

This planning application is open for  
public comment until  
28 June 2024

Reference no	<b>PLN-24-0049</b>
Site	<b>11A SMITH STREET LONGFORD</b>
Proposed Development	<b>Boundary Fence (Local Heritage Code applies)</b>
Zone	<b>27.0 Community Purpose</b>
Use class	<b>Residential</b>

Written representations may be made during this time to the General Manager;  
mailed to PO Box 156, Longford, Tasmania 7301,  
delivered to Council offices or  
a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

(no special form required)

PLANNING APPLICATION  
Proposal

Exhibited

Description of proposal: ...New fence to boundary.....

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.....  
.....  
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: ...11A Smith St.....

..... Longford, TAS, 7301.....

CT no: ...133724/4.....

Estimated cost of project \$.....10,000..... (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property?  Yes  No  
If yes – main building is used as ...Residential Aged Care Independent Living Units.....

If variation to Planning Scheme provisions requested, justification to be provided:

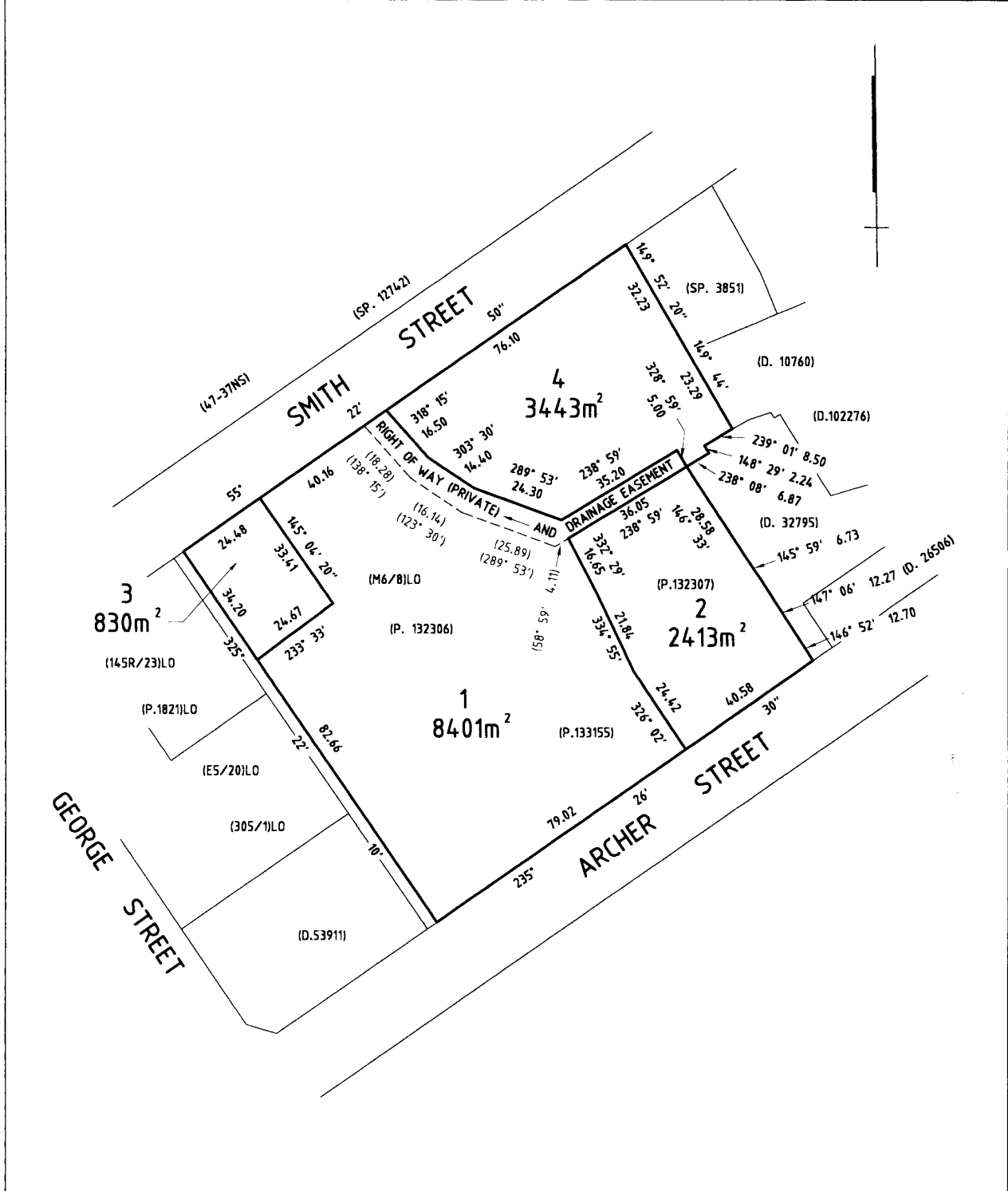
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.....

(attach additional sheets if necessary)

Is any signage required? .....

(if yes, provide details)

OWNER: THE CROWN		<b>PLAN OF SURVEY</b>		REGISTERED NUMBER
FOLIO REFERENCE CT. 133155-1, CT. 132307-2 C.T. 132306-1				BY SURVEYOR M.R.ROSE OF 2/3 WALDEN STREET, NEWSTEAD
GRANTEE: PART OF 3A.0R.16P. GRANTED TO THE WARDEN COUNCILLORS & ELECTORS OF THE MUNICIPALITY OF LONGFORD. PART OF 1A. 3R. 19P. & PART OF 2A. 3R. 28P, SEC. E. GTD TO CHARLES REID		LOCATION <b>TOWN OF LONGFORD SEC. E.</b>	<del>APPROVED</del> EFFECTIVE FROM 15 JUN 2023 <i>Alice Kawa</i> Recorder of Titles	
MAPSHEET MUNICIPAL CODE No 123 (5039-33)	LAST UPI No GEG 58, GGC 71 5602338	LAST PLAN P.133155 No P.132307, P.132306	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
SCALE 1: 1000 LENGTHS IN METRES				



COUNCIL APPROVAL

Registered Number

SP 133724

(Insert any qualification to the permit under section 83(5), section 109 or section III of the Local Government ( Building & Miscellaneous Provisions ) Act 1993 }

The subdivision shown in this plan is approved

SIGNED, SEALED and DELIVERED for and on behalf of the Crown by PERRY JOHN FOSTER being and as a Property Manager Crown Land Services prescribed by Statutory Rule No 72 of 1999 and pursuant to an instrument of delegation dated the 23rd day of September 1999

P. Foster



in the presence of: K. Phillips

(Signature of Witness)

In witness whereof the common seal of

has been affixed, pursuant to a resolution of the Council of the said municipality

passed the day of 19 , in the presence of us

Member

Member

General Manager

Council Reference

NOMINATIONS

For the purpose of section 88 of the Local Government ( Building & Miscellaneous Provisions ) Act 1993

the owner has nominated

Crown Solicitor

Solicitor to act for the owner

Mick Rose

Surveyor to act for the owner

TO BE COMPLETED WHEN ADDITIONAL PLAN OF SURVEY SHEETS ARE ANNEXED

Detailed drawings of the lots shown in this plan are contained in the additional sheet(s) annexed and

signed by us

Surveyor

General Manager

OFFICE EXAMINATION:

Indexed

Computed RC 22-3:00

Examined RC 22-3:00



**circa** *morris-nunn chua architects*

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29 May 2024

Northern Midlands Council  
13 Smith Street  
PO Box 156  
Longford TAS 7301

By email: [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Dear Brandie,

**re: Request for Additional Information, 11A Smith Street, Longford  
PLN-24-0049**

Thank you for your request for information, dated 23/05/2024. Please find responses to your queries herein.

#### **27.4.2 – Setbacks – A1/P1, A2/P2**

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The fence maintains the same setback as all adjacent existing fences and that of the existing hedging. The height is compatible with the adjoining properties' frontage wall and to other examples of fencing in the close vicinity of the subject site. The proposed fencing leads to no additional overshadowing or reduction of privacy. Please refer to latter commentary on the scale and form of the proposed fencing.

#### **27.4.3 – Fencing – P1**

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The openings in the fence provide opportunity for passive surveillance of the road. Please refer to latter commentary on the scale and form of the proposed fencing.

#### **C6.7.1 – Demolition within a local heritage precinct – P1**

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Despite the ongoing efforts of the property owner to maintain it, the health of the existing hedge has been steadily declining. This has led to the removal of some dead sections and installation of temporary fabric screening to maintain security and enclosure to the property and its residents.

The property owner has now determined that is no longer practicable to maintain the remaining hedging and has chosen to replace it with new fencing. This will allow them to re-invest their time in the ongoing maintenance of other remaining greenery – such as the remaining trees and shrubbery on the subject site and the adjacent hedging located at 10 Archer Street.

### C6.7.3 – Buildings and works, excluding demolition – P1.1, P1.2 and P2

There is a substantial mix of existing fencing styles in the vicinity of the subject property, with the prevailing style being low masonry walls of mixed finish. In this proposal, timber-like boards with regular openings were chosen as a more permeable option which allowed for glimpses through to the remaining green spaces.

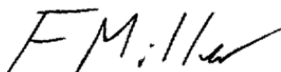
The choice to utilise horizontal boards is intended to visually reduce the perceived height of the fence, whilst the perceived length of the fence is managed by avoiding long unbroken sections of fencing by accentuating vertical joints between fencing sections that step up in response to the gentle grade of the footpath. This together with the selected neutral palette is intended to downplay the visual prominence of the new fencing whilst still contributing to the streetscape in a considered manner.

The client has also provided the following commentary on the design of the proposed fence:

*Our preference is to stay with the horizontal design for the following reasons:*

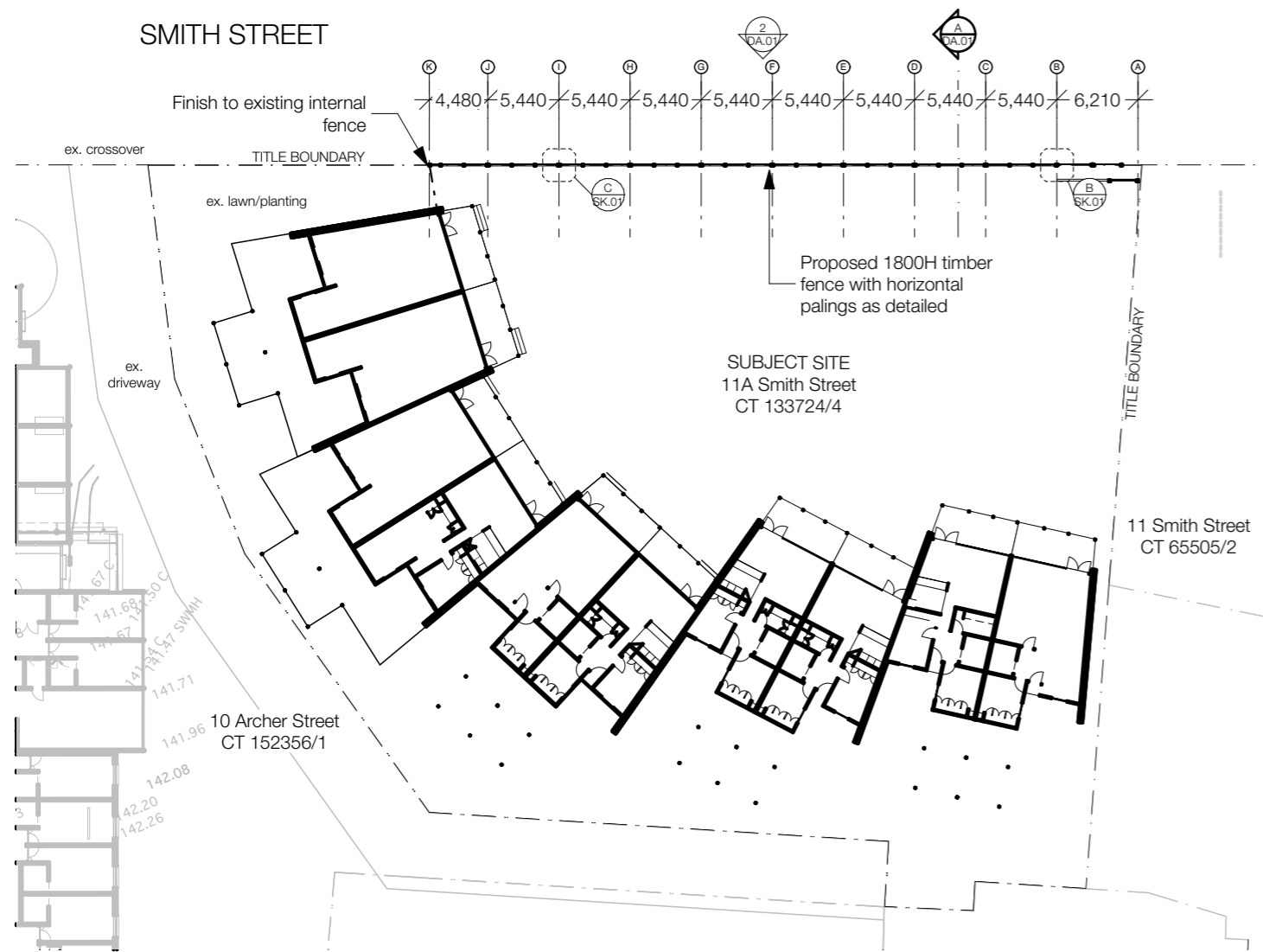
- *Due to the slight grade of the street a vertical arrangement would add significant cost through the need to angle cut each paling to meet a plinth board and capping plus the addition of steel railings.*
- *Matches the existing (horizontal) fencing in Denton close and the fence between Unit 1 and the street which is also visible from the street.*
- *The horizontal design capitalises on the rigidity of the composite boards and provides for a simple and elegant design with minimal visible fasteners from both the street and garden view.*
- *The design includes vertical cover boards at 1350 centres which does provide a significant vertical element.*

Yours sincerely

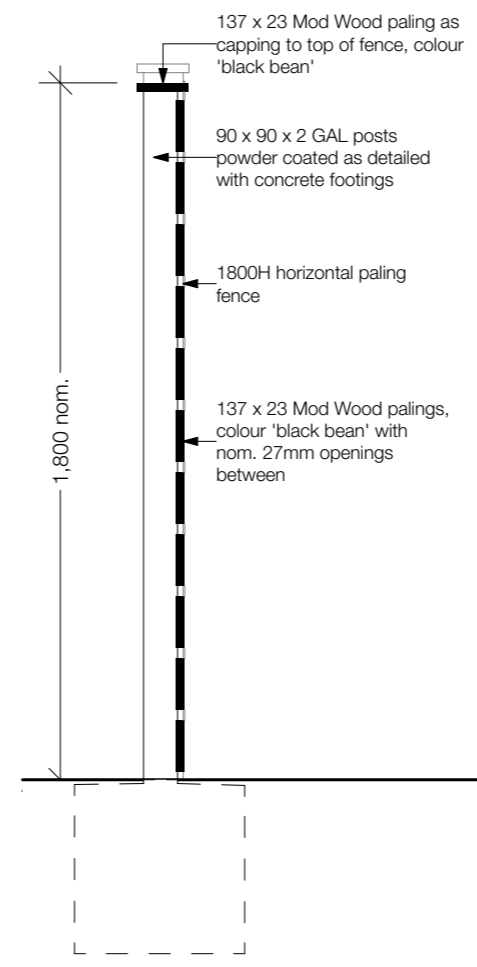


Fraser Miller  
Architect

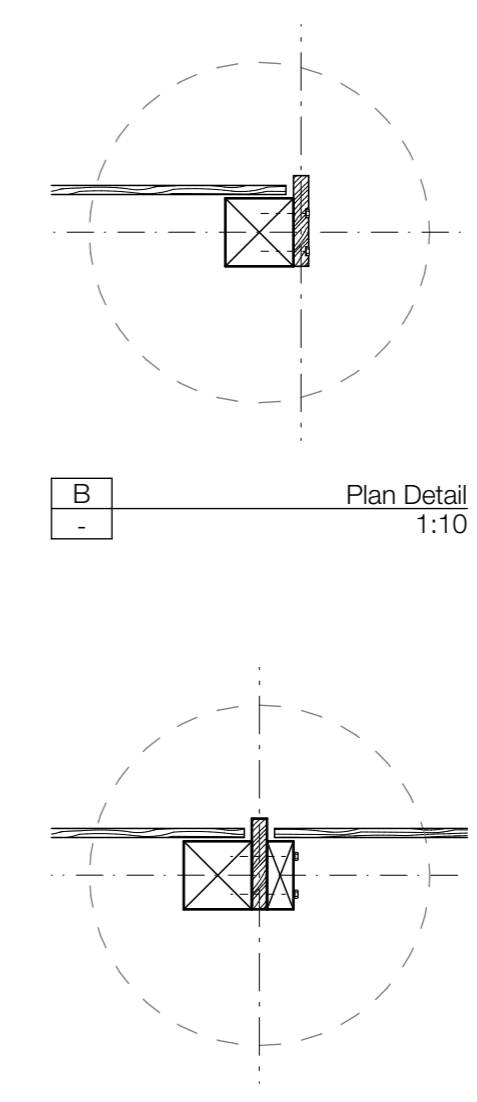
Exhibited



1 Proposed Site Plan  
1:500



A Section  
1:20



C Plan Detail  
1:10

PRELIMINARY ONLY

**Toosey Boundary Fencing**  
**Toosey Aged & Community Care**

11A Smith Street  
Longford  
TAS, 7301



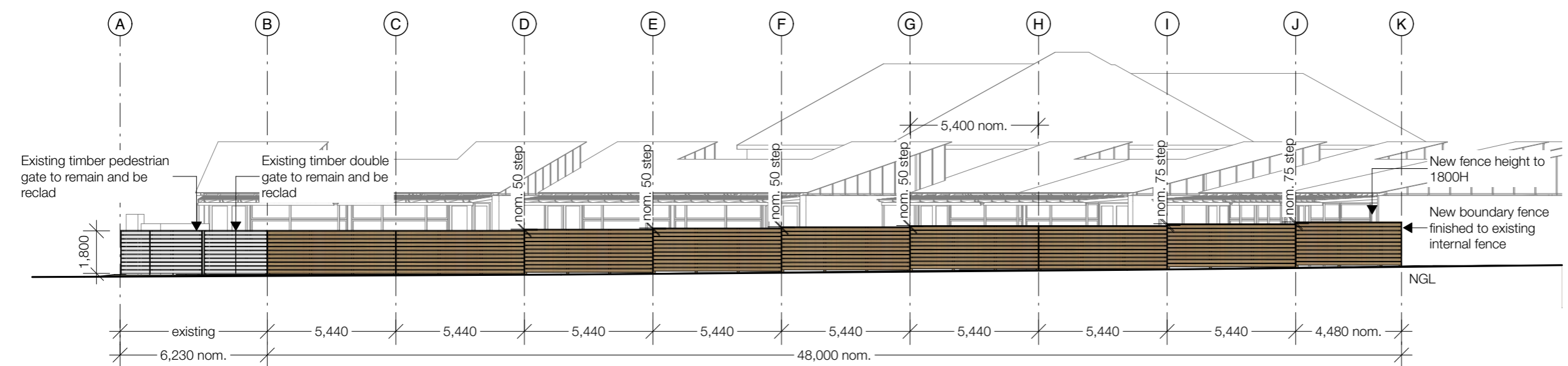
These designs, plans and specifications and the copyright therein are the property of Circa Morris-Nunn Architects and must not be used, reproduced or copied wholly or in part without the written permission of Circa Morris-Nunn Pty Ltd

**circa morris-nunn chua architects**

**Contact**

ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

These drawings show design intent and are suitable as a guide only. The builder shall check and verify all dimensions and verify all errors/ omissions to the Architect. Do not scale off the drawings. Drawings are not to be used for construction purposes until issued by the Architect for construction.



2 Proposed Smith Street Elevation  
1:200

**Boundary fence details**

status	Planning Application
issue date	2/4/2024
drawing n°	Revision

2115-DA.01