

This planning application is open for
public comment until
12 July 2024

Reference no	PLN-24-0066
Site	466 EVANDALE ROAD WESTERN JUNCTION
Proposed Development	Patio, sauna, spa and shower (retrospective)
Zone	21.0 Agriculture
Use class	Visitor Accommodation

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

PLANNING APPLICATION
Proposal

Exhibited

Ryan Strating, Architect, Core Collective

Description of proposal: Sauna and spa (cold water supply only), cold water shower

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.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 466 Evandale Road, Western Junction, TAS, 7212

.....

CT no: 141460/1

Estimated cost of project \$ 111,000

(include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No

If yes – main building is used as Residence and short term accommodation

If variation to Planning Scheme provisions requested, justification to be provided:

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.....
.....
.....

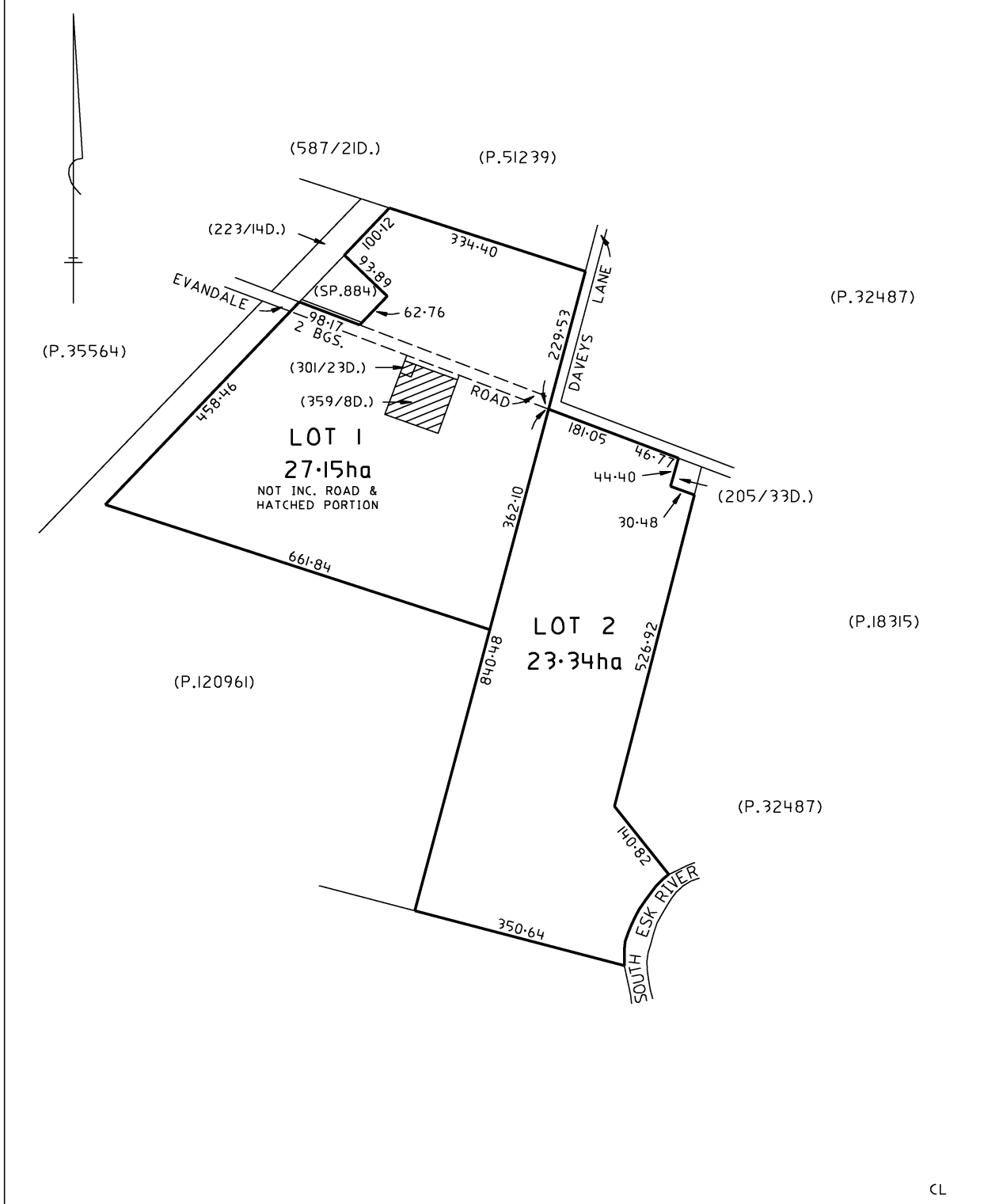
(attach additional sheets if necessary)

Is any signage required?

(if yes, provide details)

OWNER FOLIO REFERENCE 202062/ICT. GRANTEE	PLAN OF TITLE		Registered Number P.141460
	LOCATION CORNWALL - BREADALBANE	FIRST SURVEY PLAN No. 205/33D.I/26CORN.30I/23D 359/8D. COMPILED BY LDRB SCALE 1: 6000 LENGTHS IN METRES	APPROVED 13 MAY 2004 <i>Alice Kawa</i> Recorder of Titles

MAPSHEET MUNICIPAL CODE No. 5039-15 (123)	LAST UPI No FBN32	LAST PLAN No. P.202062	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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CL

LEIGHTON HOUSE

Exhibited

Alterations and Additions to Existing Residence

For Construction

DRAWING LIST

Drawing No.	Title	Revision	Scale	Updates
A-001	COVER PAGE & LOCATION PLAN	25	1:10000	
A-002	SAFETY NOTES	02		REVISION CORRECTION
A-003	COMPLIANCE NOTES	02		REVISION CORRECTION
A-100	SITE PLAN PROPOSED	16	1:100, 1:500	UPDATED SAUNA AND HOT TUB
A-101	ANEF ANALYSIS	02		REVISION CORRECTION
A-102	BAL REQUIREMENTS	03	1:500, 1:100	BAL NOTES
A-110	GROUND FLOOR DEMOLITION	08	1:125	REVISION CORRECTION
A-111	ROOF DEMOLITION	08	1:125	REVISION CORRECTION
A-112	ELEVATIONS DEMOLITION	08	1:125	REVISION CORRECTION
A-113	ELEVATIONS DEMOLITION	08	1:125	REVISION CORRECTION
A-120	FLOOR SET OUT PLAN	06	1:125	
A-121	WALL SETOUT PLAN - GROUND LEVEL	01	1:100, 1:125	
A-122	WALL SETOUT PLAN - LEVEL 1	02	1:125, 1:100	SETOUT ADDED, FLOOR TILE UPDATE
A-123	WALL SETOUT PLAN - DETAIL SETOUTS	02	1:100, 1:50, 1:20	SET OUT UPDATED
A-130	FLOOR PLANS - GROUND	18	1:125	PRESSED METAL CEILING DETAIL UPDATE
A-131	FLOOR PLANS - LEVEL 1	14	1:125	FLOOR TILE UPDATE
A-132	FLOOR PLANS - ROOF	11	1:125	REVISION CORRECTION
A-200	ELEVATIONS PROPOSED	10	1:125	REVISION CORRECTION
A-201	ELEVATIONS PROPOSED	10	1:125	REVISION CORRECTION
A-202	ELEVATIONS PROPOSED	02	1:125	BBQ AREA UPDATED, REVISION CORRECTION
A-300	SECTIONS	09	1:125	CONSERVATORY ROOF, CONSERVATORY ROOF
A-301	SECTIONS	03	1:125	REVISION CORRECTION
A-302	SECTIONS	04	1:50	REVISION CORRECTION
A-303	SECTIONS	03	1:50	REVISION CORRECTION
A-304	SECTIONS	03	1:50	REVISION CORRECTION
A-400	DETAILS	04	1:20, 1:100	REVISION CORRECTION
A-401	DETAILS	03	1:50, 1:400	
A-402	DETAILS	02	1:50, 1:1000	DETAIL UPDATED
A-403	DETAILS	03	1:20	PRESSED METAL CEILING DETAIL UPDATE
A-404	DETAILS	02	1:20	DETAIL UPDATE
A-405	DETAILS	01	1:2	
A-406	DETAILS	01	1:2, 1:20	
A-407	DETAILS	01	1:20	FIREPLACE DETAILS ADDED
A-500	MAIN BEDROOM	09 - WIP	1:50	BEDROOM PENDANTS, BEDROOM PENDANTS
A-501	MAIN BED ENSUITE AND ROBE	15 - WIP	1:50	ENSUITE SHOWER SCREEN, ENSUITE SHOWER SCREEN
A-502	BEDROOM 2	11 - WIP	1:50, 1:100	BEDROOM PENDANTS
A-503	BATHROOM 2	08	1:50, 1:5	BATHROOM BENCH UPDATED, TR-2 NOTED
A-504	BEDROOM 3	09 - WIP	1:50	BEDROOM PENDANTS
A-505	BATHROOM 3	08	1:50	BATHROOM BENCH UPDATED, TR-2 NOTED
A-506	STUDY	08	1:50	
A-507	LAUNDRY/MUD ROOM	09	1:50, 1:20	MUDROOM DETAIL ADDED
A-508	KITCHEN/DINING/SCULLERY	11	1:50	KITCHEN BENCH UPDATED TO 950
A-509	SCULLERY	08 - WIP	1:50, 1:535.60	SCULLERY PAINT
A-510	BUNK ROOM	10	1:50	
A-511	BUNK ROOM BATH	06	1:50	
A-512	LOUNGE	08	1:50	
A-600	ELECTRICAL AND LIGHTING GROUND FLOOR	14	1:125, 1:50	
A-601	ELECTRICAL AND LIGHTING L1	12	1:125	
A-602	HYDRAULIC LAYOUT GROUND FLOOR	04	1:125, 1:100	REVISION CORRECTION
A-603	HYDRAULIC LAYOUT L1	03	1:125, 1:100	REVISION CORRECTION
A-604	MECHANICAL LAYOUT (SUPPLY AIR) GROUND FLOOR	02	1:125	REVISION CORRECTION
A-605	MECHANICAL LAYOUT (SUPPLY AIR) L1	02	1:125	REVISION CORRECTION
A-606	LP-2 NEW WING PENDANT	01		
A-700	STEEL FRAMED GLAZING	08	1:50	REVISION CORRECTION
A-701	STEEL FRAMED GLAZING	07	1:100	D-20 UPDATED TO STEEL
A-702	STEEL FRAMED GLAZING DETAILS	04	1:100	REVISION CORRECTION
A-703	STEEL FRAMED GLAZING DETAILS	04	1:100	REVISION CORRECTION
A-704	WINDOW SCHEDULE	04		REVISION CORRECTION
A-705	WINDOW SCHEDULE	04		REVISION CORRECTION
A-706	DOOR SCHEDULE	05		LOCKS TO BUNK ROOM AND BED 2, GARAGE DOOR NOTES, NEW DOORS TO BED 1 AND BED 3
A-707	DOOR SCHEDULE	05		LOCKS TO BUNK ROOM AND BED 2
A-800	JOINERY SCHEDULE	03		
A-1000	LANDSCAPE PLAN	01	1:200	
A-1001	LANDSCAPE DETAILS - HOT TUB & SERVICE COURT	02 - WIP	1:50, 1:10	DETAILS MOVED TO A-1002
A-1002	HOT TUB	02	1:50	DIMENSIONS ADDED

BUILDING CLASSIFICATION: CLASS 1B

DESIGNER

CORE COLLECTIVE ARCHITECTS

CERTIFIED ARCHITECT: RYAN STRATING

ACCREDITATION N°: 11631 (NSW) 661 (TAS) Licence no. CC4652M

ARCHITECTS ADDRESS: LONGHOUSE, 6 EVANS STREET, HOBART, TAS, 7000

+61 411 588 603

LOCATION

PROJECT N°: 2202

PROJECT NAME: LEIGHTON STUD

TITLE REFERENCE: 141460/1

PROJECT ADDRESS: 466 EVANDALE ROAD, WESTERN JUNCTION, TAS, 7212

SITE DETAILS

BAL: 12.5

CLIMATE ZONE: Zone 7 - Cool Temperate

WIND CLASS: N2

SOIL CLASS: **Class P** due to large trees on the site, which once removed due to the large area of disturbed material will cause significant differential settlement and adversely affect the foundation designs. Based upon reactivity tests **Class H-1**, would be assigned for the clays on site



Location Plan



TRUE NORTH



EXTERNAL AREAS	
COURTYARD	41
FRONT VERANDAH	89
UNDERCROFT	54
WEST TERRACE	33
TOTAL	217 m²
HOUSE	
ADDITION GROUND LEVEL	91
ADDITION LEVEL 1	103
SITE	
SITE	27.15ha
SITE	
SITE	271,728
TOTAL	271,728 m²
	272,424 m²

Area Schedule



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CONTRACTORS SHALL VERIFY JOB DIMENSIONS BEFORE ANY JOB COMMENCES. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE SUPERINTENDENT AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF UNAMENDED SHOP DRAWINGS SIGNED BY THE CONSULTANT. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT, SPECIFICATIONS AND DRAWINGS. REFER TO THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS. COPYRIGHT OF THIS DRAWING IS VESTED IN CORE COLLECTIVE ARCHITECTS.

General Notes

25	WELLNESS AREA UPDATE	GR		26/2/2024
24	WELLNESS AREA	ET	RS	2/11/2023
23	PAINT AND JOINERY UPDATES	ET	RS	11/7/2023
22	ELECTRICAL UPDATES	ET	RS	20/4/2023
21	ELECTRICAL UPDATES	ET	RS	19/4/2023
Rev	Description	By	Cktd	Date

core COLLECTIVE architects

LongHouse, 6 Evans St, Hobart TAS 7000

Tel: +61 3 6234 9347 +61 411 588 603

info@corecollective.com.au

www.corecollective.com.au

Client Genevieve and Hamish Campbell	Project Name LEIGHTON STUD
Project No. 2202	466 EVANDALE ROAD, WESTERN JUNCTION, TAS, 7212

Title COVER PAGE & LOCATION PLAN
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Drawing No.	Scale	Revision			
A-001	1:10000 @ A3	25			
Date	Drwn	GR	Co-Ord	GR	Chck
26/2/2024					

Construction Issue

Exhibited

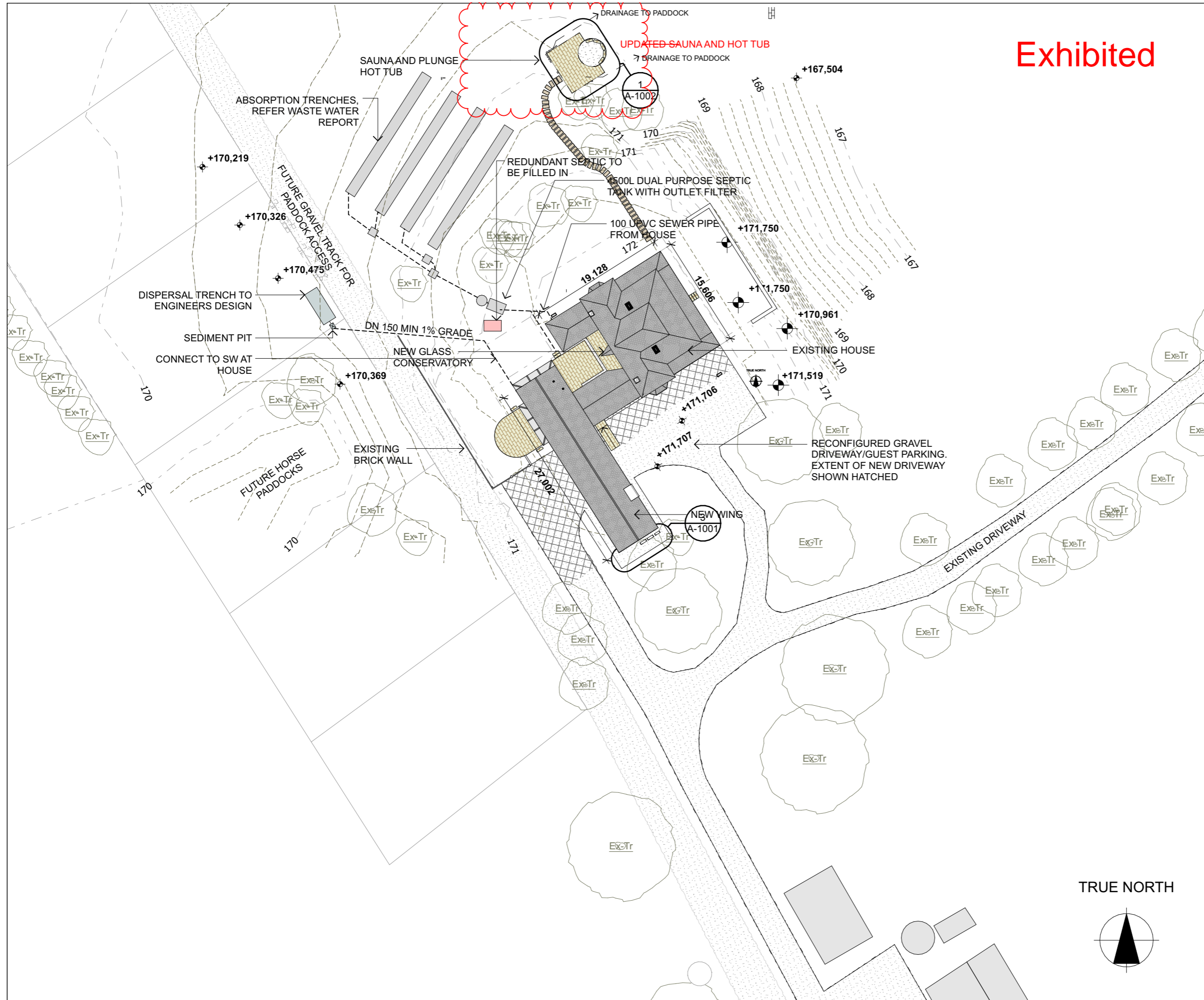
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General Notes

DRAINAGE NOTES

- SEWER AND STORMWATER PIPES TO BE UPVC S88 RUBBER RING JOINTED. JOINTS AT PITS AND MANHOLES TO BE FLEXIBLE
- ALL PLUMBING TO BE INSTALLED AS PER REQUIREMENTS OF AS2870-2011 SECTION 5.6.4 AND 'SLAB AND FOOTING PIPE PENETRATION DETAIL' ON ENGINEERING DRAWINGS



16	WELLNESS AREA	GR	RS	2/11/2023
15	GENERAL UPDATES	GR	RS	24/3/2023
14	GENERAL UPDATES	GR	RS	20/1/2023
13	UPDATES TO BA SET FOR COUNCIL	GR	RS	12/1/2023
12	WASTEWATER UPDATES	GR	RS	24/11/2022
Rev	Description	By	Cktd	Date

core COLLECTIVE architects
 LongHouse, 6 Evans St, Hobart TAS 7000
 Tel: +61 3 6234 9347 +61 411 588 603
 info@corecollective.com.au
 www.corecollective.com.au

Client Genevieve and Hamish Campbell	Project Name LEIGHTON STUD
Project No. 2202	466 EVANDALE ROAD, WESTERN JUNCTION, TAS, 7212

Title SITE PLAN PROPOSED			
Drawing No. A-100	Scale 1:500, 1:100@ A3	Revision 16	
Date 26/2/2024	Drwn GR	Co-Ord GR	Chck RS

Construction Issue

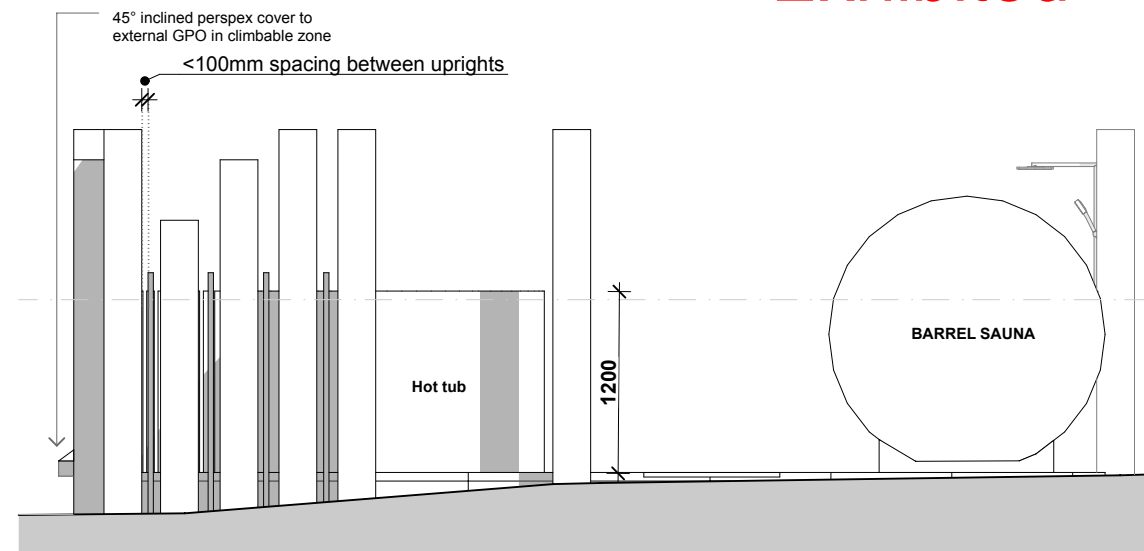
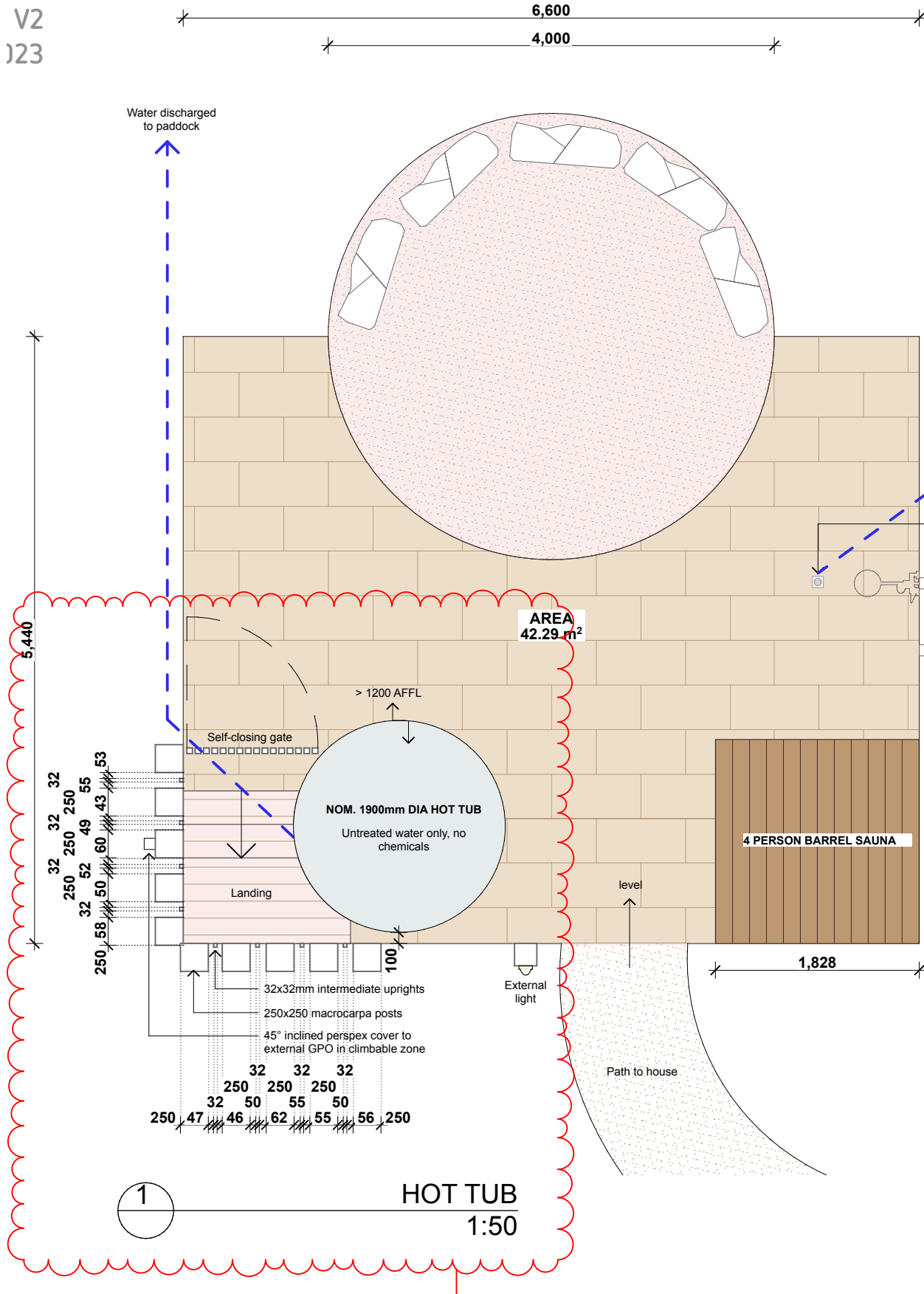
V2
J23

Exhibited

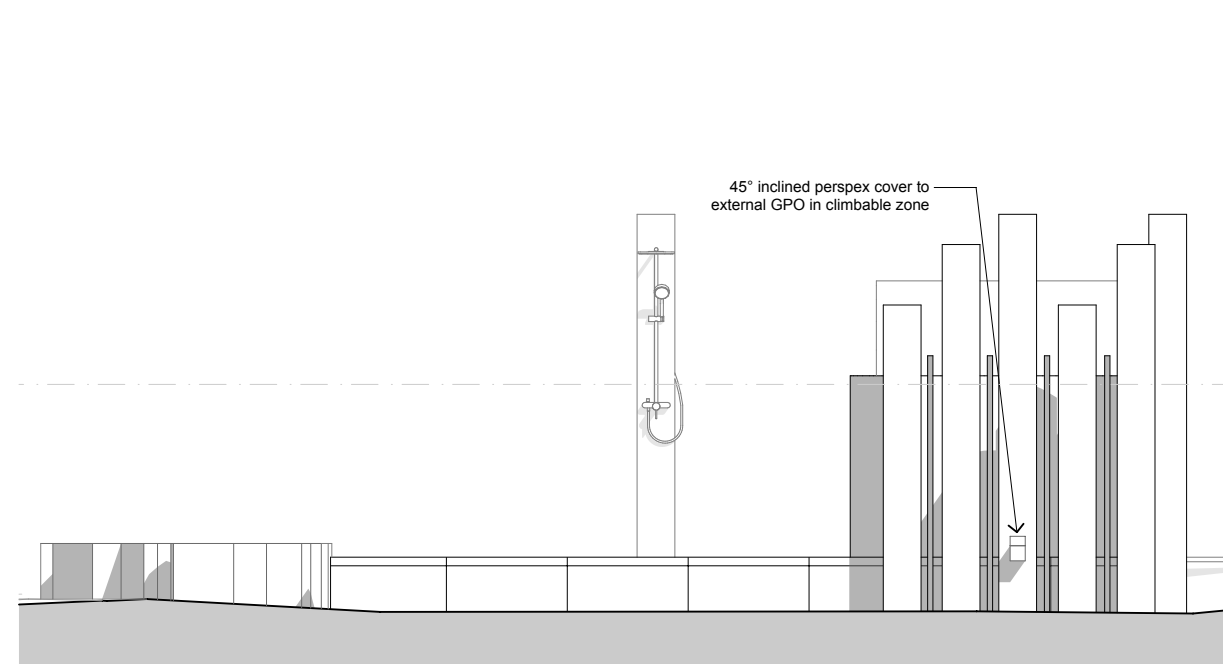
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General Notes

- COMPLIANCE NOTES**
1. Pool barrier, gate and latch to be installed in accordance with AS 1926.1-2012 Swimming Pool Safety
 2. Angled perspex cover to any horizontal elements in climbable zone



2 HOT TUB ELEVATION 1:50



3 HOT TUB ELEVATION 2 1:50

DIMENSIONS ADDED

Rev	Description	By	Cktd	Date
02	WELLNESS AREA UPDATE	GR		26/2/2024
01	WELLNESS AREA			2/11/2023

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Client Genevieve and Hamish Campbell	Project Name LEIGHTON STUD
Project No. 2202	466 EVANDALE ROAD, WESTERN JUNCTION, TAS, 7212

Title HOT TUB			
Drawing No. A-1002	Scale 1:50 @ A3	Revision 02	
Date 22/4/2024	Drwn GR	Co-Ord	Chck

Construction Issue