RESIDENCE,
2C MALCOMBE STREET,
LONGFORD

Client name:
T.RATTRAY & J.LOCKETT

Drawing:
PERSPECTIVES

Drafted by: I.J. Approved by: S.S.W.

Date: 06.06.2024 Scale:

Project/Drawing no: PD24132 -09 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



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