

Exhibited

This planning application is open for
public comment until
13 May 2024

Reference no	PLN-24-0039
Site	24C GEORGE STREET PERTH (ACCESS OVER F.R. 143546/3)
Proposed Development	Single Dwelling (vary setback)
Zone	8.0 General Residential
Use class	Residential Single Dwelling

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

PLANNING APPLICATION

Proposal

Description of proposal: Proposed single dwelling

[Dotted lines for additional description]

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 24C George Street

[Dotted line for additional address information]

CT no: 1/143546

Estimated cost of project \$450,000 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes - main building is used as out building

If variation to Planning Scheme provisions requested, justification to be provided:

8.4.1 A3 (a) (i)

[Dotted lines for additional justification]

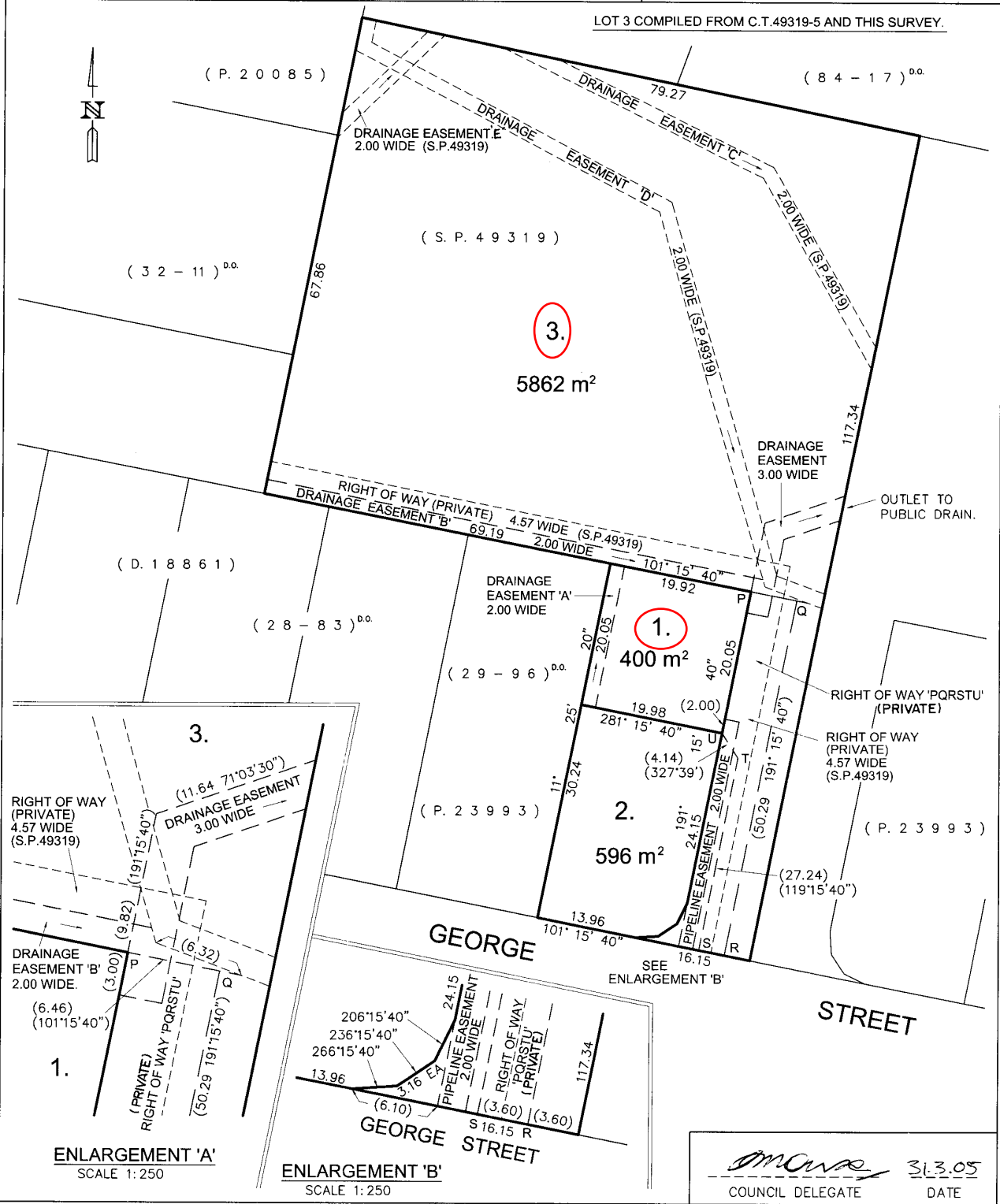
(attach additional sheets if necessary)

Is any signage required? no

(if yes, provide details)

OWNER LINDSAY RICHARD ALLEN JENNIFER DORIS ALLEN, P.M.ALLEN WAYNE LINDSAY CHELLIS	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR R.V.TAIT</p> <p>LOCATION TOWN OF PERTH SECTION F</p>	REGISTERED NUMBER SP143546
FOLIO REFERENCE C.T.23993-35 C.T.49319-5		APPROVED EFFECTIVE FROM 26 APR 2005
GRANTEE PART OF 15°0'35" GRANTED TO JOSEPH CLAYTON	SCALE 1:500 LENGTHS IN METRES	<i>Alice Kawa</i> Recorder of Titles

MAPSHEET MUNICIPAL CODE No 123 (5039-24)	LAST UPI No FB062, 560060	LAST PLAN No P.23993, S.P.49319	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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15 March 2024

Northern Midlands Council

Dear Planner,

Re: Proposed new single dwelling at 24C George Street, Perth

The locality surrounding the subject site is characterised by larger internal lots surrounded by smaller lots facing the frontage streets. The surrounding sites have varied setbacks and development density however are generally characterised as single dwellings and outbuildings, with outbuildings frequently constructed to the rear and side property boundaries. The subject site is a smaller internal lot subdivided from the rear part of the street fronting property 26 George Street. At 400m² and is an internal lot located behind 26 George Street. The property access is over a right of way over the access of the rear internal property 24B George Street.

The proposed dwelling is orientated on site to face the shared property access for the rear neighbouring property. The setback of 4.5m treats the Eastern boundary alike to a frontage providing separation from the shared property access and reducing loss of amenity from light and noise from cars of the neighbouring property traveling along the access.

The setback from the Southern boundary is 1.8m therefore not complying with 8.4.2 A3(a)(i). The proposed dwelling is consistent with the surrounding properties in scale & visual bulk being single storey and impact being reduced due to being located on an internal lot. Overshadowing of the neighbouring property is mostly over the outbuildings with a reasonable area of private open space retaining adequate access to sunlight all day. (Please refer to shadow diagrams).

Kind regards,

Bianca Pople

Exhibited

PROPOSED RESIDENCE

24C GEORGE STREET, PERTH

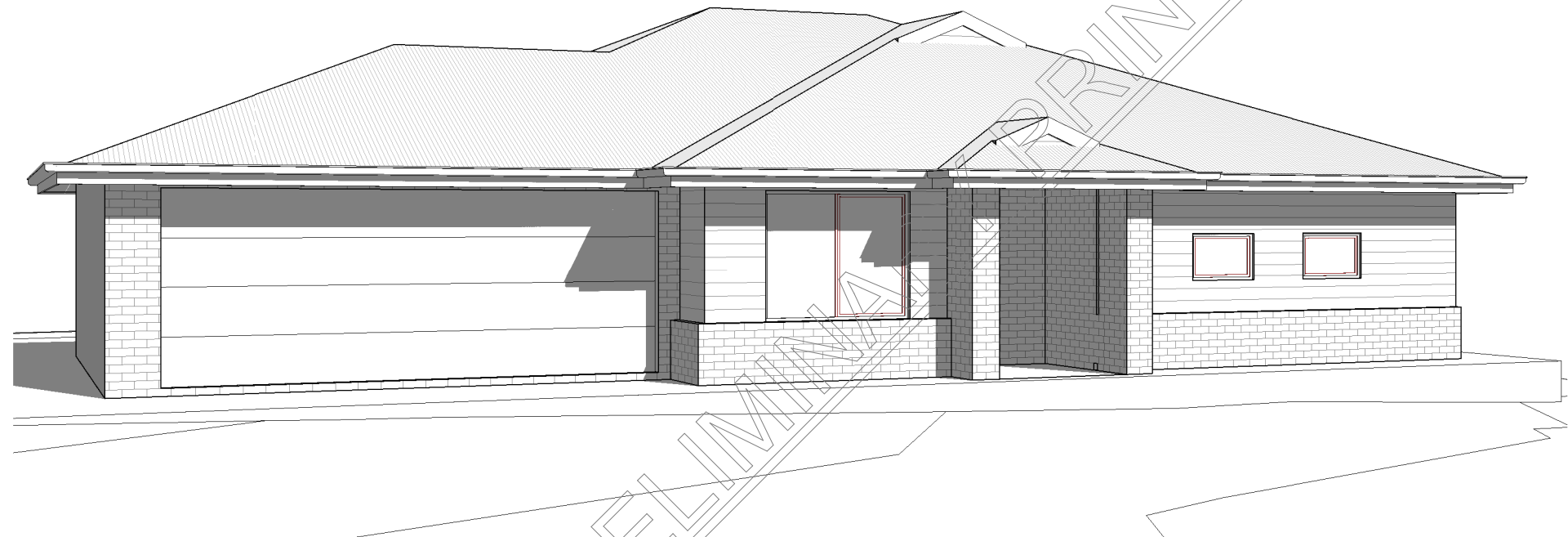
CHUGG SUPERANNUATION CO.

PD24084

PLANNING

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	SHADOW DIAGRAMS



ALFRESCO	10.76	m2	(1.16	SQUARES)
PORCH AREA	4.54	m2	(0.49	SQUARES)
FLOOR AREA	131.72	m2	(14.18	SQUARES)
GARAGE AREA	44.03	m2	(4.74	SQUARES)
TOTAL AREA	191.05		20.57	

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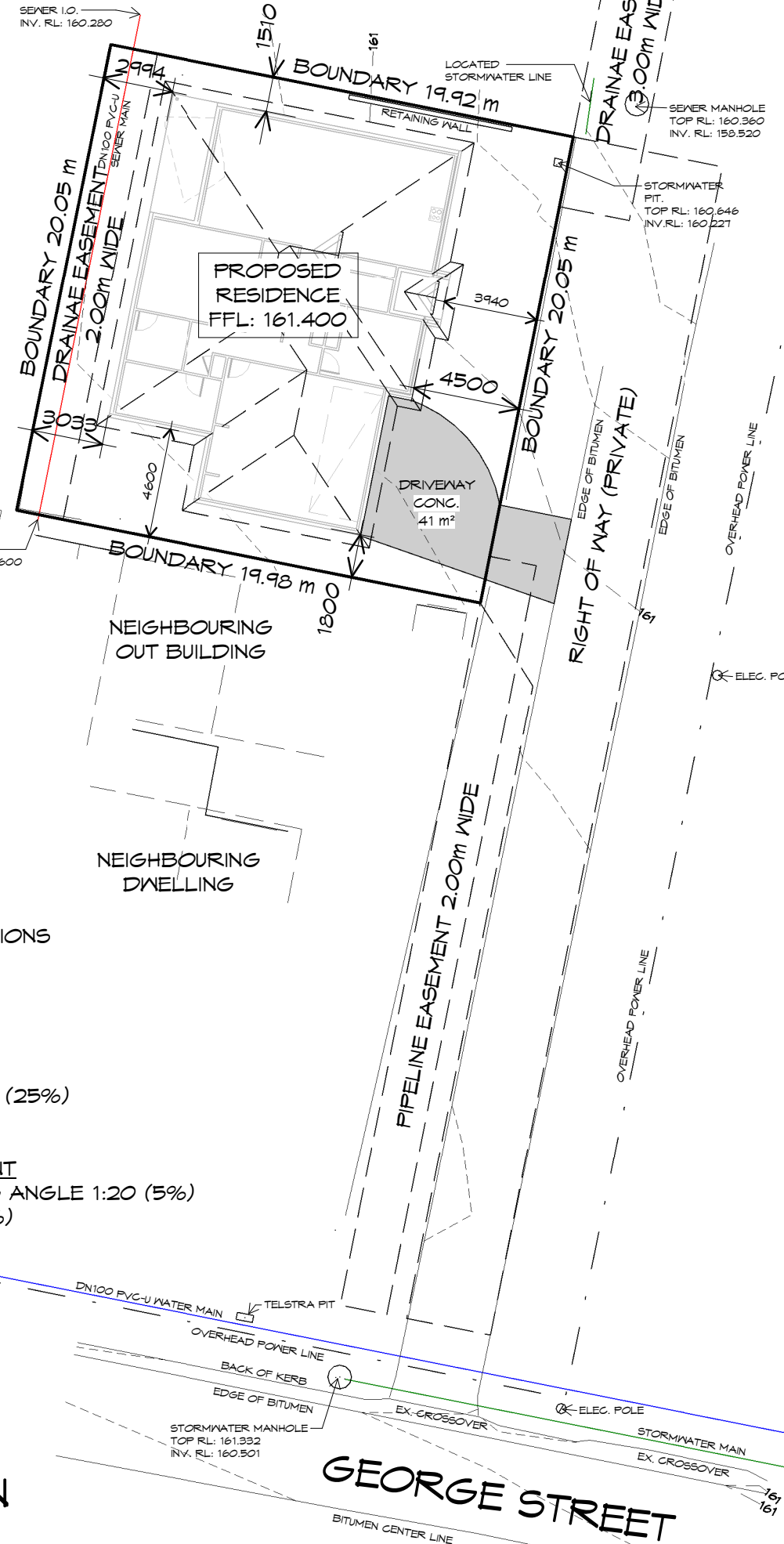
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info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

MARCH 2024

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TITLE REF: 1/143546
LOT SIZE: 400m2



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SURVEYORS NOTES

SURVEYOR: NJK DATE: 16/02/24

1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT SURVEYS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. WOOLCOTT SURVEYS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SURVEYS.
6. HORIZONTAL BEARING DATUM IS MGA20 PER RTK GNSS.
7. VERTICAL DATUM IS AHD PER SPM9953.
8. CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
9. BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP.143546; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
10. CO-ORDINATES ARE PLANE AND BASED ON MGA20 SCALED AROUND SPM9953.

IMPORTANT NOTE:

DRAWINGS CAN BE READ IN BLACK & WHITE. HOWEVER ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

BATTER NOTE
BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

DRIVENWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%) TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

SITE PLAN

1 : 250



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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENCE
24C GEORGE STREET,
PERTH

Client name:
CHUGG SUPERANNUATION CO.

Drafted by:
Author

Approved by:
Approver



Drawing:
SITE PLAN

Date: 15-03-2024
Scale: 1 : 250

Project/Drawing no: PD24084 -01
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Exhibited



LOCALITY PLAN

1 : 1000

THIS SITE IS ZONED GENERAL RESIDENTIAL AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

PLANNING

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24C GEORGE STREET,
PERTH

Client name:
CHUGG SUPERANNUATION CO.

Drawing:
LOCALITY PLAN

Drafted by: Author
 Approved by: Approver

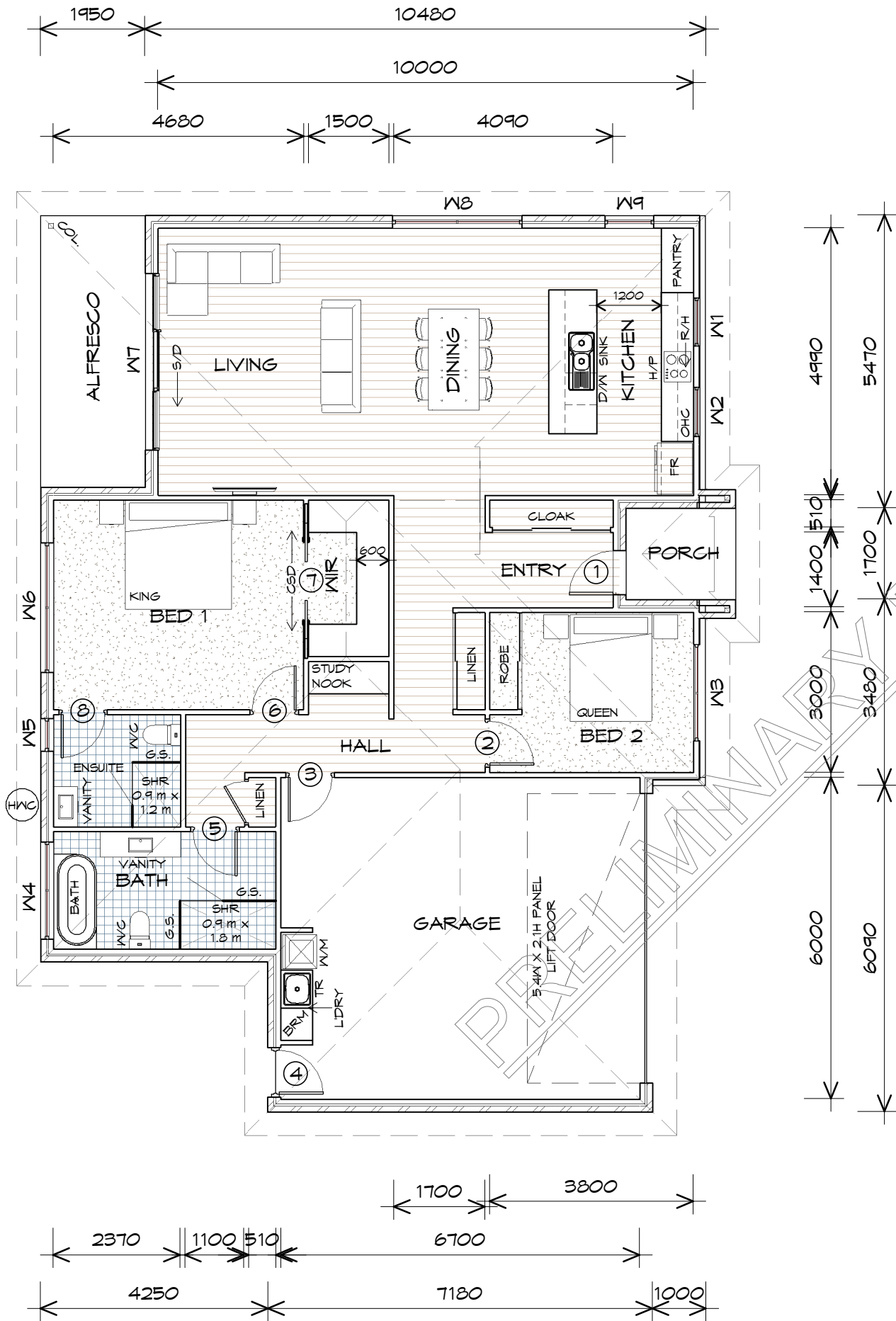
Date: 15-03-2024
 Scale: 1 : 1000

Project/Drawing no: PD24084 -03
 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A



Exhibited



LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

FLOOR PLAN

1 : 100

ALFRESCO	10.76	m ²	(1.16	SQUARES)
PORCH AREA	4.54	m ²	(0.49	SQUARES)
FLOOR AREA	131.72	m ²	(14.18	SQUARES)
GARAGE AREA	44.03	m ²	(4.74	SQUARES)
TOTAL AREA	191.05		20.57	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



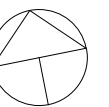
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Project:
PROPOSED RESIDENCE
24C GEORGE STREET,
PERTH

Client name:
CHUGG SUPERANNUATION CO.

Drawing:
FLOOR PLAN

Drafted by: Author
Approved by: Approver
Date: 15-03-2024
Scale: 1 : 100



Project/Drawing no: PD24084 -04
Revision: 02
Accredited building practitioner: Frank Geskus -No CC246A

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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	EXTERNAL HALF GLASS	
5	820	INTERNAL TIMBER DOOR	TO BE UNDERCUT TO PROVIDE MAKE-UP AIR IN ACCORDANCE WITH HOUSING PROVISIONS 10.8.2
6	820	INTERNAL TIMBER DOOR	
7	720	2/720 CAVITY SLIDING DOOR	
8	820	INTERNAL TIMBER DOOR	
T	770	ROBE DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	910	AWNING WINDOW	
W2	600	910	AWNING WINDOW	
W3	1500	1810	AWNING WINDOW	
W4	900	1810	AWNING WINDOW	OPAQUE
W5	900	610	AWNING WINDOW	OPAQUE
W6	1800	2410	AWNING WINDOW	
W7	2100	3310	SLIDING DOOR	
W8	1500	2410	AWNING WINDOW	
W9	1500	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PRELIMINARY PRINT

PLANNING

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Drafted by:
Author

Approved by:
Approver



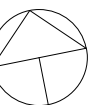
Drawing:
DOOR AND WINDOW
SCHEDULES

Date: 15-03-2024
Scale:

Project/Drawing no:
PD24084 -05

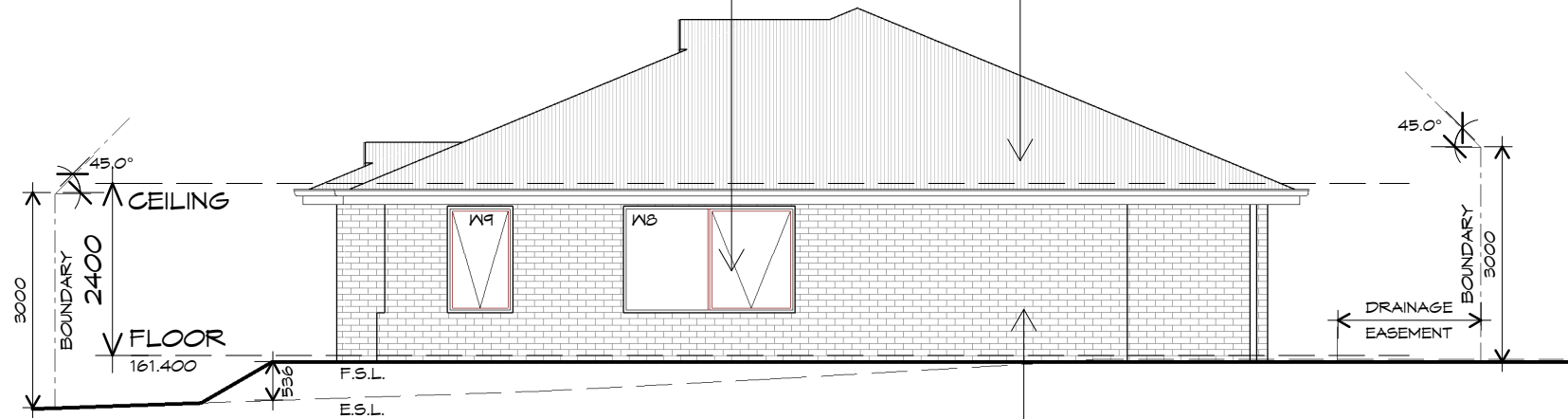
Revision:
02

Accredited building practitioner: Frank Geskus -No CC246A



DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

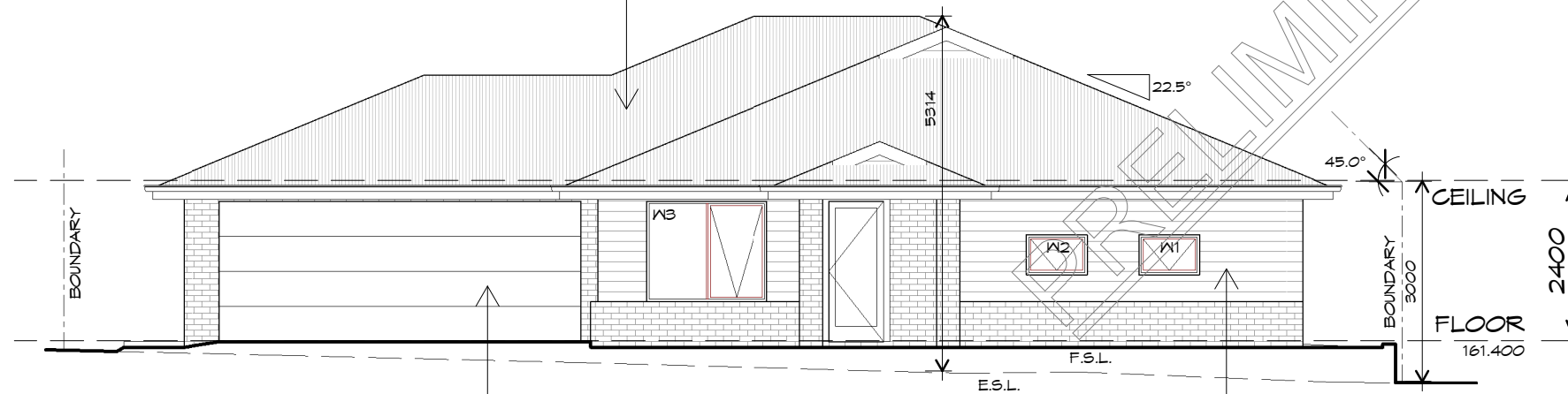


NORTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH ACBC HOUSING PROVISIONS PART 5

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



EASTERN ELEVATION

1 : 100

PANEL LIFT DOOR 2800 WIDE x 2100
 HIGH CLADDING PANELS TO CLIENTS
 SPEC FIXED IN ACCORDANCE WITH
 MANUFACTURERS SPEC

CLADDING TO BE
 SELECTED BY CLIENT



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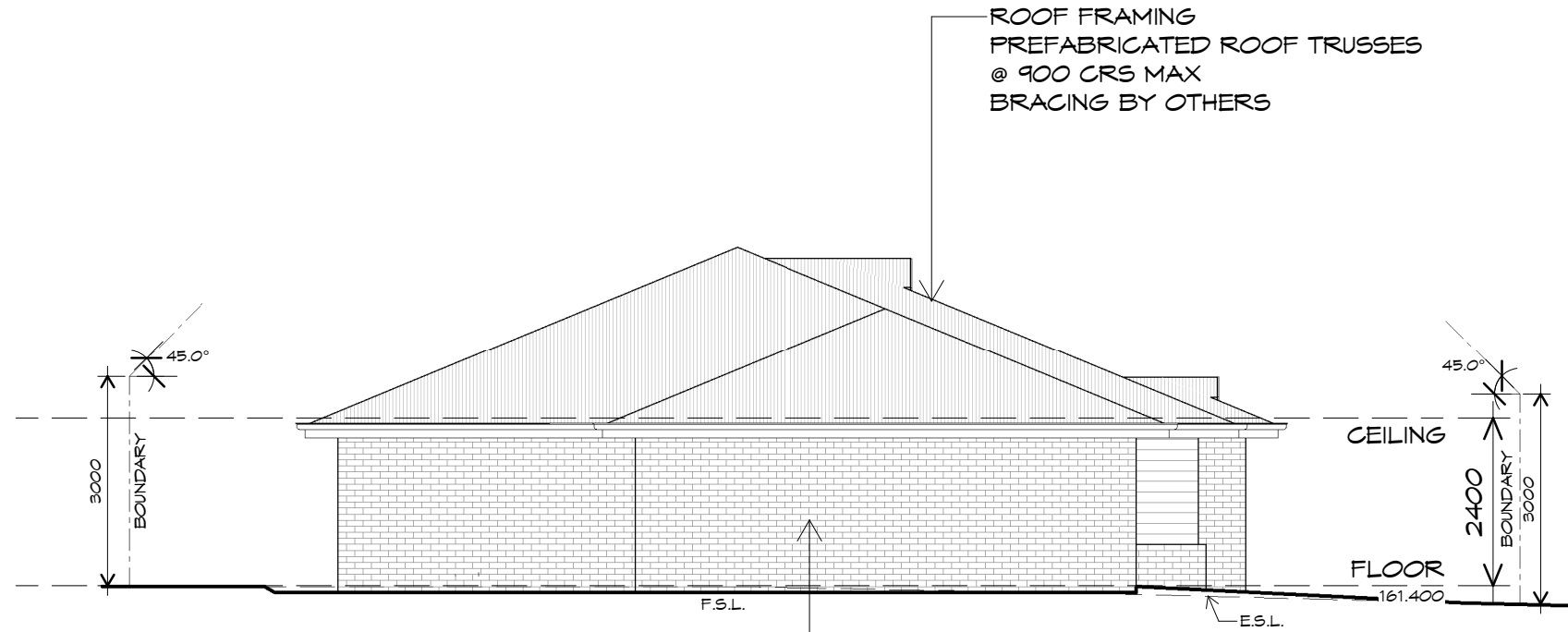
Drawing:
ELEVATIONS

Drafted by: Author
 Approved by: Approver

Date: 15-03-2024
 Scale: 1 : 100

Project/Drawing no: PD24084 -06
 Revision: 02



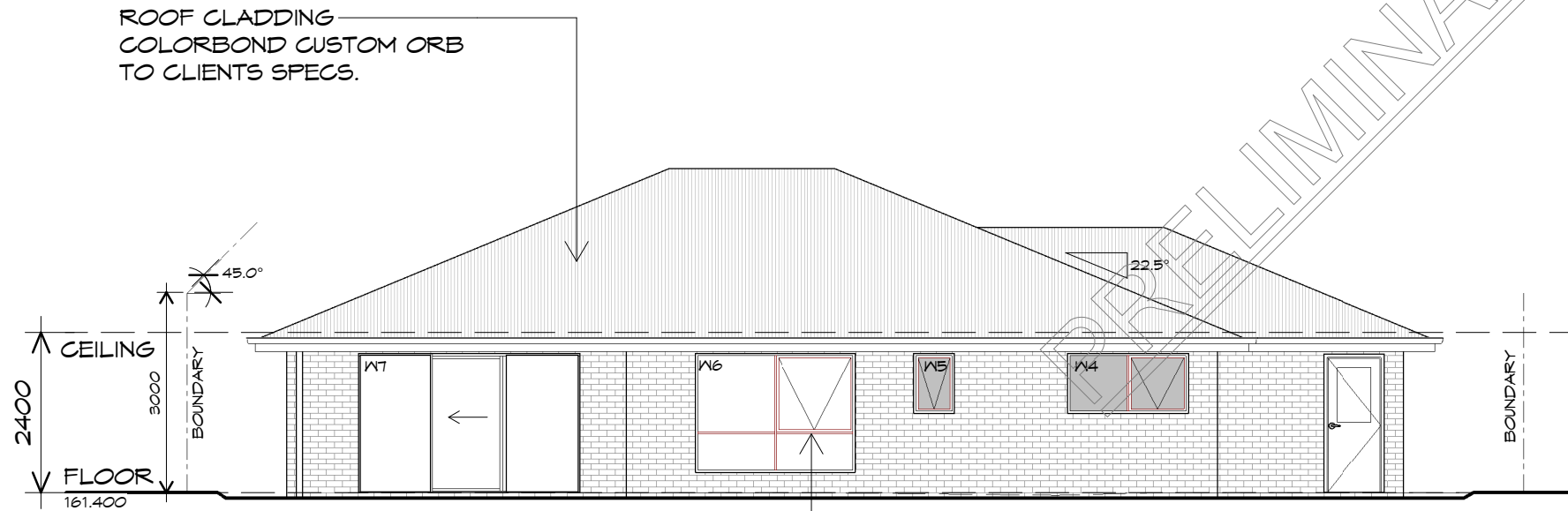


ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH ACBC HOUSING PROVISIONS PART 5

SOUTHERN ELEVATION

1 : 100



ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

PRELIMINARY PRINT



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Project:
**PROPOSED RESIDENCE
 24C GEORGE STREET,
 PERTH**

Client name:
CHUGG SUPERANNUATION CO.

Drawing:
ELEVATIONS

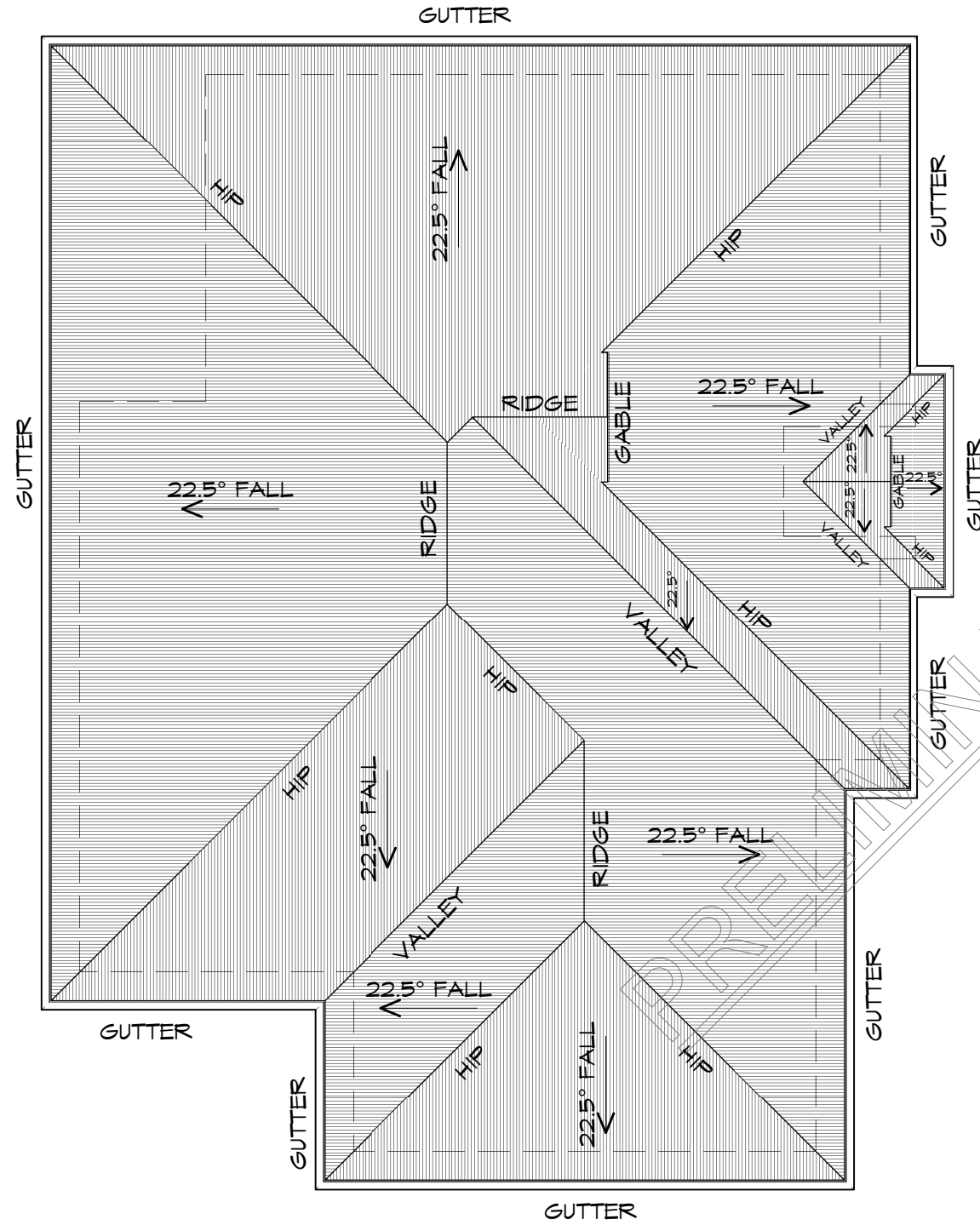
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 Approved by: Approver

Date: 15-03-2024
 Scale: 1 : 100

Project/Drawing no: PD24084 -07
 Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A





ROOF PLAN

1 : 100

PLANNING
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Drawing:
ROOF PLAN

Drafted by: Author
 Approved by: Approver

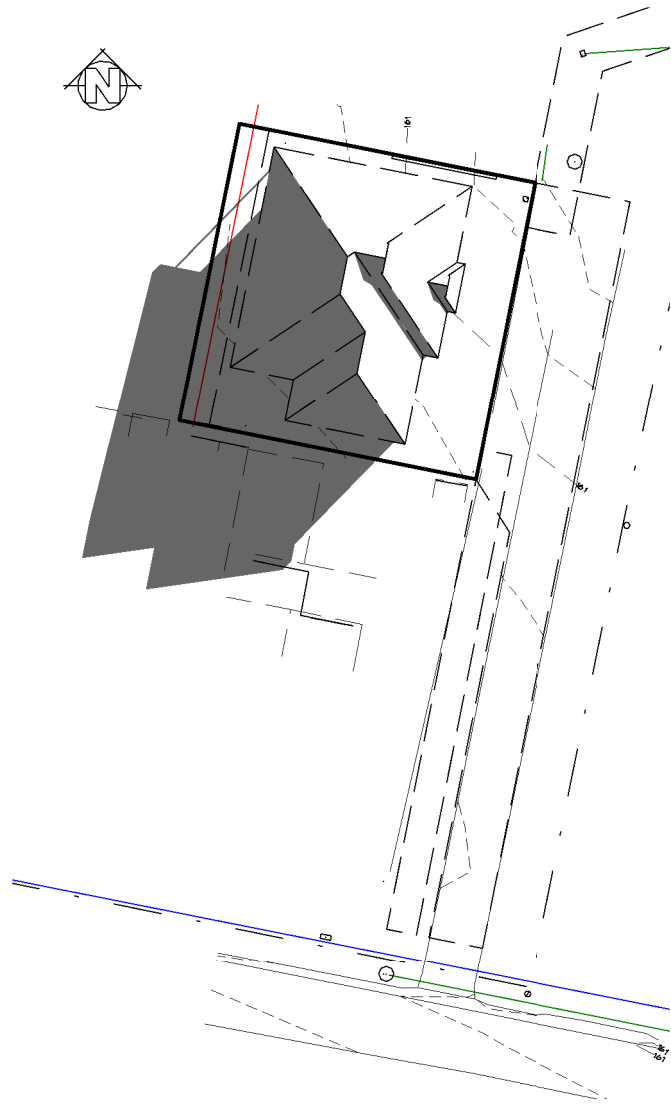
Date: 15-03-2024
 Scale: 1 : 100

Project/Drawing no: PD24084 -08
 Revision: 02



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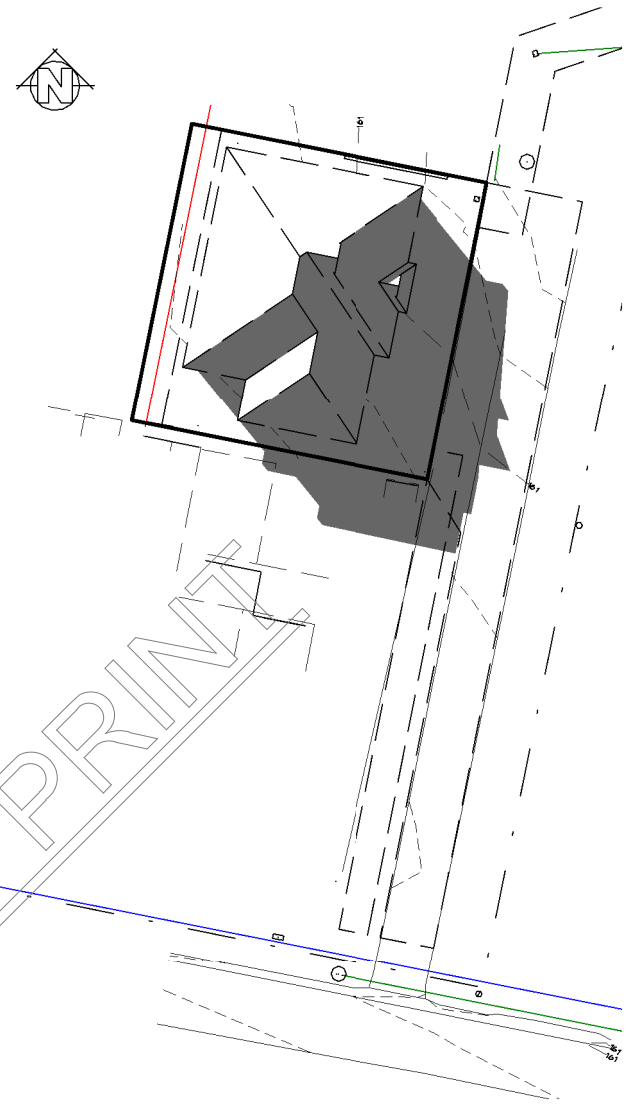
Exhibited



GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: 09:00



GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: 12:00



GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: 15:00

SHADOW DIAGRAMS

1 : 500

PRELIMINARY PRINT

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Drafted by:
Author

Approved by:
Approver



Drawing:
SHADOW DIAGRAMS

Date: 15-03-2024
Scale: 1 : 500

Project/Drawing no: PD24084 -09
Revision: 02

Accredited building practitioner: Frank Geskus -No CC246A